

# HOME PLACE

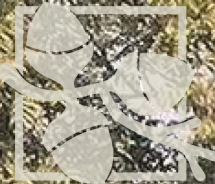
## MASTER PLAN

*Heritage flows through this place called home.*

**Adopted by Clovis City Council on:  
SEPTEMBER 19, 2022**



**4CREEKS**







# Acknowledgments

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## **A SPECIAL THANKS TO:**

**The McFarlane Family**

Sayre Miller

Jane Gamble

James McFarlane

HOME PLACE



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## **SECTION 1**

# **PROPERTY DESCRIPTION**

**1.1** Vision & Intent

**1.2** Location

**1.3** Existing Site Conditions



## A future founded in these fields

Home Place will fulfill the vision of a family and a city by creating a distinct and beautiful neighborhood that honors a deep-rooted passion for farming while providing a place that future generations of Clovis residents will be proud to call home.

Home Place is a thoughtful response to meeting a growing population's needs while preserving this historic property's idyllic agrarian attributes.  
In some ways, everything old will be made new again, but not forgotten.

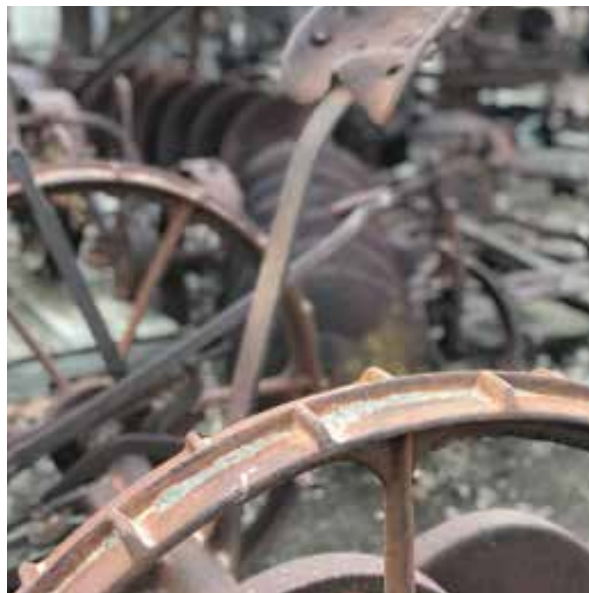






## A place everyone can call home

The inspiration for Home Place can be found at the center of the community, surrounded by a grove of citrus that will stand as a reminder of the land's historical significance. The structure itself, with its craftsman nuances, is a symbol representing farm and family. Many generations of the McFarlane family have been caring for the crops here and affectionately refer to this as “the home place.” It seems appropriate that a name the family so fondly remembers will now be a place that everyone can call home.







## Cultivating community

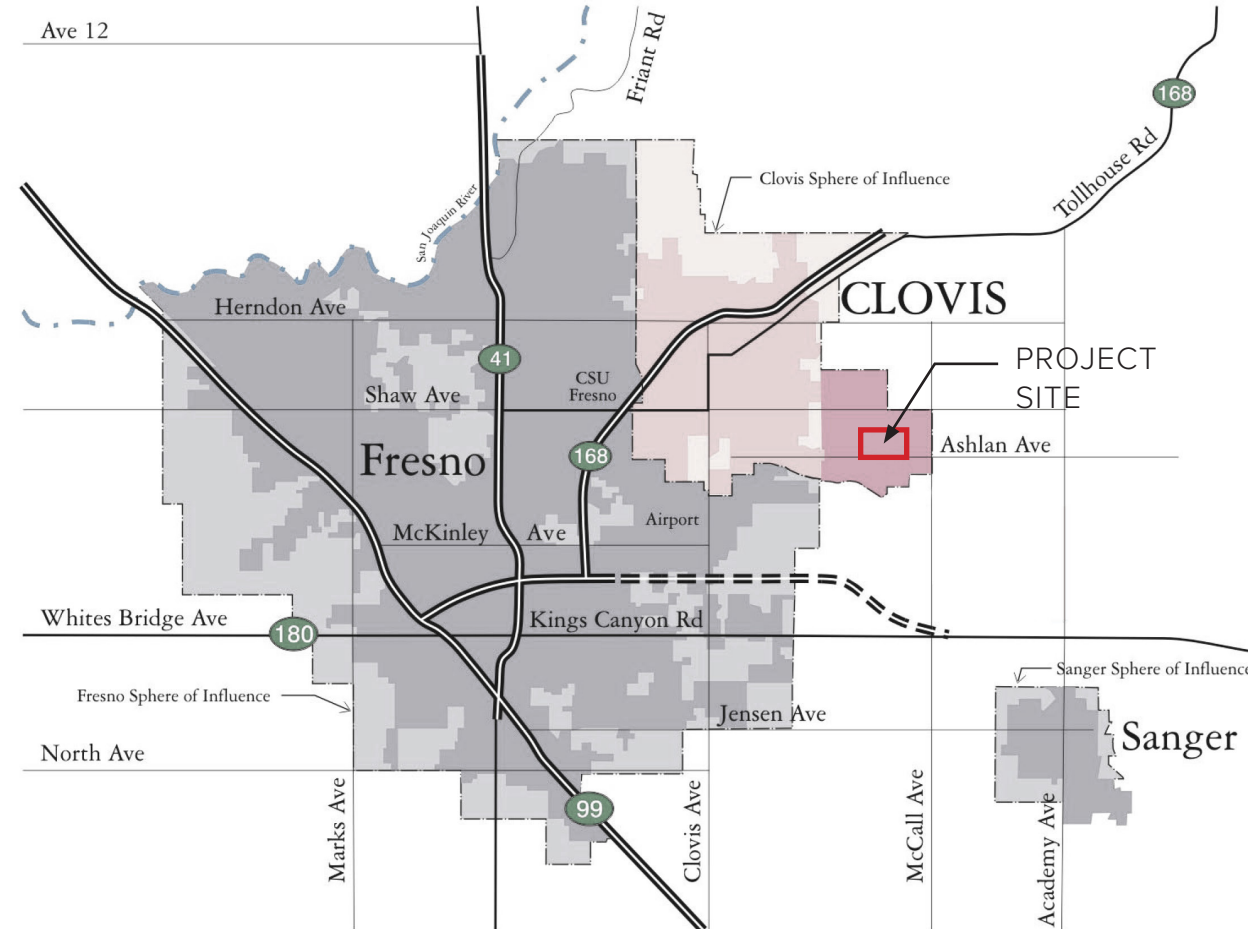
The same passionate care that has gone into these fields, producing bountiful crops, is also invested in the planning of this new community. The meandering and curvilinear streets in Home Place will flow effortlessly and naturally from one neighborhood into another. A historical creek, neighborhood greens, and passive open spaces will connect to a centrally located agricultural museum, all the while maintaining the small-town character cherished by Clovis residents.



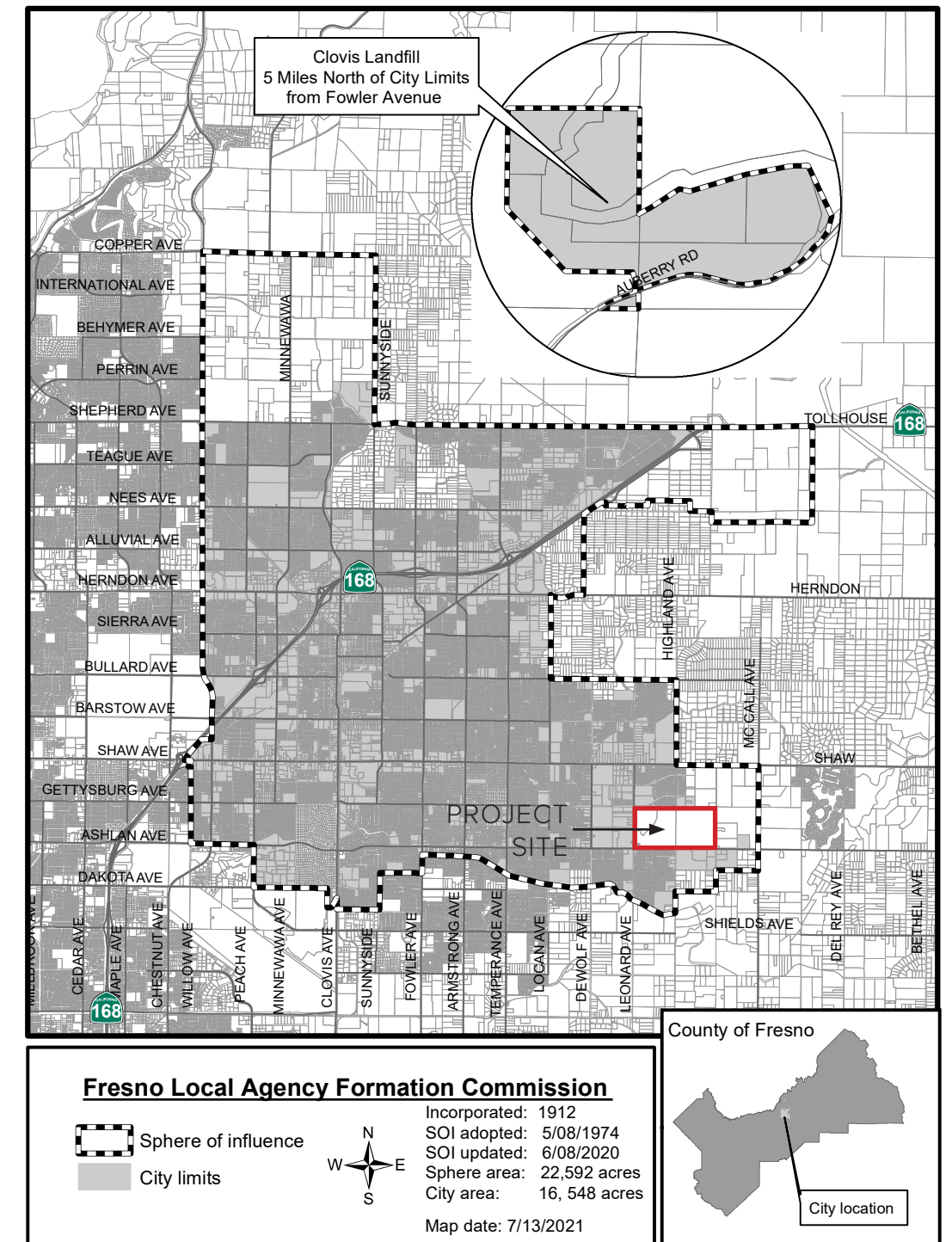


The Home Place Master Plan is located within the Southeast Urban Center (as indicated by the Loma Vista Specific Plan).

The Home Place Master Plan incorporates the required elements and guidelines outlined in the Loma Vista Specific Plan.

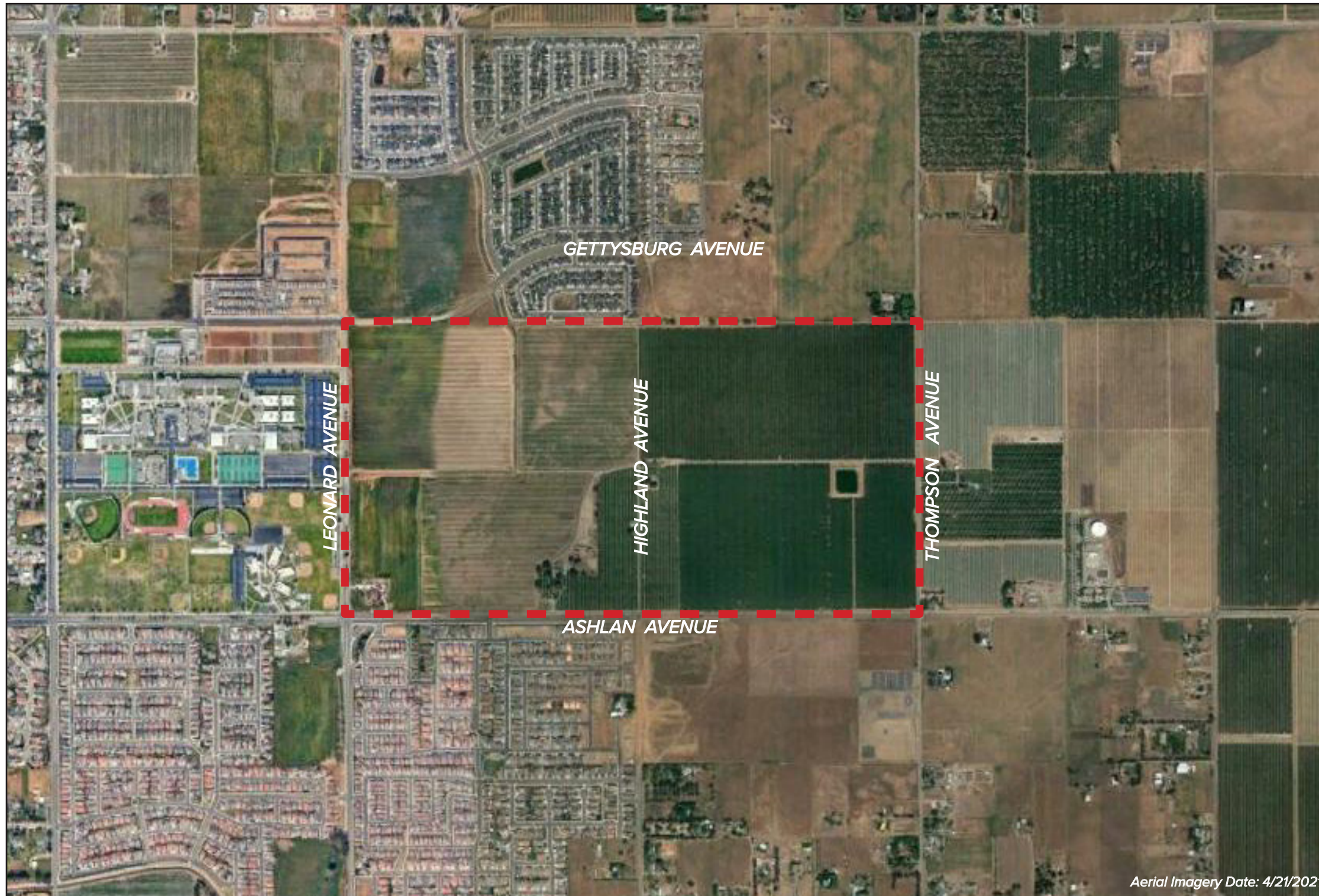


The 310.3-acre Master Planned Community is located east of Leonard Avenue, west of Thompson Avenue, north of Ashlan Avenue and south of Gettysburg Avenue. The designated master plan is located within the Southeast Urban Center of the Loma Vista Specific Plan. The Southeast Urban Center is located immediately east of the City of Clovis in unincorporated Fresno County. The Southeast Urban Center encompasses approximately 3,307 acres and is bounded by Locan Avenue to the west, McCall Avenue to the east, portions of Bullard Avenue and Shaw Avenue to the north, and the Gould Canal to the south. The City of Fresno is located approximately one-half mile southwest of the planning area. State Highway 168, which runs through the heart of the City of Clovis, is located approximately one-and-a-half miles north of the planning area. State Highway 180 is located approximately two miles south of the planning area. (LVSP, Pg. 23)



## 1.2 Location





## Property Description

The site is currently occupied by tree and row crops. Dog Creek traverses from northeast to the southwest of the project's development. Once annexed, the site is proposed to be developed as residential, commercial, and open space development.

Adjacent properties to the south consist of single-family residential subdivisions currently being developed. The Reagan Educational Center, consisting of an elementary, middle, and high school, exists directly west. Agricultural land currently exists to the east along Thompson Avenue between Gettysburg Avenue and Ashlan Avenue. Portions of established Medium Density Residential and Low Density Residential subdivisions exist to the north.

## 1.3 Existing Site Conditions



### Historic Home Place Site

The Historic Home Place Site encompasses approximately 24.9 acres and is located centrally at the heart of the Home Place Master Plan project site. Existing structures include an original farm cabin, three residential structures, two barns, two blacksmith shops, one summer kitchen, and several sheds/outbuildings. The existing landscape has many stately oak and sycamore trees, as well as an actively-farmed citrus orchard. There are also a large number of authentic artifacts that have accumulated during the 100+ years the family has farmed the land. For planned land uses, see **Section 2.3**.



Existing barn



Existing residential structure with stately oak and sycamore trees



Existing repurposed grain storage tank and farming artifacts

## 1.3 Existing Site Conditions



## **SECTION 2**

# **LAND USES**

**2.1** Loma Vista Specific Plan

**2.2** Land Uses

**2.3** Historic Home Place Site



**The Home Place Master Plan implements the planning concepts, designs and development guidelines identified in the Loma Vista Specific Plan.**

The 3,307-acre Southeast Urban Center is the first Urban Center anticipated by the 1993 General Plan to receive detailed planning provided through the specific plan process (California Government Code Section 65450). As has been the pattern with other schools, the designation of the Reagan Educational Center directly west of the project site has brought to a focus development interest on the surrounding properties. In order to ensure that development occurs in an orderly and coordinated manner, the City has taken the proactive stance of planning for the future of this area.

As provided in California Government Code Section 65450, a specific plan has been prepared for the systematic implementation of the General Plan. A specific plan is a regulatory document that provides standards and criteria for the development of a particular area. The Loma Vista Specific Plan establishes the planning concept, design and development guidelines, administrative procedures, and implementation measures necessary to achieve the orderly and compatible development of the project area. It is also intended to maintain consistency and carry out goals, objectives, and policies of the City of Clovis General Plan. The primary intent of the Loma Vista Specific Plan is to establish a high quality, well integrated and dynamic community with a variety of residential, commercial, employment, and public uses. (LVSP, p. 21).

The emphasis of this Specific Plan is on standards and development

criteria that implement the broad goals of the general plan. Its text and diagrams address the planning of necessary infrastructure and facilities as well as land uses and open space. In addition, it specifies the programs and regulations necessary to finance infrastructure and public works projects.

This specific plan is adopted by City Council resolution and must be consistent with the general plan. In turn, the zoning ordinance, subdivisions, and public works projects must be consistent with the Specific Plan (Government Code Sections 65455, 66473.5, 65860, and 65401.) To facilitate such consistency, general plan policies should support the standards and development criteria of the specific plan (Appendix B, General Plan Consistency Analysis). Thus, a specific plan refines the policies of the general plan as they apply to a smaller area and is implemented by local ordinances such as those regulating land use and subdivision.

All projects that are found to be consistent with this Specific Plan will likewise be deemed consistent with the General Plan.

**Relationship to the General Plan:**

**This site is identified in the Clovis General Plan as a part of the Loma Vista Urban Center, which lies within the Loma Vista Specific Plan. The Loma Vista Specific Plan is designed to merit additional flexibility and direction, which aims to promote a high quality residential community focused around two community centers.**

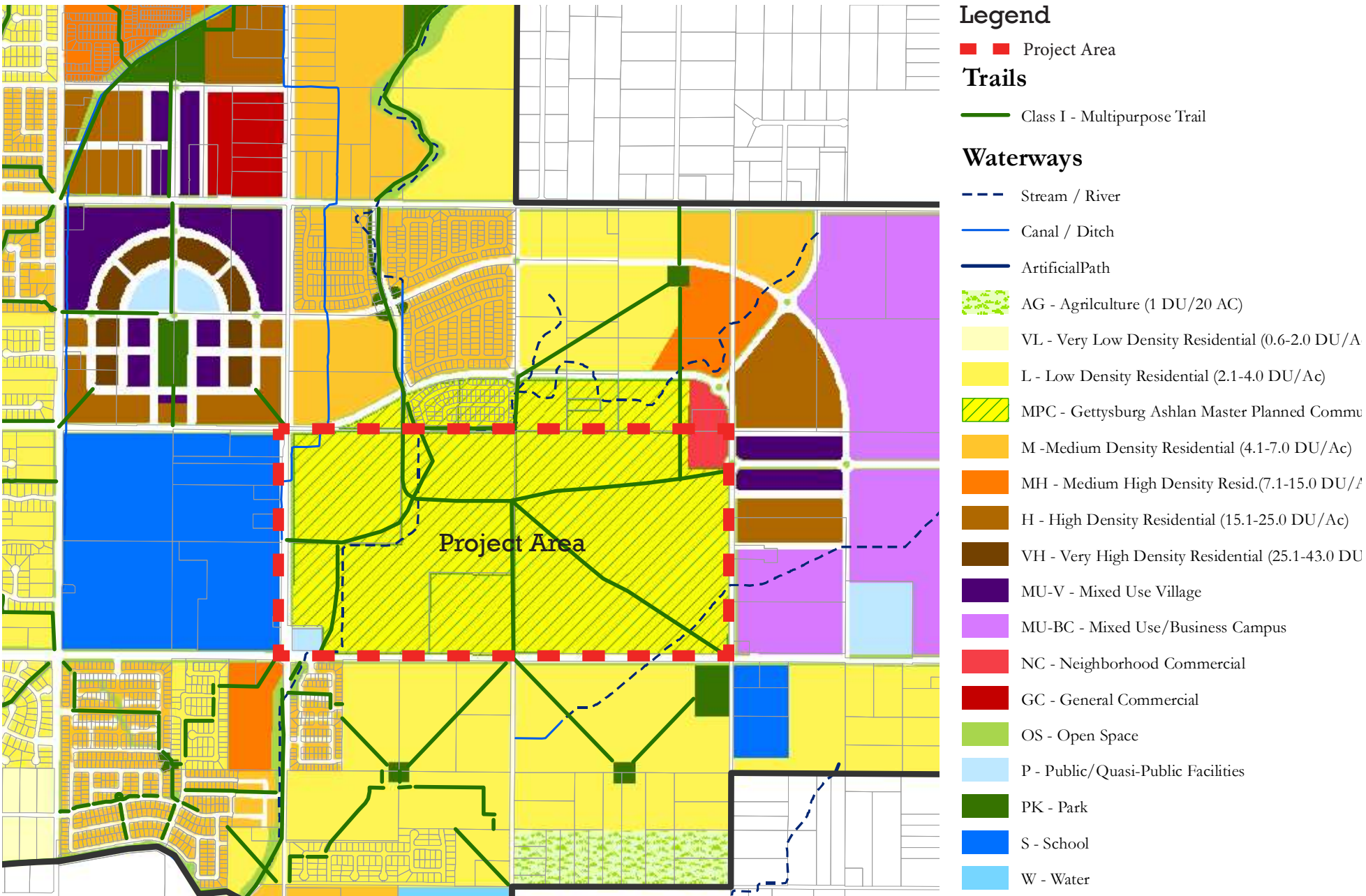


# Gettysburg/Ashlan Master Plan Community

The project area was initially named the Gettysburg/Ashlan Master Plan Community in the Loma Vista Specific Plan. It was envisioned as a residential community designed around the historic Home Place site; integrating Dog Creek and its tributaries into the open space amenities. The Gettysburg/Ashlan Master Plan also included neighborhood commercial uses (i.e., market, pharmacy, restaurant, etc.) to support the residential community. The residential community included a mixture of residential densities, with an overall density of 4.8 dwelling units per acre for a maximum of 1,607 units. The neighborhood commercial uses were programmed for approximately 11-16 acres. Overall non-residential building area was not to exceed approximately 250,000 square feet of commercial space (LVSP. Pg. 55).

The Gettysburg/Ashlan Master Plan was revised and renamed the Home Place Master Plan. The Home Place Master Plan - Land Use Plan (see **Section 2.2**) is an update to the Loma Vista Specific Plan, which allowed design flexibility within the project site for the proposed development. The Master Plan guides the design and development within the 310.3-acre site.

## Loma Vista Specific Plan - Land Use Map



Source: Loma Vista Specific Plan, Dated March 2003; Revised December 2015



Land Use Designations and Zoning

The Loma Vista Specific Plan establishes the maximum residential density and commercial square footage for the area within the boundaries of the Home Place Master Plan. The residentially-zoned area comprises a majority of the 310.3-acre site and has an existing land use designation of Low Density Residential (LD). The uniform LD designation was adopted without a schematic land use pattern in order to provide flexibility in the final land use plan. There is a commercially-zoned area, located in the northeast corner of the project area, that has an existing land use designation of Neighborhood Commercial (NC) (LVSP, Pg. 29).

The Home Place Master Plan accommodates development within the limits established by the Loma Vista Specific Plan for the Gettysburg/Ashlan Master Planned Community. The adjacent table, Table 2.1: Land Use Standards for Gettysburg/Ashlan MPC and Home Place MPC, provides a comparison of the capacity assumed in the Loma Vista Specific Plan versus that included in the Home Place Master Plan. Zoning classifications within the boundary of the Home Place Master Plan shall be found consistent with the land use designations in the Loma Vista Specific Plan and General Plan in accordance with Table 2.2: Land Use and Zoning Consistency.

The application of specific zoning districts within the Home Place Master Plan boundary is intended to implement its refined land use pattern, which includes districts allowing for planned residential, multi-family residential, and neighborhood commercial. A commercial-

recreational district is also included to allow the preservation of the Historic Home Place Site and its development into an interactive agricultural museum and community gathering site.

Table 2.1: Land Use Standards for Gettysburg/Ashlan MPC and Home Place MPC

Statistical Category	Gettysburg/ Ashlan MPC	LVSP Land Use Diagram (Portion of planning area to match the Home Place MPC)	Home Place MPC
Acreage Gross Acres <sup>1</sup>	358	310.3	310.3
Residential <sup>2</sup>	335	300.8	300.8
Parkway	8	4.5	4.5
General Commercial	11	0	0
Neighborhood Commercial	5	5	5
Residential Uses			
Target Density	4.8	4.8	4.8
Dwelling Units	1,607	1,444	1,306
Population <sup>3</sup>	4,339	4,289	3,879
Non-Residential Uses <sup>4</sup>			
FAR - General Commercial	0.30	-	-
FAR - Neighborhood Commercial	0.50	0.50	0.50
Square feet - General Commercial	138,521	-	-
Square feet - Neighborhood Commercial	108,900	108,900	108,900

<sup>1</sup> The LVSP (adopted into the 2014 General Plan land use diagram) shows the Gettysburg/Ashlan MPC as being 358 acres; however, for purposes of this land use comparison table a portion of the planning area that matches the Home Place MP planning area will be used. The Home Place MP planning area is 310.3 acres.

<sup>2</sup> Pursuant to the LVSP, residential acreage within the Gettysburg/Ashlan Master Plan Community is equal to gross acreage less any acreage attributed to parkway and commercial uses. Residential acreage includes internal streets, trails, parks, and other ancillary uses.

<sup>3</sup> The LVSP anticipated 2.7 persons per household. U.S. Census Bureau data for 2021 indicate that persons per household has increased to approximately 2.97 persons.

<sup>4</sup> The LVSP describes the Gettysburg/Ashlan MPC as including 16 acres of non-residential land uses comprised of 11 acres of General Commercial and 5 acres of Neighborhood Commercial. The LVSP (adopted into the 2014 General Plan land use diagram) shows the Gettysburg/Ashlan MPC including 11 acres of non-residential land uses comprised entirely of Neighborhood Commercial. The Home Place MPC is consistent with the non-residential land uses indicated in the LVSP (adopted into the 2014 General Plan land use diagram).

Policy 2.1.1

Zoning classifications within the Home Place Master Plan boundary shall be found consistent with the land use designations in the Loma Vista Specific Plan and General Plan in accordance with Table 2.2: Land Use and Zoning Consistency.

Table 2.2: Land Use and Zoning Consistency

Land Use Designation and Density/Intensity Range	Implementing Zone
Low Density Residential (LD)	R-1, R-3, R-1-PRD, OS, CR
Neighborhood Commercial (NC)	C-1

Sources: Loma Vista Specific Plan, Dated March 2003; Revised December 2015 and Clovis General Plan, Dated August 2014.



## Home Place Master Plan

The Home Place Master Plan establishes a Master Plan Community Overlay District in conjunction with the rezoning of the properties within the 310.3-acre project site. The Home Place Master Plan will accommodate approximately 1,174 single-family units, 132 multi-family units (22 6-Plexes), 5 acres of neighborhood commercial, the 24.9-acre existing Historic Home Place Site, and related parks and open space. See pg. 13 for the Land Use Plan. The project area will be comprised of multiple zoning districts, including Single-Family Planned Residential Development (R-1-PRD), Multi-Family High-Density (R-3), Neighborhood Commercial (C-1), and Commercial Recreation (C-R). See Table 2.3: Land Uses for the Home Place Master Plan.

**Table 2.3: Land Uses for the Home Place Master Plan**

Development Component	Description	Land Use	Approx. Portion of Total Property Site (ac)	Percentage of Total Property Site
1,174 Single-Family Units	A mixture of single-family residential units with varying lot sizes.	Single-Family Planned Residential Development (R-1-PRD) and open space/parks including Dog Creek corridor.	273.33	88.1
132 Multi-Family Units	Comprised of 22 6-Plexes.	High-Density Multi-Family (R-3)	7.28	2.3
Neighborhood Commercial Uses	To be determined at a future date. Future neighborhood commercial projects will submit proposed designs for review, in compliance with Chapter 9.56 of the Clovis Municipal Code.	Neighborhood Commercial (C-1)	5	1.6
Historic Home Place Site	Interactive agricultural museum with orchards and a public gathering site. See <b>Section 2.3, Historic Home Place Site.</b>	Commercial Recreation (C-R)	24.89	8.0
Total Area for Property Site (ac)			310.3	



Home Place Master Plan - Land Use Plan



- LEGEND
- Low Density Residential (5-10 du/ac)
  - Medium Density Residential (18 du/ac)
  - Public
  - Open Space
  - Commercial Neighborhood
  - Commercial Recreation
  - Home Place Master Plan Area



## Historic Home Place Site

The Home Place Site or “Historic Home Place Site” encompasses approximately 24.9 acres near the center of the Master Plan that has been retained by the McFarlane Family to function as a living museum that honors Clovis’ agricultural history. The site will be a prominent feature within the master-planned community, fulfilling the Loma Vista Specific Plan’s vision for this area to be developed as a “residential community designed around an amenity, i.e., park, historic site, and/or lake.” (LVSP, Pg. 55).

The existing citrus orchard will continue as a producing agricultural operation. Agriculturally-focused educational uses, including an interactive agricultural museum, will complement the existing farming operation and be added over time. Century-old buildings, genuine artifacts and majestic trees will provide a timeless setting for a wide variety of creative programming intended to provide a window into the past. Examples of activities that will occur on site include the following:

- Farmers markets
- Artisans demonstrating skills like blacksmithing, wool spinning, weaving, quilting and canning
- Musicians providing period ambiance
- Horses drawing carriages while animals and antique tractors pull implements to demonstrate their function
- Cooks baking in a wood stove
- Laundry being washed and hung on a clothesline

The interactive museum will illuminate the history of the past century and include a museum store selling appropriate products that enhance the educational experience. The museum store, together with accessory retail uses and farmer/artisan market sales are intended to complement the agricultural focus of the Historic Home Place while contributing to the financial structure required to maintain the site. Formal and informal open space will be incorporated into the site to complement the designated park space within the Master Plan and provide opportunities for community and neighborhood gatherings. Parking will be accessed from Ashlan Avenue and will be screened from the venue by the existing citrus orchard.

The principal buildings are located at a higher elevation than the surrounding area and are a prominent aesthetic focal point. The site design will center around the tankhouse windmill located at the farm office. The tankhouse windmill will provide a terminating vista from multiple directions along local and collector streets, defining the community’s character and sense of place.

## Conceptual Site Plan - Historic Home Place Site



## 2.3 Historic Home Place Site



# Historic Home Place Site

## Land Use and Zoning

Basic land use and zoning criteria for the Historic Home Place Site are outlined in the adjacent tables. While the property is zoned as Commercial Recreation (C-R), a unique set of permitted uses will apply to the site under the Master Planned Community Overlay District. The land use schedule is intended to support the vision for the Historic Home Place Site as a celebration of the community’s agricultural heritage. Since key characteristics of educational, cultural, and other public assembly uses were not highly defined when the Master Plan was prepared, these uses will generally be permitted through the conditional use permit process.

Table 2.4: Historic Home Place Land Use Criteria

General Plan Designation	Low Density Residential (L)
Zoning Classification	Commercial Recreation (C-R)
Primary Land Uses	Agriculture, Education, Cultural Facilities & Related Uses
Secondary Land Uses	Retail, office & other complementary uses ancillary to the primary land uses

## Policy 2.3.1

Land uses proposed within the Historic Home Place Site shall be consistent with the use schedule and permit requirements in Table 2.5: Historic Home Place Use Schedule & Permit.

Table 2.5: Historic Home Place Use Schedule & Permit Requirements

Land Use	Permit Requirement
Agricultural Uses	P
Agricultural Products, Sale of When Grown On-site	A
Animal Keeping (Farm) Including Apiaries	P
Community Gardens	P
Open Space	P
Plant Nurseries	C
Assembly / Meeting Facilities	C
Auditoriums and Meeting Halls	C
Community / Cultural Center	C
Libraries / Museums	C
Outdoor Recreation, Commercial	C
Accessory Retail Uses In Conjunction With Primary Use(s)	P
Offices Related to On-site Operations	P
Accessory Agricultural Uses	P
Music Performances	C
Art Exhibits	P
Agricultural and Artisan Education	C
Farmers / Artisans Market - Retail Sales	A
P- Permitted Use; A- Administrative Use Permit; C- Conditional Use Permit	



Existing citrus orchard in the background



Farming artifacts



## **SECTION 3**

# **DEVELOPMENT STANDARDS & DESIGN GUIDELINES**

**3.1** Community Vision

**3.2** Single-Family Residential Development Standards

**3.3** Single-Family Residential Design Guidelines

**3.4** Multi-Family Residential Development Standards & Design Guidelines

**3.5** Neighborhood Commercial Development Standards & Design Guidelines

**3.6** Commercial Recreation Development Standards & Design Guidelines

**3.7** Open Space Design Guidelines





Craftsman



Cottage



Spanish



Tuscan



Farmhouse

### Home Place Theme & Character

Using the Historic Home Place as inspiration, the Home Place Master Plan community will draw architectural themes from Traditional California Farmhouse, Spanish, Craftsman, Cottage, and Tuscan design and finish materials. Building and landscaping design will be consistent with the design guidelines set by the Loma Vista Specific Plan to orient travelers and create a unified community.

## 3.1 Community Vision



# Single-Family Residential Development Standards

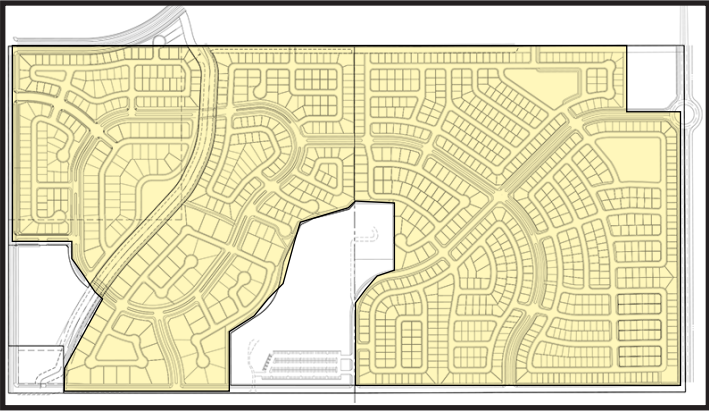
Single-family residential neighborhoods within the Master Plan site should have distinct characteristics that establish a strong sense of place while also reflecting the Home Place’s unique history. Individually, homes will embody high level design varying in massing and exterior finishes based on Traditional California Farmhouse, Spanish, Craftsman, Cottage, and Tuscan style architectural themes and character.

## Policy 3.2.1

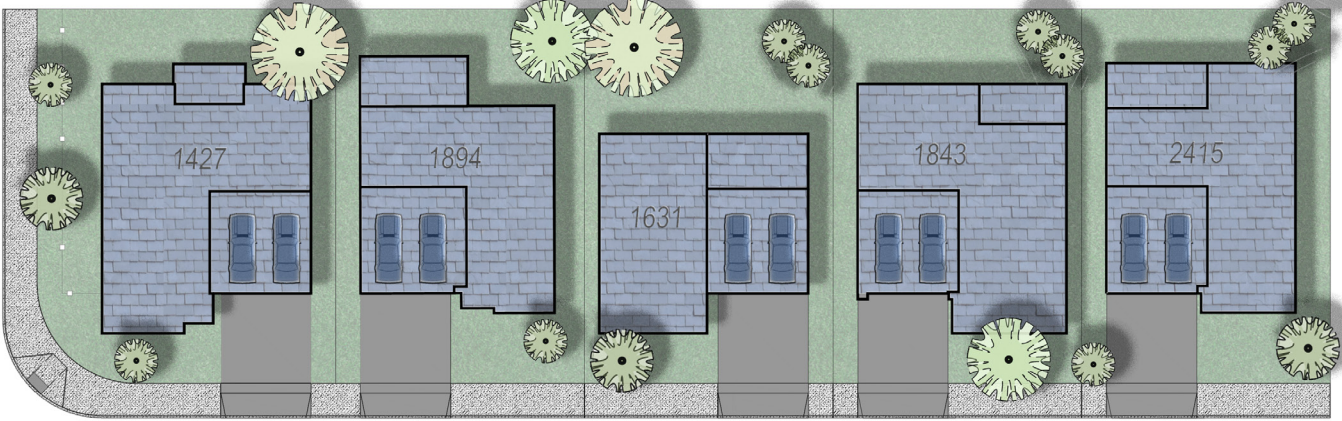
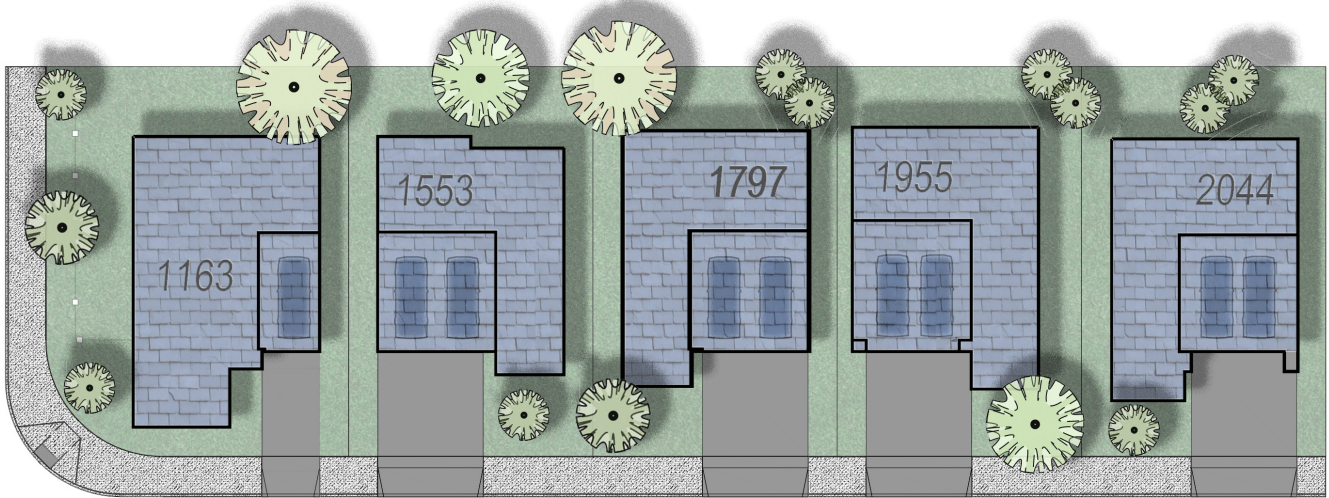
Single-family residential development shall conform to the development standards included in Tables 3.1 to 3.6. The standards applicable to each subdivision map, or each phase of a master tentative subdivision map, proposed within the Home Place Master Plan shall be specifically identified through the residential site plan review (RSPR) process.

Table 3.1: Density / Building Intensity			
	Lot Size < 4,000 SF	4,001 < Lot Size < 6,500 SF	6,500 SF < Lot Size
Minimum Lot Width	40’	50’	60’
Minimum Lot Depth	65’	80’	100’
Maximum Height	35’	35’	35’
Maximum Coverage	60%	50%	50%

Table 3.2: Building Setbacks			
	Lot Size < 4,000 SF	4,001 < Lot Size < 6,500 SF	6,500 SF < Lot Size
Front Setback to Projection	6’	6’	8’
Front Setback (Back of Sidewalk) to Garage	20’	20’	20’
Side Yard Setback	5’	5’	5’
Side Yard (Corner) Setback	9’	9’	9’
Rear Yard Setback	5’	5’	10’
Reverse Corner Lot	5’	10’	15’



Key Map



Typical single-family residential lot layout with varying building design, orientation, and massing



Table 3.3: Accessory Uses		
	Dimensions	Description
Walls and Fences	3’ - 6’	No walls over 3’ in required front yard.
Parking and pedestrian lights to utilize Home Place Master Plan street standards.		

Table 3.4: Minimum Building Separation		
	Dimensions	
Front to Front, Front to Side, Front to Rear, or Rear to Rear	5’	Please review latest applicable building code for construction and fire wall requirements.
Side to Side	5’	

Table 3.5: Pedestrian And Vehicular Circulation	
Sidewalks	All front doors must be accessed by a minimum 6’ sidewalk.
Local Roads	48’-50’ ROW

Table 3.6: Parking			
Use	Covered	Open	Description
Single-Family Residence	Min. 1	0	20’ x 20’
Notes: - For each Single-Family Residence, 2 parking stalls are required. - A limited number of homes less than 1,200 sf of living space, may be permitted to provide a 1-car garage and 1 stall outside of the garage. - The total number of lots where a 1-car garage may be permitted shall comprise no more than 5% of the total lots in the master plan. - The inside dimensions of the 1-car garage shall be no less than 10’ x 20’. - The inside dimensions of the 2-car garage shall be no less than 20’x 20’.			



Articulated facades with recessed openings



## Single-Family Residential Design Guidelines

The design guidelines for single-family residential homes in the Home Place Master Plan will be consistent with design guidelines established in the Loma Vista Specific Plan. Key design guidelines and policies include the following:

### Layout and Design

- 3.3.1 Project designs that include a variety of front yard building setbacks are strongly encouraged. 33% of the units shall have different front yard setbacks of at least five feet.
- 3.3.2 Developments over 4 homes shall have a minimum of two material and color palettes and utilize a variety of wood, stucco, stone, and concrete finishes and textures. No two identical floor plans with identical color or materials shall be located adjacent to one another.
- 3.3.3 Projects with a variety of unit designs and types are encouraged. Developments over 4 units shall include a minimum of 3 elevation designs. Homes with the same floor plan may be located adjacent to one another as long as color or style differ.
- 3.3.4 Front entry porches are encouraged to add variety to the street scene. Front entry porches shall primarily be single-story elements that provide variety to the building mass.
- 3.3.5 Avoid designs where the garage is the dominant feature of the street scene. Vary the placement, orientation, and size of garages. Garages shall be varied in size (a mix of a 1-car, 2-car, and 3-car designs).
- 3.3.6 A box-like design is not consistent with these design guidelines.

Projects should include units with a variety of building design, orientation, and massing. Each unit should possess articulated facades, including recessed openings, and the inclusion of elements such as balconies, bay windows, porches, arcades and architectural projections to provide depth and contrast.

- 3.3.7 Exterior finishes should be in keeping with the community theme and character. A variety of exterior finishes that includes wood, rock, and stucco should be utilized.
- 3.3.8 Finish flashings, rain gutters, downspouts, vents and other roof protrusions to match adjacent finish materials and/or color. A mixture of roofing materials, including tile or asphalt shingle, are encouraged.
- 3.3.9 Buildings should be oriented towards adjacent open spaces, recreational features, bike paths, and other public features whenever possible.



Varying roof heights and shutter accents



Varying exterior finishes



**Fences and Walls**

- 3.3.10 Low walls and fences (3’ tall), in lieu of taller walls shall be located in the front yard setback.
- 3.3.11 Walls and fences should blend with and complement the architecture of the main structure.
- 3.3.12 Landscaping and/or opaque walls and faces should screen all trash receptacles and utilities.
- 3.3.13 Accents (arches, arbors, trellises) should be added for visual interest and identification of entryways.
- 3.3.14 Fences along trails should be setback at least 4’ from the pavement edge. Wherever possible along trails and in areas abutting the Historic Home Place Site, utilize landscape plantings as a delineator in lieu of concrete, masonry or wood fencing.
- 3.3.15 Walls should be “broken up” by landscaping, pedestrian entries, recesses, and undulations.
- 3.3.16 Fences should be designed to blend with the character of the area that the trail is passing through.



Landscape hedging along Historic Home Place Site



Vinyl fencing



Low walls and fences



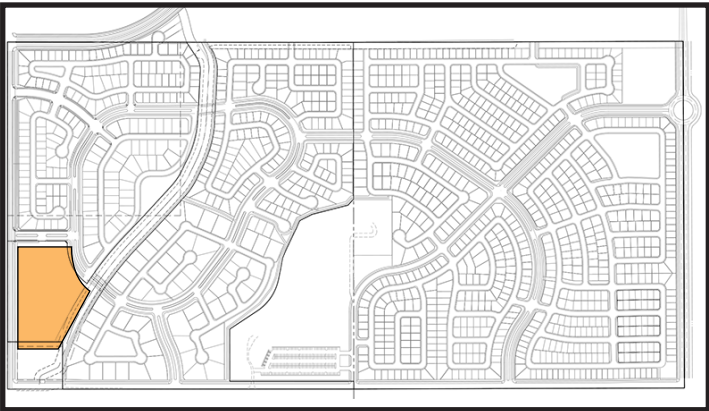


# Multi-Family Residential Development Standards & Design Guidelines

Multi-family residential neighborhoods within the Master Plan site will create a high-density residential district. The conceptual design for the area includes 22 6-plexes, with options for 1- or 2-bedroom units with garages. Units will have open patios (downstairs) or private balconies (upstairs) and access to community courtyards.

## Policy 3.4.1

Multi-family homes will comply with the Clovis Municipal Code, Multi-family Residential Design Standards and Loma Vista Specific Plan.



Key Map



Varying front setbacks within the same structure and garages located at rear



Combination of roof types and balconies



Example floor plan



Private open space areas



# Neighborhood Commercial Development Standards & Design Guidelines

Neighborhood commercial uses within the Master Plan site will accommodate community-oriented needs for shopping and other conveniences in support of the residential community. The neighborhood commerila center will be designed to be consistent with the architectural character of the overall community. The conceptual site design for neighborhood commercial uses will be determined at a future date. Future neighborhood commercial projects will submit proposed designs for review, in compliance the Clovis Municipal Code, Chapter 9.56, Site Plan Review. The development standards and design guidelines for neighborhood commercial uses in the Home Place Master Plan will comply with the Clovis Municipal Code, Chapter 9.12 and Loma Vista Specific Plan. Key design guidelines and policies include the following:

## Layout and Design

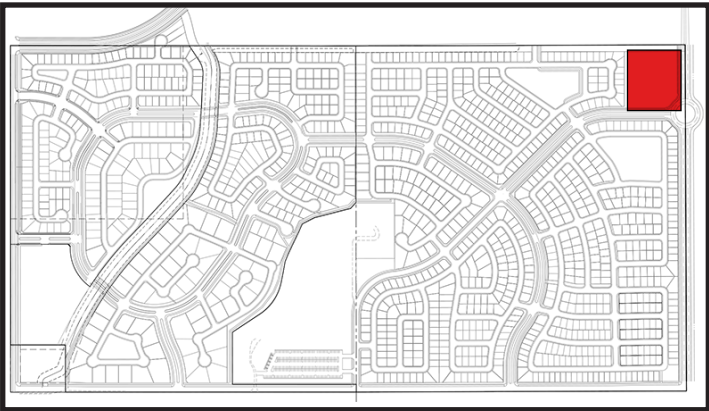
- 3.5.1 Consider a variety of walkway surfaces, patterns, and textured materials to guide pedestrians and create a sense of location and place.
- 3.5.2 Provide landscaping and open areas as linkage to adjacent neighborhoods.
- 3.5.3 Development should emphasize the pedestrian environment and pedestrian linkages.
- 3.5.4 The neighborhood commercial center is intended to provide conveniently accessible basic amenities and services to nearby residents and should not include components intended to serve a much broader regional audience.
- 3.5.5 Neighborhood commercial development should be a an intimate, pedestrian scale, with buildings being one or two stories.
- 3.5.6 Walls should be articulated; large wall section should be avoided through changes in building height, wall plane and by varied use

of windows, arcades, materials, roof elements, etc.

- 3.5.7 The neighborhood commercial center should be designed as a complex of smaller buildings connected by pedestrian oriented spaces; large building masses should avoided.
- 3.5.8 The center should provide functional outdoor spaces, trellis elements, screening of service and loading areas from residences, and unified architectural and landscape themes.

## Parking

- 3.5.9 Locate on-site parking to the rear of buildings where feasible. Encourage parking to be located in shared facilities to the greatest extent possible.
- 3.5.10 Utilize landscaping treatments such as berms, vegetation, and decorative fencing to minimize the potential visual dominance of surface parking lots and create distinction between the roadway and adjacent development.



Key Map



A range of stores that will provide necessities and other amenities for the adjacent residential neighborhoods



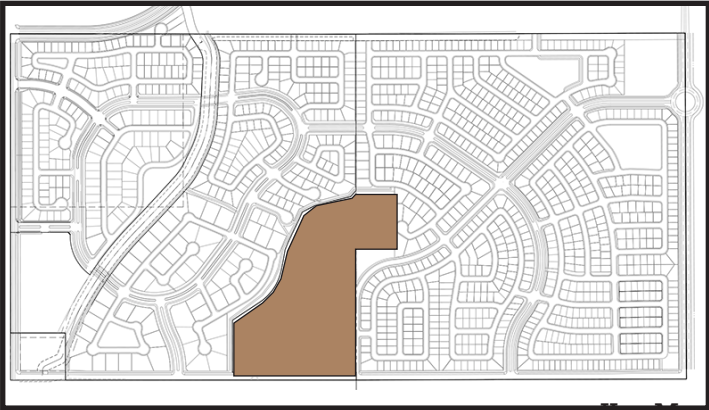
# Commercial Recreation Development Standards & Design Guidelines

Commercial Recreation uses within the Master Plan site will accommodate the Historic Home Place Site, which is envisioned as an interactive agricultural museum with community gathering spaces and an actively managed citrus orchard. For more information on the Historic Home Place Site, see Section 2.3. The development standards and design guidelines for the Historic Home Place Site will comply with the Clovis Municipal Code, Chapter 9.12, Commercial Zoning Districts and Loma Vista Specific Plan. Key design guidelines and policies include the following:

- 3.6.1 Existing structures should be retained where feasible.
- 3.6.2 New structures should be compatible with the architectural style, colors, and theme of existing buildings and their surroundings.
- 3.6.3 Establish connections among buildings and open spaces through structural and landscape elements.
- 3.6.4 Provide an array of pedestrian amenities that are integrated into the overall design and character of development, such as seating areas, drinking fountains, landscape planters, water fountains, shade canopies, trash receptacles, and vending machines.
- 3.6.5 Existing mature trees should be maintained where feasible.
- 3.6.6 Parking areas should be screened with landscape hedging or fencing. Fencing should reflect the surrounding character in terms of style, materials, and color.



The Historic Home Place Site is envisioned as an interactive agricultural museum and community gathering space with opportunities for farmer’s markets and showcasing local products.





## Open Space Design Guidelines

The design guidelines for open space uses are provided to create a sense of place and emphasize the Home Place Master Plan as a distinct community, grounded in the history of the site. Open space elements will be unique and inspired by the site’s agricultural heritage. Responsible use of materials will make Home Place highly attractive to future residents who will know that their choice of community is environmentally considerate. Open space landscaping and structures will be maintained by the Landscape Maintenance District. The Home Place Master Plan proposes open space amenities at a higher level than what can be accommodated by the base assessment level of the Landscape Maintenance District. The maintenance of the higher level of amenities shall be funded through an additional, enhanced assessment. Key design guidelines and policies include the following:

### Fencing

- 3.7.1 Landscaping and/or opaque walls and fences should screen all service areas and utilities.
- 3.7.2 Fences and walls should match the surrounding architectural style, materials, and colors.
- 3.7.3 Architecturally treat both sides of walls and fences.
- 3.7.4 Fences and walls should only be as tall as necessary to perform their function.
- 3.7.5 Fencing that parallels trails and roadways should be of consistent materials, color, height, and style.
- 3.7.6 Utilize combinations of solid and view fences, which are constructed of durable materials, wherever possible to

maintain views, enhance security, and to add variety to long stretches of walls.

- 3.7.7 All services and utilities should either be placed underground or screened from view with either fencing or landscaping.
- 3.7.8 Retention and screening walls should be textured and staggered to reduce the appearance of the height and length.
- 3.7.9 Fences along the right-of-ways for collectors, arterials, or expressways shall be of masonry or other durable material (not wood).
- 3.7.10 Wherever possible along trails and in areas abutting the Historic Home Place, utilize landscape plantings as a delineator in lieu of concrete, masonry or wood fencing
- 3.7.11 Enhanced Good Neighbor fences shall be used in locations with high visibility, typically located along roadways where facing or abutting a residential street with public views.
- 3.7.12 Good Neighbor wood fences shall be used in areas not visible from public view, such as between residential properties.



Open Divider Fence



Good Nieghbor Fence



Enhanced Good Neighbor Fence



Open Space Design Guidelines

- 3.7.13 Both Enhanced Good Neighbor and Good Neighbor styles shall be 6’-0” tall, and constructed of western red cedar.
- 3.7.14 The enhanced wood fencing should be of higher level of design consistent on both sides of the fence and be finished with a top rail.
- 3.7.15 Open divider fencing should provide a physical barrier while not obstructing views.
- 3.7.16 Open divider fencing shall be located at trails, parks, or open spaces where security or privacy are not a concern.
- 3.7.17 Open divider fencing shall be constructed of precast reinforced concrete posts and rails with a wood-grain stamp finish, American Precast Woodcrete Split Rail Fence, or approved equivalent.
- 3.7.18 Open divider fencing should be tan or light brown in color.

Masonry Walls

- 3.7.19 Masonry walls should be utilized for security, screening, privacy, and/or sound attenuation where located along arterial roadways or between differing land uses, such as commercial and residential uses.
- 3.7.20 Masonry walls shall be 6’-0” tall. Wall finish shall be textured on the exterior side, or side facing public view, and include a 2” minimum thick cap for visual interest.
- 3.7.21 All masonry walls should be tan or light brown in color.
- 3.7.22 Pilaster of matching or complimentary finishes shall be used to define wall openings, ends, and at each angle point or change

in wall direction. Pilasters should be proportionally larger than the wall profile to be visually impactful.

- 3.7.23 Landscaping shall be included adjacent to a wall when open to public view and shall be Used to soften and screen the hard edge appearance of the wall.

Vegetated Buffers

- 3.7.24 Hedgerows and vegetated barriers of densely spaced columnar trees are encouraged to provide separation between differing land uses and provide a level of security when paired with a fence or wall, that contributes to the bucolic setting of East Clovis.

Trail Crossing

- 3.7.25 Where designated Class 1 trails are intersected by streets, an enhanced pavement design shall be utilized within the crosswalk. The enhanced design shall be established prior to the construction of the first crossing and shall be utilized throughout the Master Plan boundaries.



Vegetated Buffer



Masonry Wall



Open Space Design Guidelines

Lighting

- 3.7.26 Site lighting to use LED fixtures, be of high quality construction, vandal-resistant and durable, and requiring little upkeep and maintenance with a timeless design that reinforces the character of the architecture.
- 3.7.27 Selected fixtures must minimize light pollution by implementing shielded lighting fixtures and utilizing smart lighting equipment.
- 3.7.28 Street and area lighting to consists of pole mounted area lighting for illumination of roadways, public gathering spaces, and high-traffic walkways.
- 3.7.29 Area lighting poles to be a pedestrian friendly height of 12ft.
- 3.7.30 Light bollards are to be used as secondary lighting, providing supplemental low level lighting along trails or public gathering spaces.
- 3.7.31 Street light fixtures to be Eaton Cooper Lighting Solutions, model Epic Medium LED with Bishop Pole Mount Arm, or approved equivalent. The selected lights or alternative are to be owned and maintained by PG&E.
- 3.7.32 Bollard light to be City Approved Loma Vista Bollard Light.
- 3.7.33 All fixtures and poles to be powder-coated bronze.

Furnishings

- 3.7.34 Locate seating and benches at convenient locations in order to maximize views and take advantage of open space.
- 3.7.35 Common space furnishings such as benches, trash and recycling receptacles, and bike racks assist should be consistent site-wide as reinforce the character of the Home Place Master Plan.
- 3.7.36 Furnishings to be of durable, high quality construction, powder-coat metal for straightforward touch-up and repair. Color to be bronze.
- 3.7.37 Benches shall incorporate the Home Place Master Plan community logo/icon.
- 3.7.38 Trash and recycling receptacles shall be covered.
- 3.7.39 Bike racks to be an inverted-U design, with two attachment points.
- 3.7.40 City Owned Loma Vista Lantern Lights to be incorporated at trails entry points and within open spaces near activity and seating areas.



Bench



Example of bench with logo



Bike Rack



Receptacle



Loma Vista Bollard Light



Site & Area Lighting



## **SECTION 4**

# **CIRCULATION**

**4.1** General Circulation Diagram

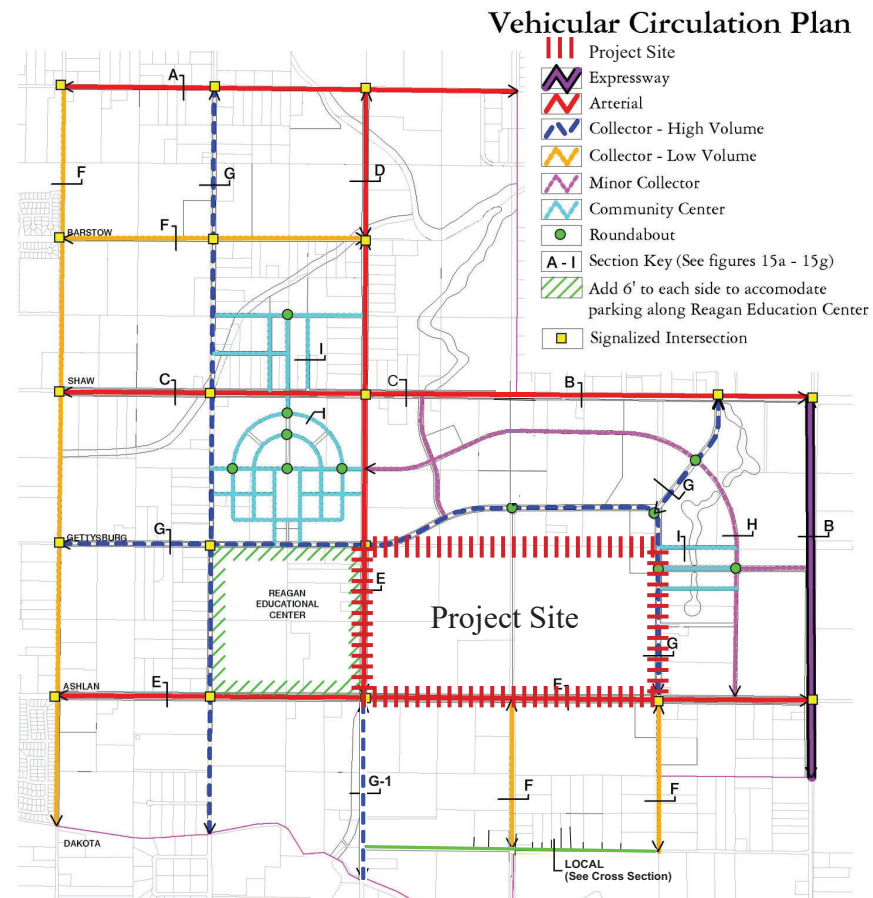
**4.2** Roadway Designs

**4.3** Multi-Use and Pedestrian Circulation Diagram

**4.4** Trail and Paths Guidelines

**4.5** Trail Designs

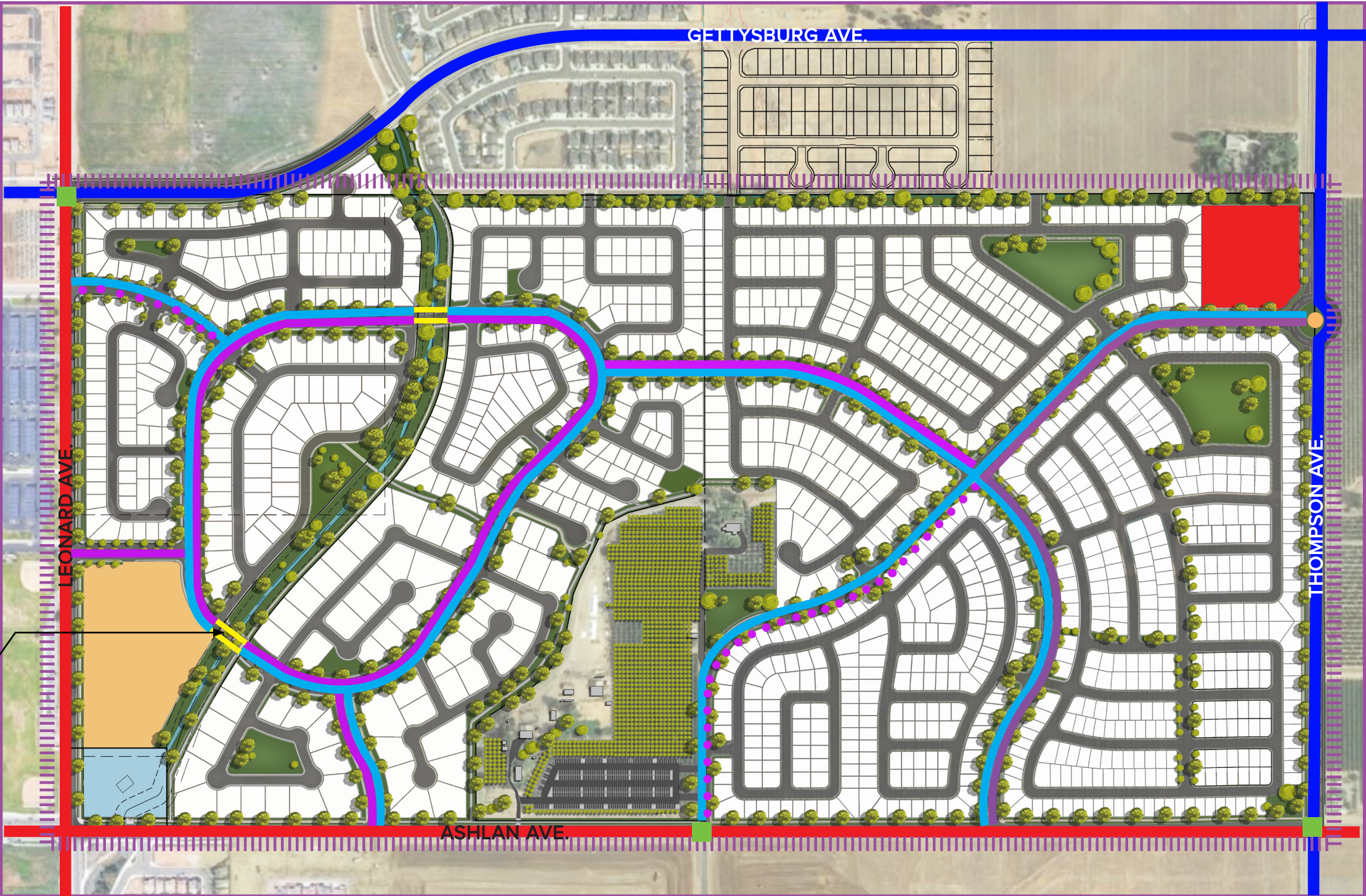




Access to internal and adjacent amenities to the project site through multiple modes of transportation is a critical consideration of the plan. The Home Place Master Plan accommodates a wide range of options for circulation, including mass-transit, bike/pedestrian trails, and vehicles.



The bridge crossing Dog Creek will accommodate multiple modes of transportation.



**LEGEND**

- Arterial
- Collector (High Volume)
- Local Collector (with Median)
- Local Collector (without Median)

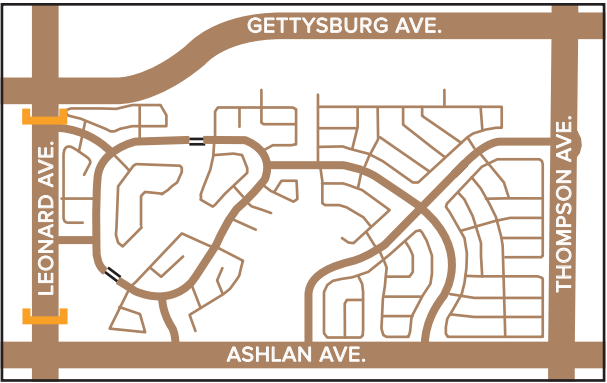
- Local
- Class II Bike Lane
- Roundabout
- Bridge

- Traffic Signal
- Home Place Master Plan Project Area
- Commercial Neighborhood
- Medium Density Residential

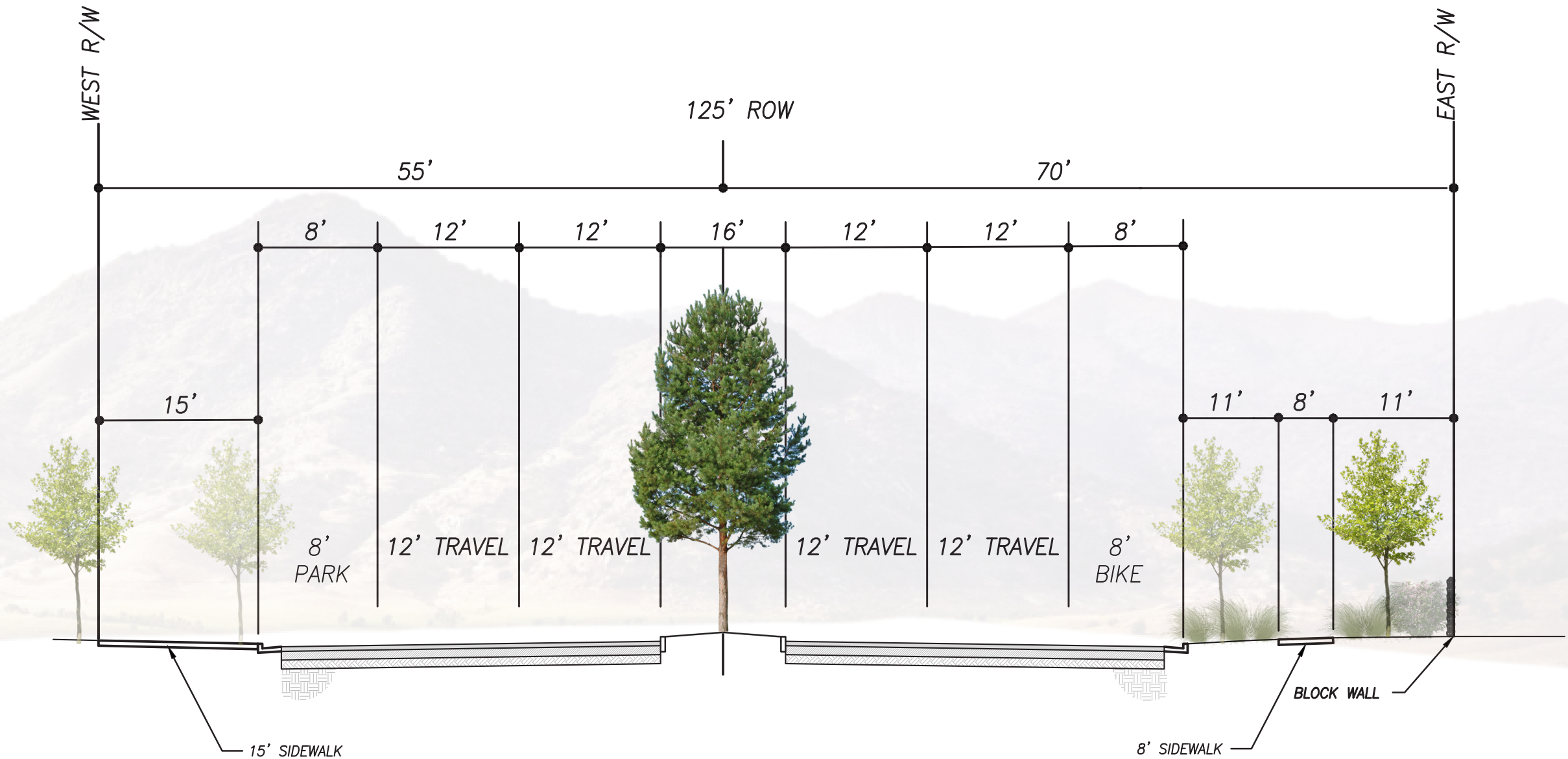


# Cross-Section of Leonard Avenue (Facing North)

Note: If the existing FID line located to the east of the northeast segment of Leonard Avenue is not abandoned, then the street improvements will include a FID easement along the northeast portion of the street. The street improvements shall be installed in conformance with local agency standards and/or any minor modifications approved by the City.

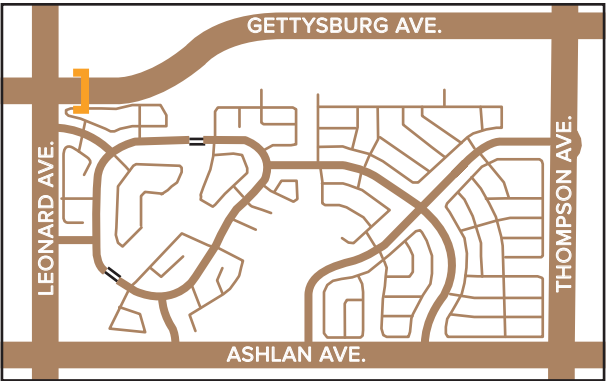


Key Map

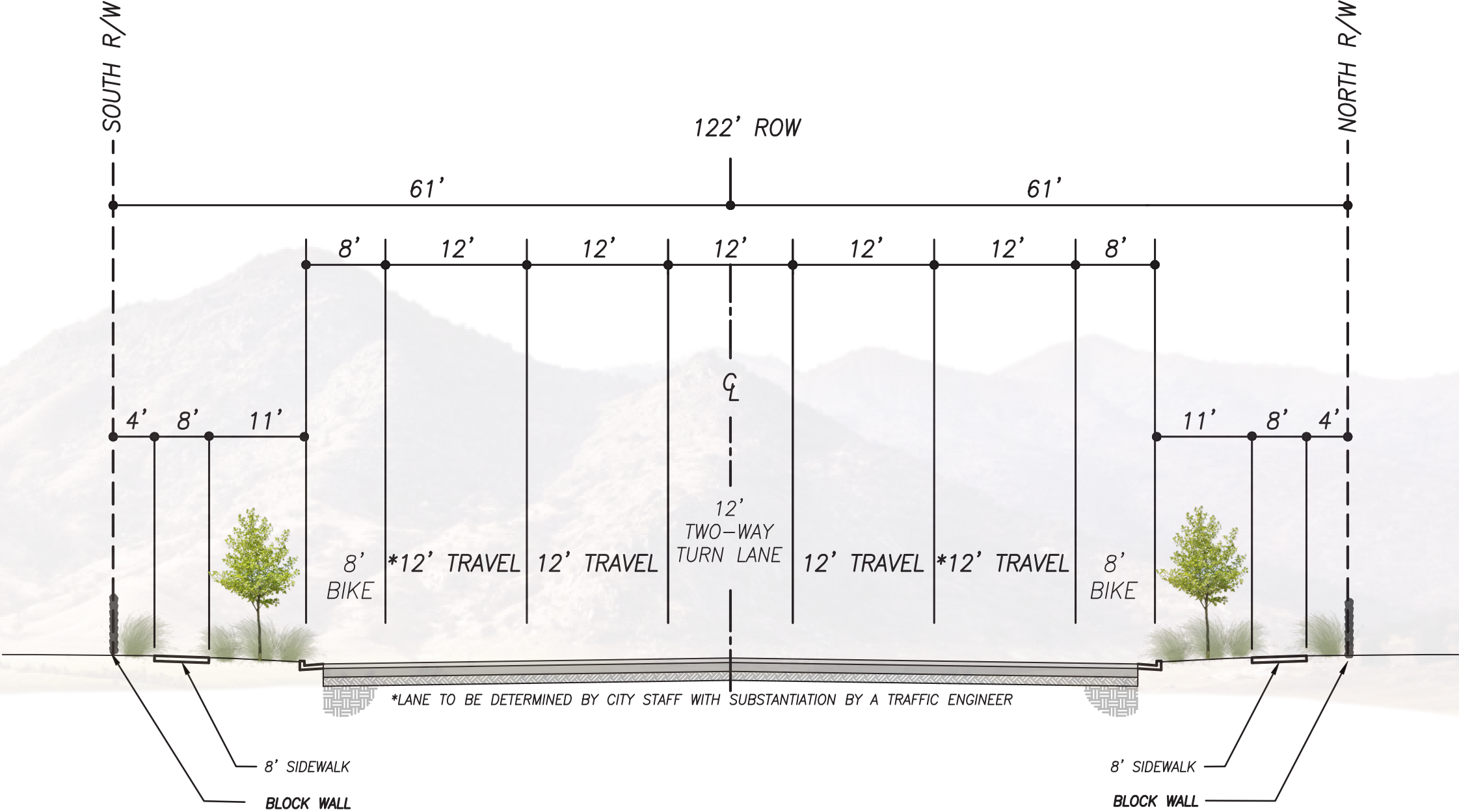




Cross-Section of Gettysburg Avenue (Facing West)

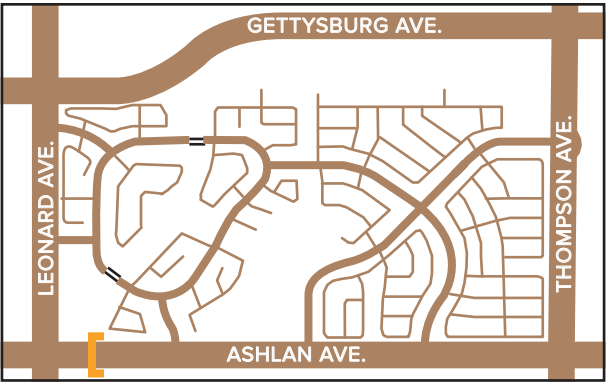


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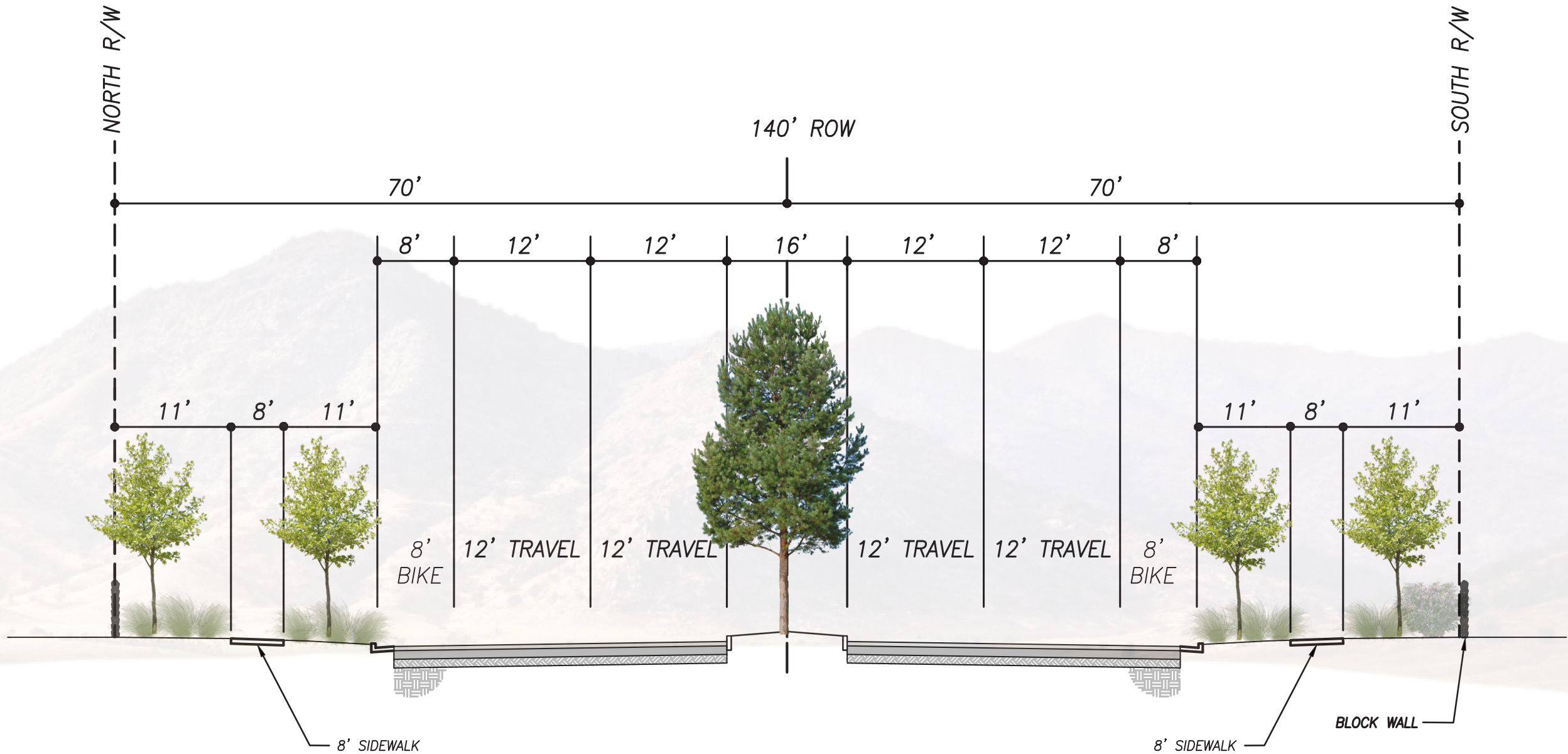




Cross-Section of Ashlan Avenue (Facing East)



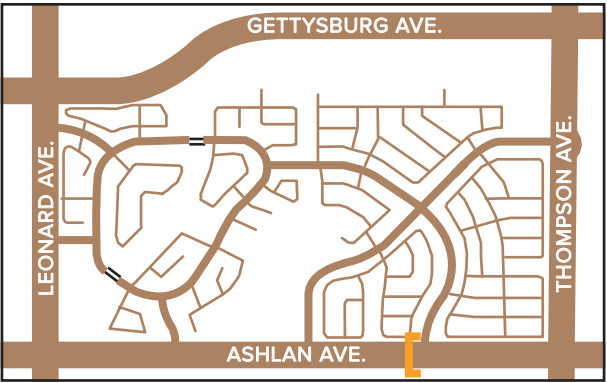
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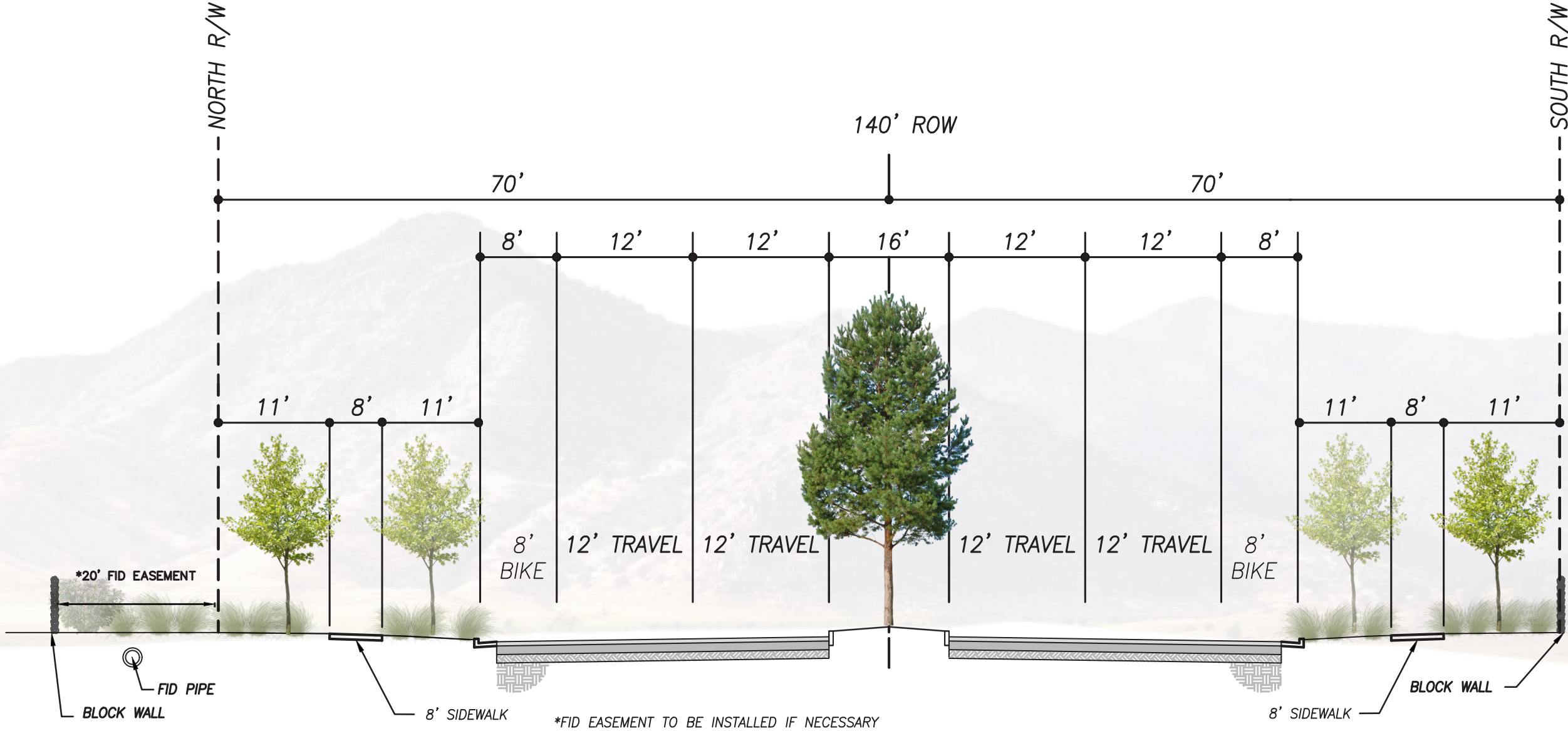


# Cross-Section of Ashlan Avenue (With FID Easement - West of Loop Road) (Facing East)

The roadway design will apply where the FID line is located to the west of Loop Road.



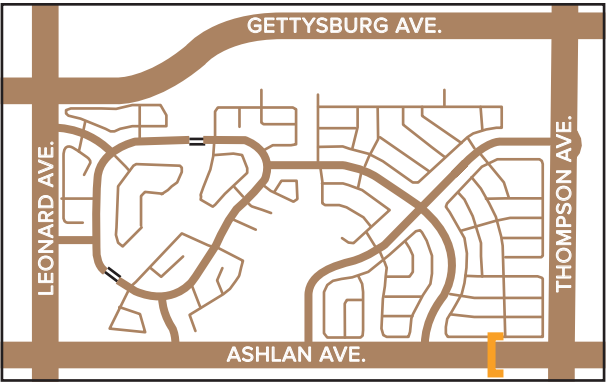
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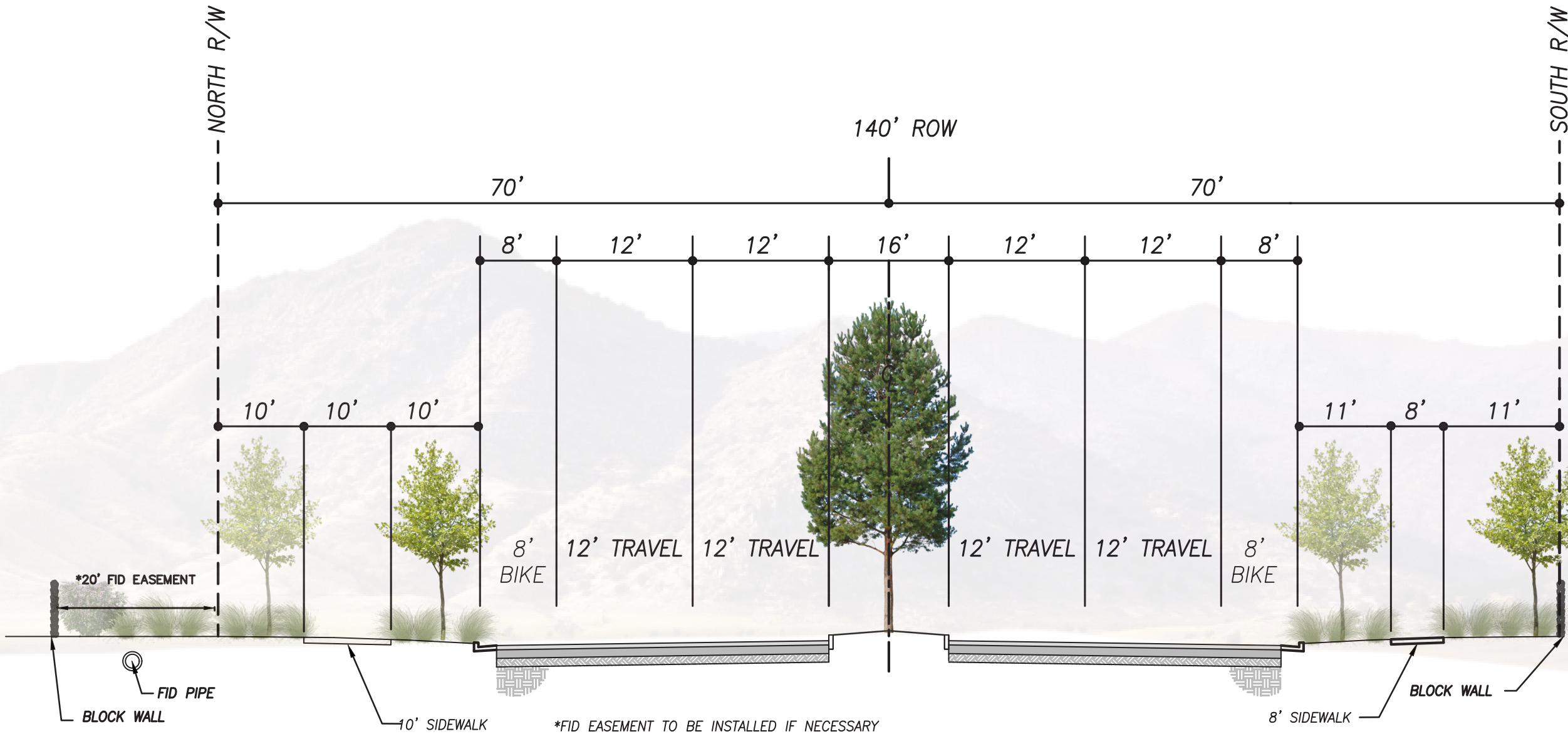


# Cross-Section of Ashlan Avenue (With FID Easement - East of Loop Road) (Facing East)

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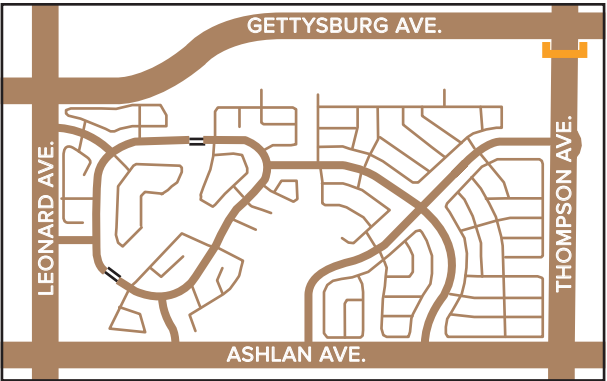


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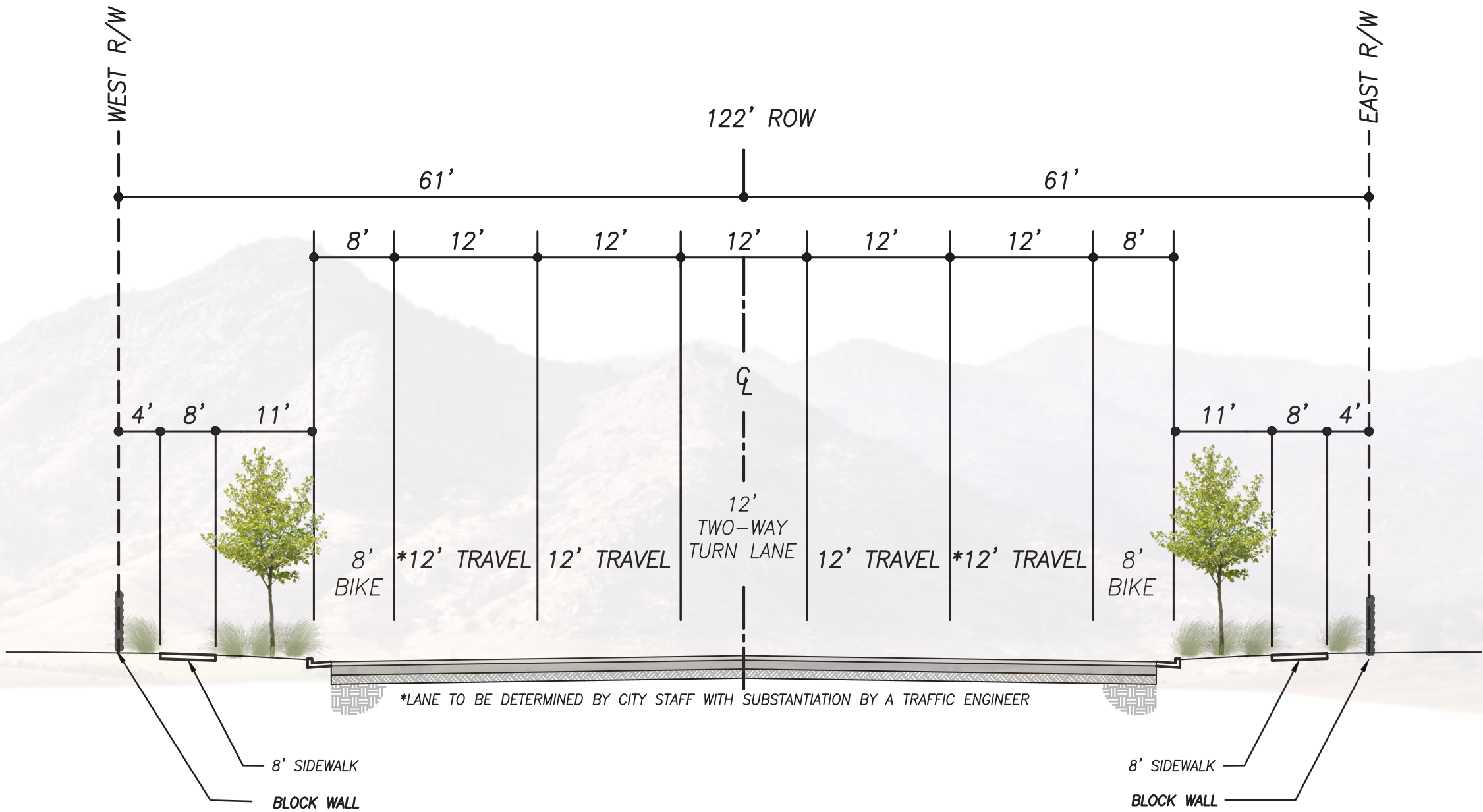




Cross-Section of Thompson Avenue (Facing North)



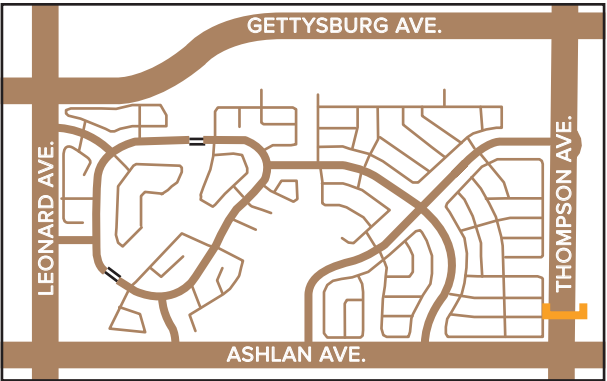
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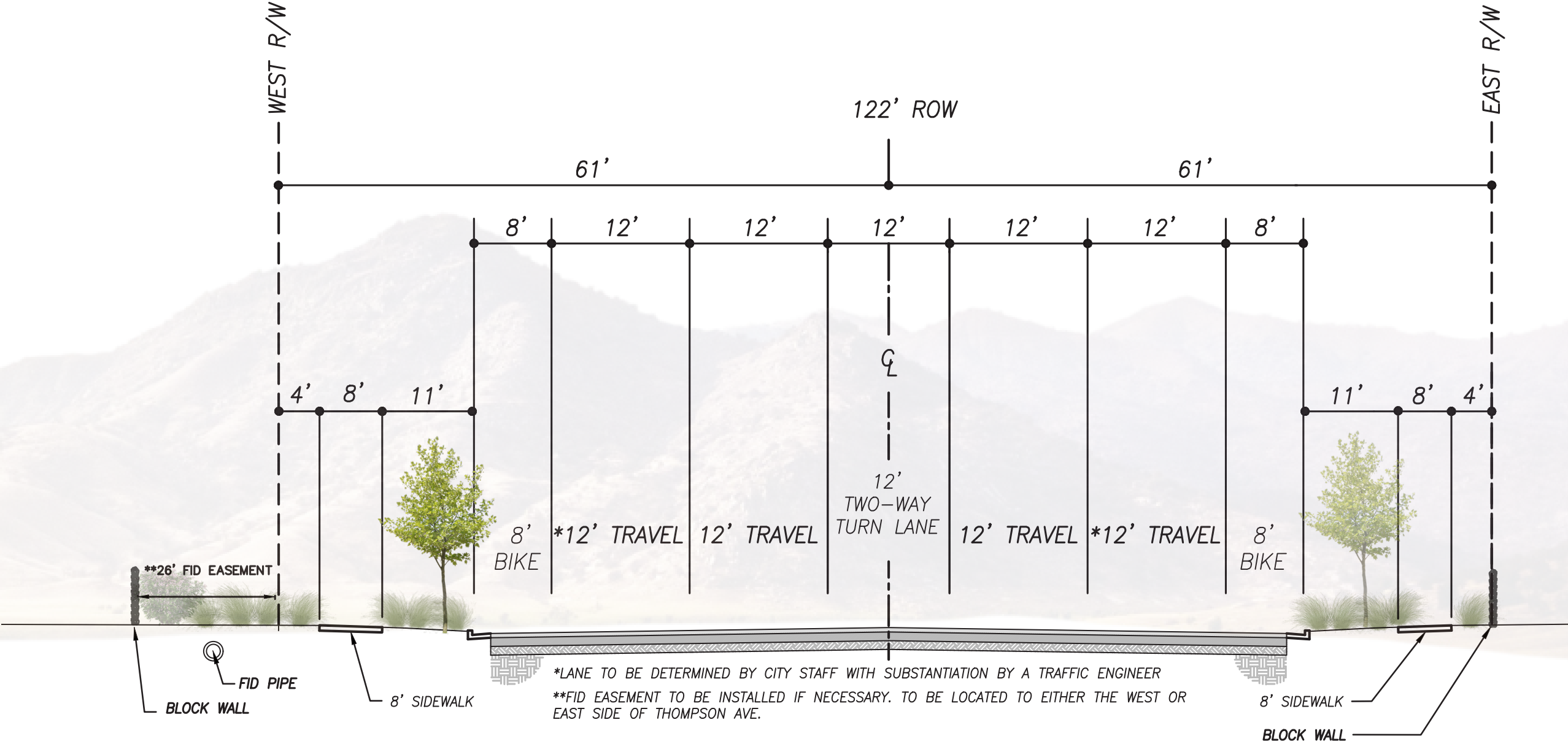


# Cross-Section of Thompson Avenue (With FID Easement on West Side) (Facing North)

The roadway design will apply where the FID line is located. To be located on either the west or east side of Thompson Avenue.



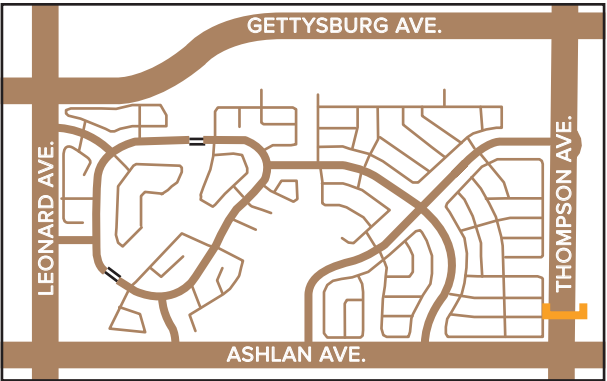
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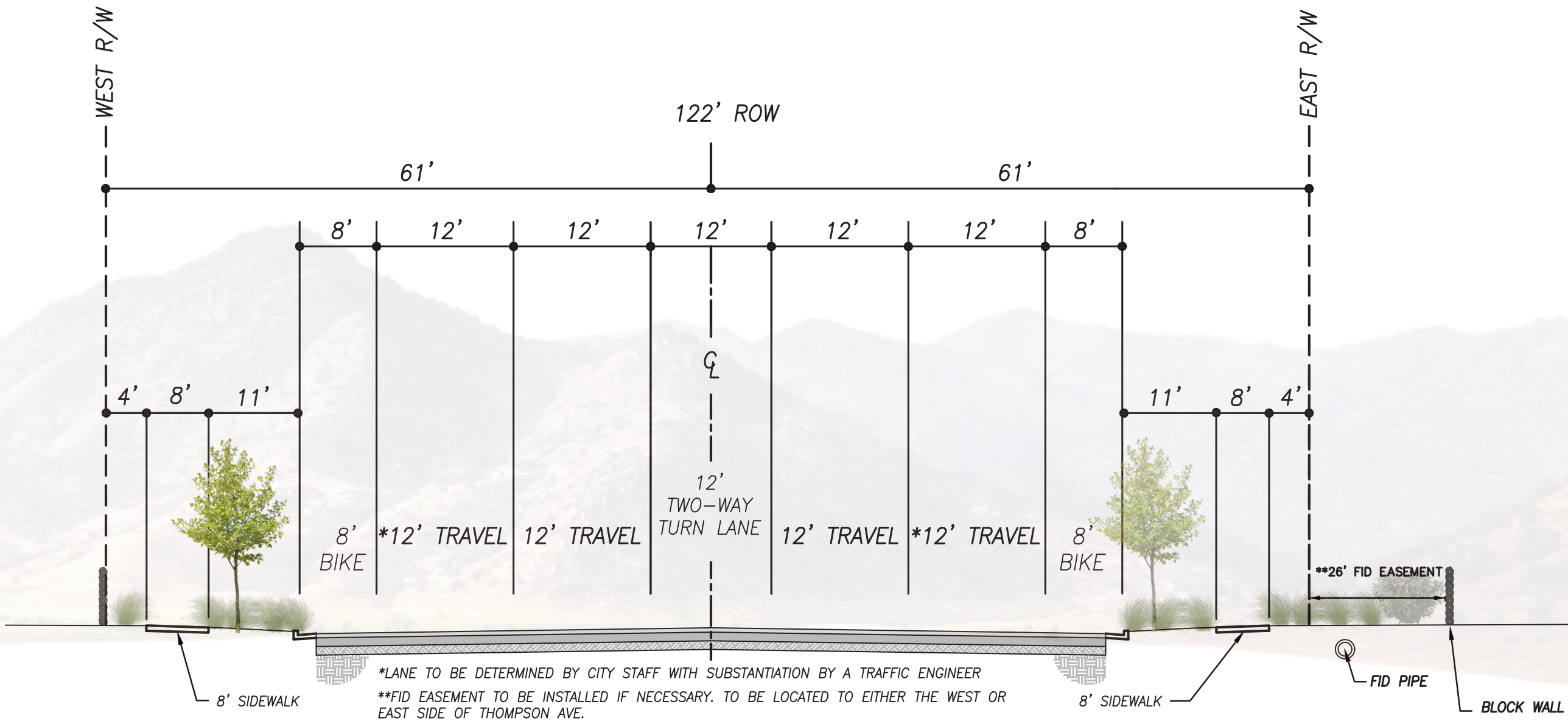


# Cross-Section of Thompson Avenue (With FID Easement on East Side) (Facing North)

The roadway design will apply where the FID line is located. To be located on either the west or east side of Thompson Avenue.



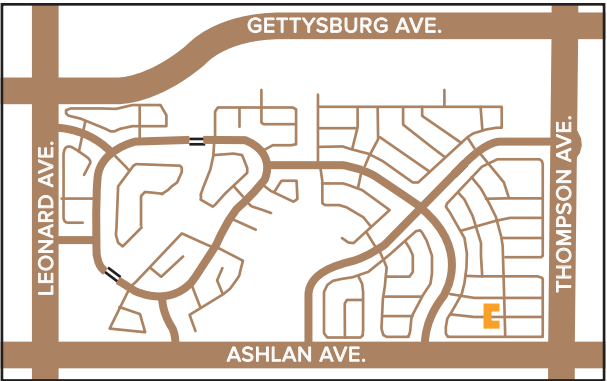
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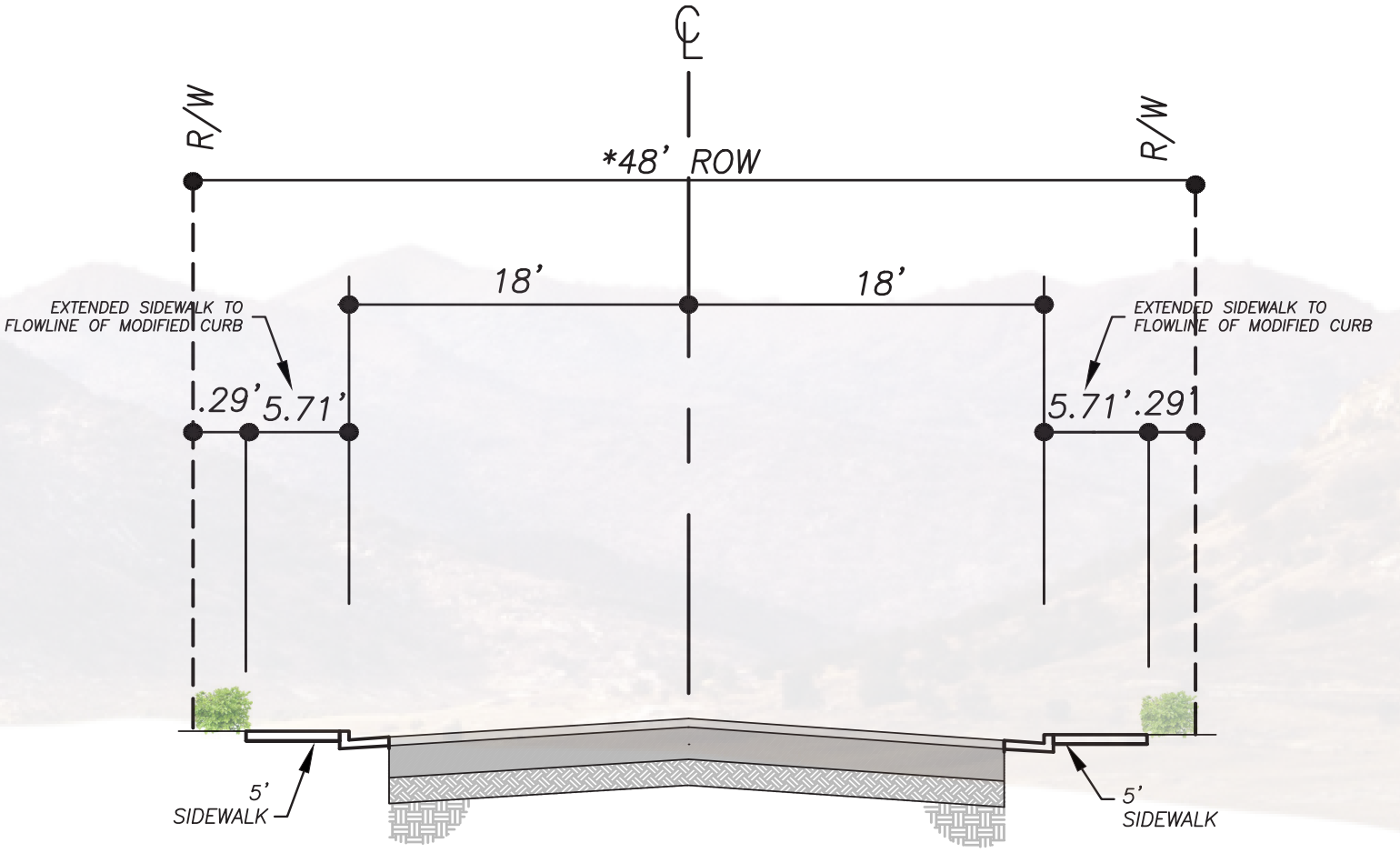
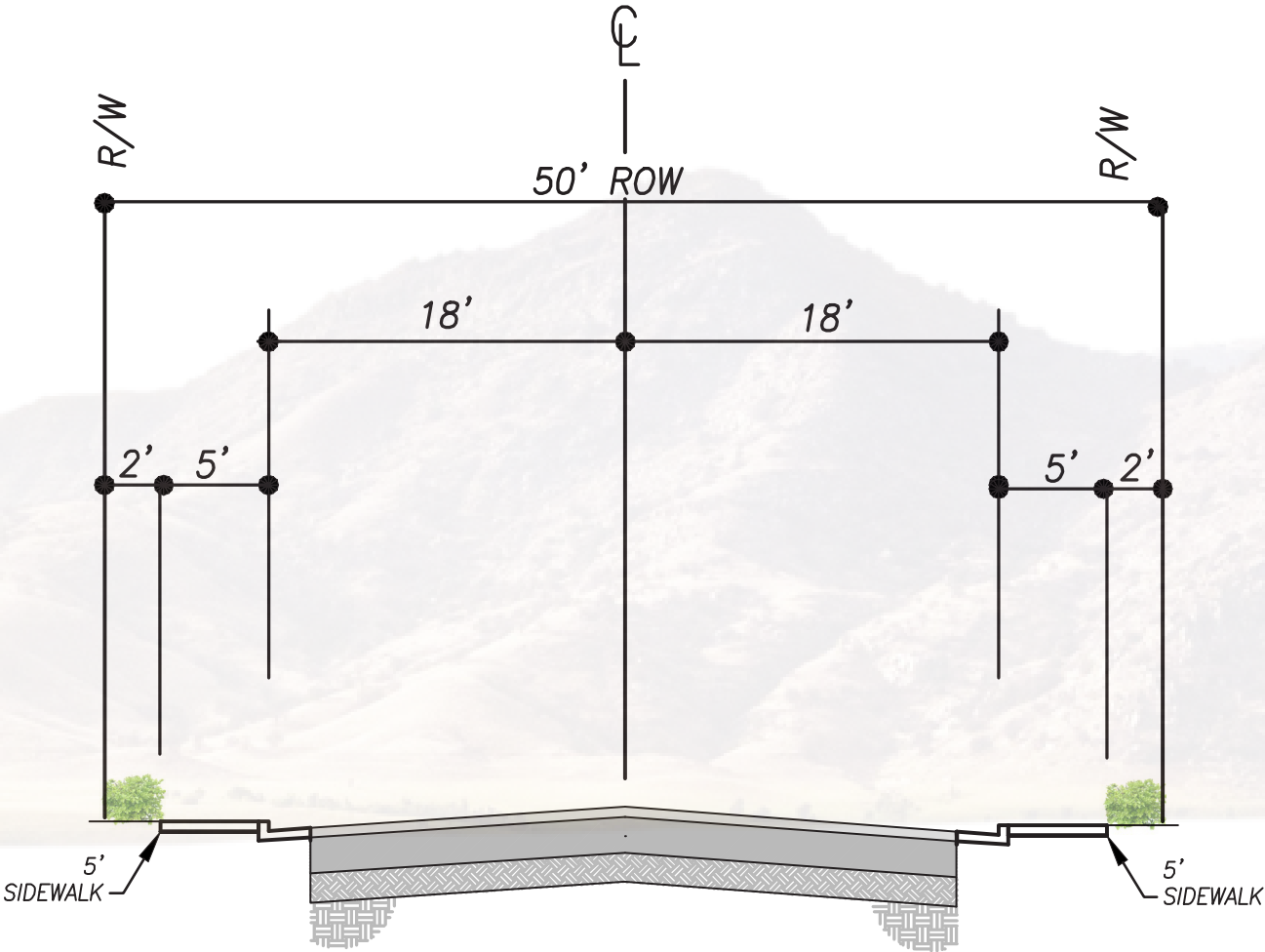


# Cross-Section of Typical Local Street

The 48' roadway section will be implemented in areas with small lot products less than 6,000 sf.



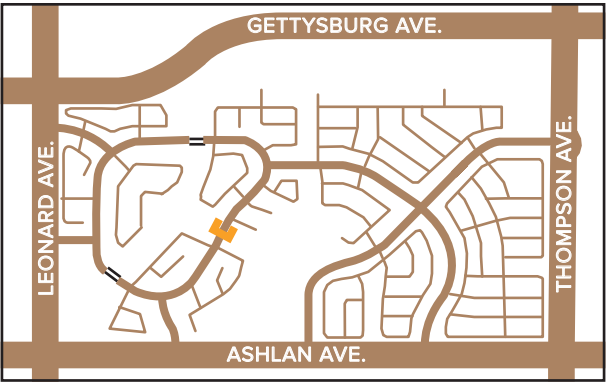
Key Map



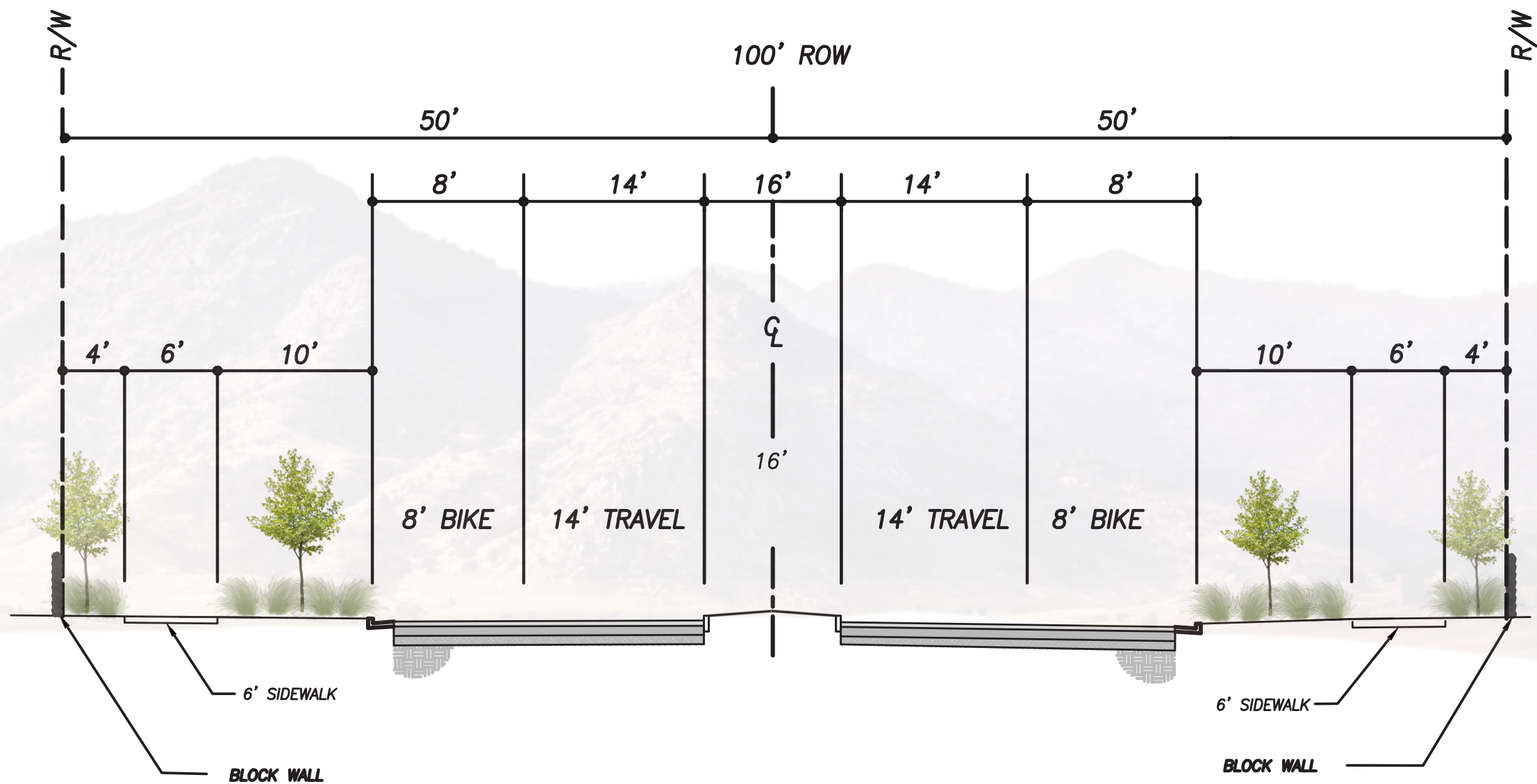
\*TO BE IMPLEMENTED IN AREAS WITH SMALL LOT PRODUCTS LESS THAN 6,000 SF  
NOTE: ADDITIONAL EASEMENT/RIGHT-OF-WAY MAY BE REQUIRED TO ACCOMMODATE FIRE HYDRANTS, STREETLIGHTS, AND MAILBOXES.



Cross-Section of Typical Local Collector Median

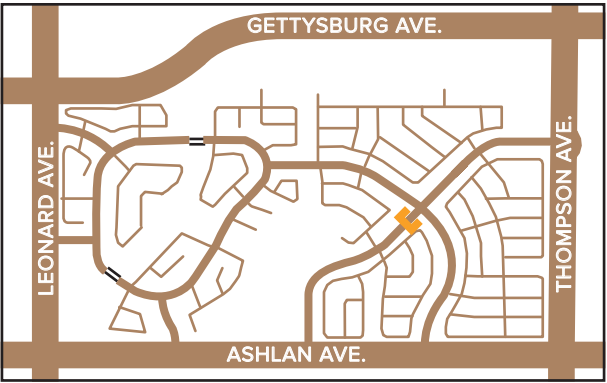


Key Map

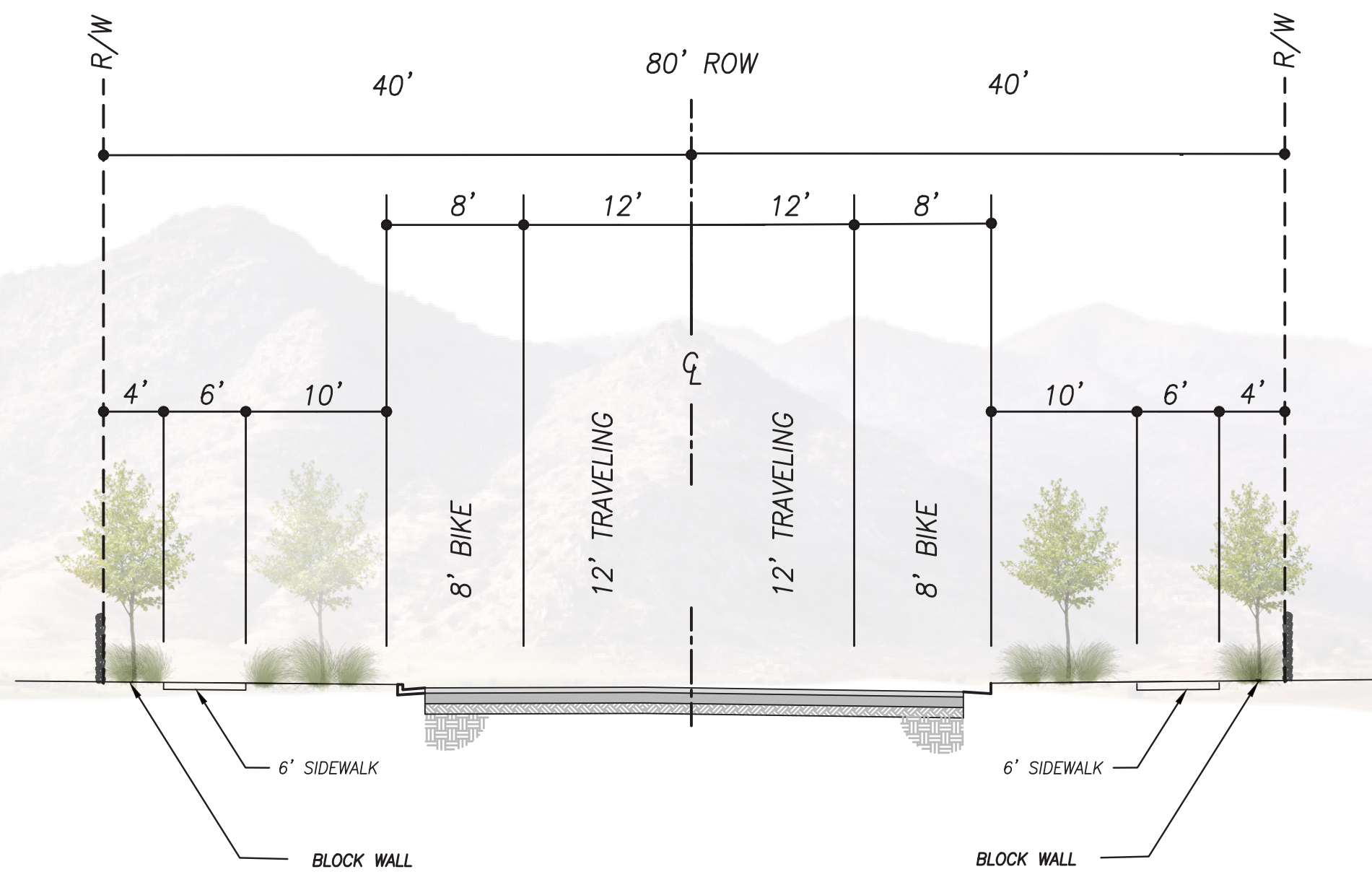




Cross-Section of Typical Local Collector Non-Median



Key Map







## Trails & Paths

An extensive network of trails is provided in the Southeast Urban Center. Dog Creek, and the Gould, Jefferson, and Enterprise Canals are centerpieces of this system. These existing irrigation canals are utilized as linear open space amenities accommodating trails and connecting parts and activity areas.

### LEGEND

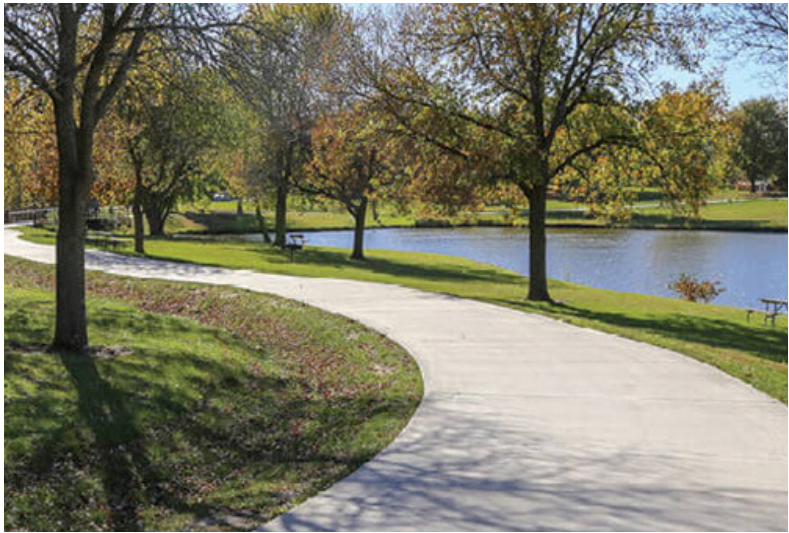
- Class 1 Multi-Use Trails
- - - - - Pedestrian Walkway
- Multi-Purpose Trail (Per LVSP)
- Community Collector Trail (Per LVSP)
- ↑ A ↑ Cross-Section No.



Trail and Paths Guidelines

The pedestrian focused layout of the Home Place Master Plan is based on connecting people to each other and nature. Hand in hand with the cross section provided, the following criteria shall be integrated into the design of the trails:

- 4.4.1 Trails shall meander, where possible.
- 4.4.2 Utilize berming and soil mounding to create visual interest and breakup level terrain.
- 4.4.3 Include site lighting, benches, and receptacles along the trails and paths. Locate benches under the canopy of a shade tree where possible.
- 4.4.4 Provide unique experiences for trail users, including found objects and interpretive signage. Found objects can include durable agricultural elements that will sustain exposure to the elements, such as granite cores from well drillings, pitcher pumps, and stone troughs.
- 4.4.5 Include way-finding signage and trail entrances and junctions.
- 4.4.6 Provide access to shade by planting large canopy shade trees adjacent to the trail, and keep planting low for safety and high visibility.



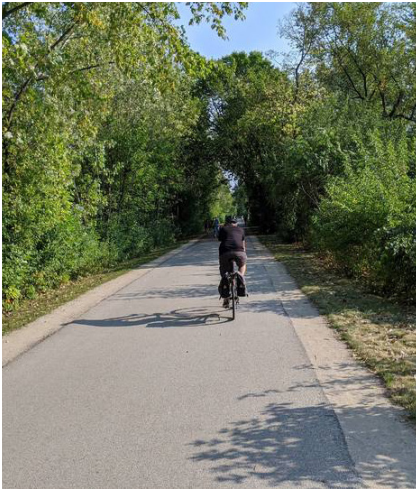
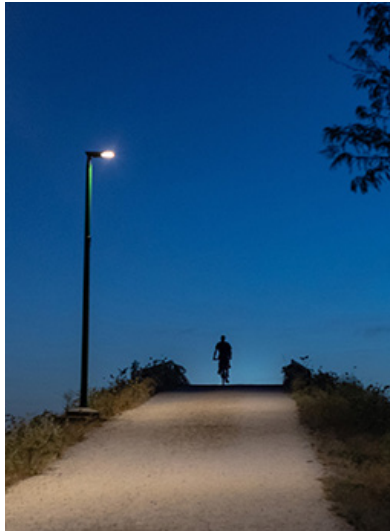
Look for opportunities to break up the trail configurations and provide landscape buffers and berming



Large tree canopy with low planting for safe visibility



Furnishings



Multi-use trail with low shoulders on each side



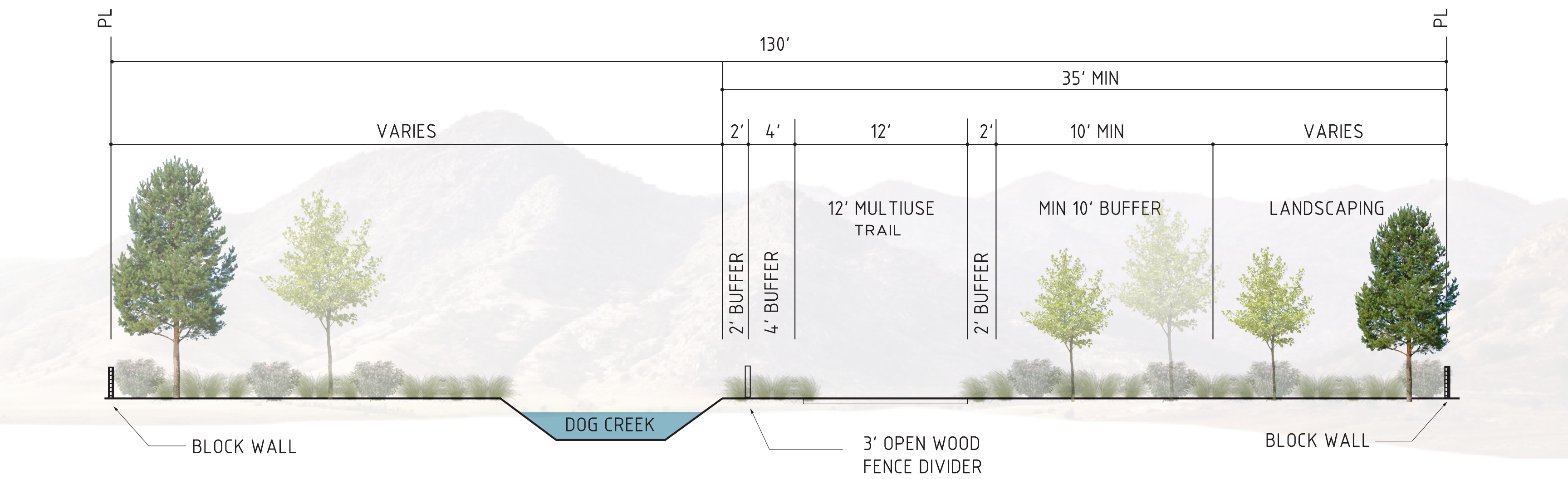
Unique experiences





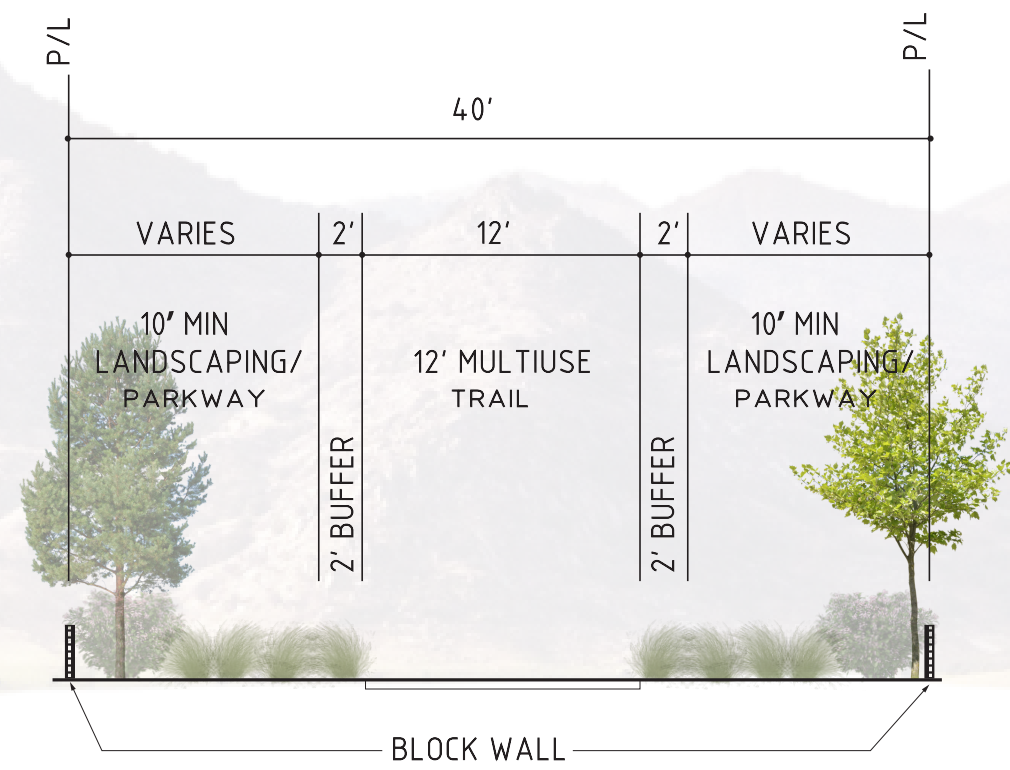
# Cross-Section A - Multi-Use Trail Along Dog Creek

The trail section is conceptual and is consistent with the trail design in the LVSP, Figure 19A. Final configuration, dimensions, and designs are subject to site specific conditions and approval by the Fresno Metropolitan Flood Control District.





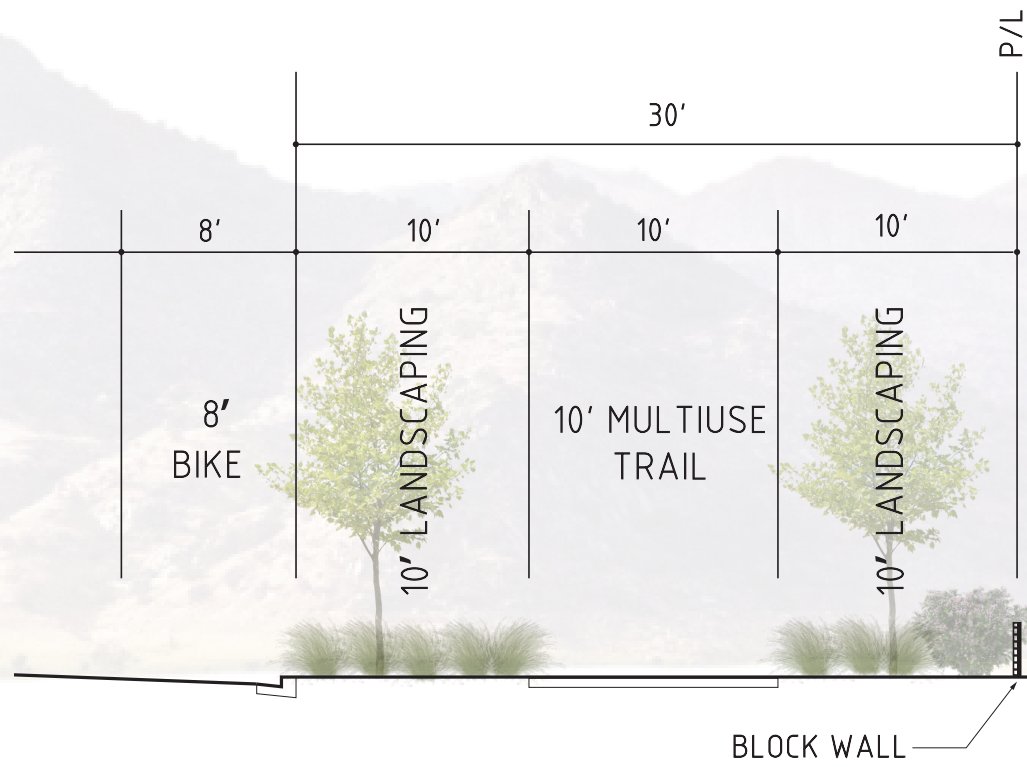
Cross-Section B - Multi-Use Trail





# Cross-Section C

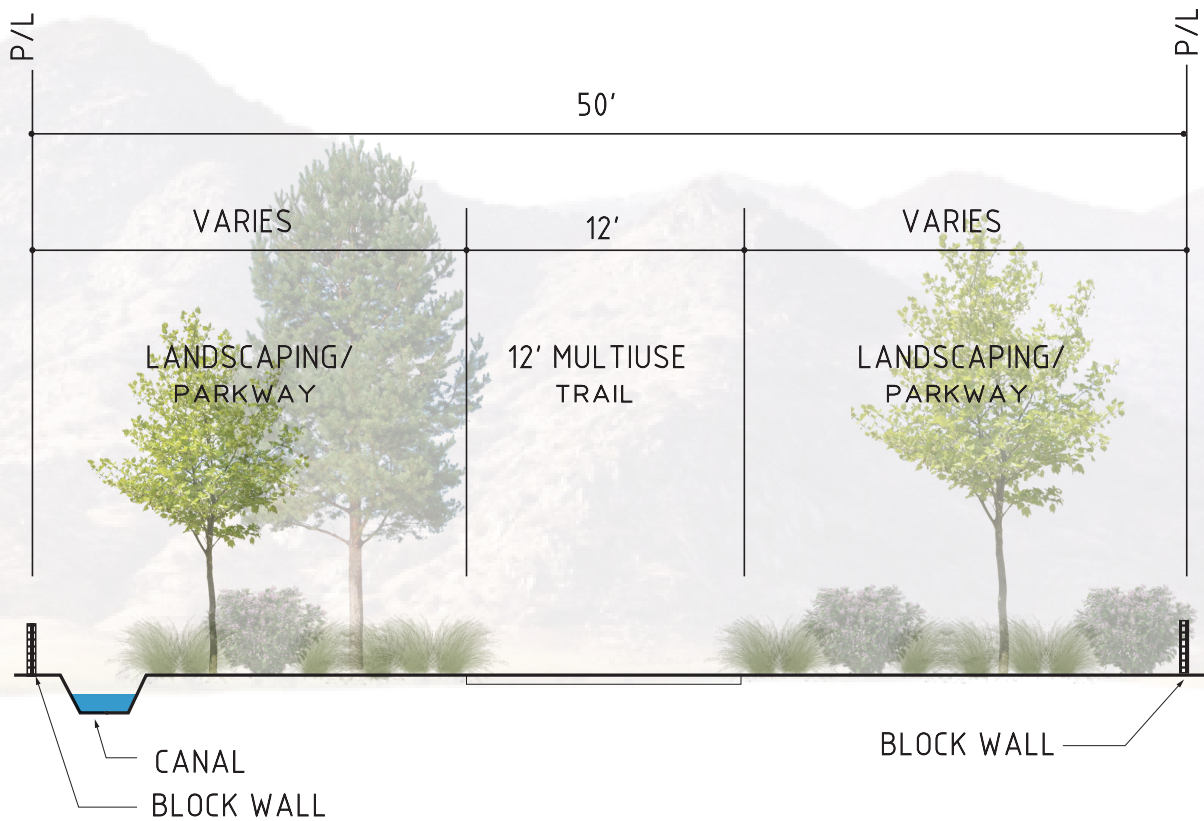
The trail section is intended to provide an off-street pedestrian and bicycle connection adjacent to the local street from Ashlan Avenue to the neighborhood parks in the northeast quadrant of the Home Place Master Plan.





# Cross-Section D

The trail section is conceptual. Final configuration, dimensions, and designs are subject to site specific conditions and approval by the Fresno Metropolitan Flood Control District.





## **SECTION 5**

# **OPEN SPACE & LANDSCAPE**

**5.1** Open Space & Landscape Diagram

**5.2** Parks

**5.3** Plant Palette

**5.4** Plant Selection & Irrigation Design Guidelines





## Open Space and Parks

The design intent for open space and parks in the Home Place Master Plan project site is to provide outdoor recreational spaces for both passive and active uses. They will be designed to enhance and reflect the character of the surrounding neighborhoods.

### LEGEND

- Pocket Park
- Neighborhood Park
- Historic Home Place Site & Orchard

Note: The location of the open space/parks may be reconfigured; however, the overall square footage of open space/parks will remain the same.

## 5.1 Open Space & Landscape Diagram



# Neighborhood Parks

There are nine pocket parks and two neighborhood parks proposed as part of the Home Place Master Plan. Park sizes vary in size from 1/4 acre to 3 acres. Each park will be programmed with a specific theme to offer a diverse variety of uses to better serve the community. Programming, focal elements, details, and furnishings should reflect the Home Place’s agricultural heritage and natural history. All open space landscaping and structures will be maintained by the Landscape Maintenance District. The Home Place Master Plan proposes open space amenities at a higher level than what can be accommodated by the base assessment level of the Landscape Maintenance District. The maintenance of the higher level of amenities shall be funded through an additional, enhanced assessment.

## ~0.25 ACRE POCKET PARK

Theme: Neighborhood Garden & Natural Play Area

Amenities Include:

- Garden-like layout with natural climbing and slides
- Small gathering spaces with seating

Informal nature-play experiences

## ~0.96 ACRE POCKET PARK

Theme: Family Togetherness

Amenities Include:

- Shaded picnic/seating
- Play area for ages 2-5 and 5-12

## ~0.97 ACRE POCKET PARK

Theme: Game Space

Amenities Include:

- Games for all ages with fixed durable infrastructure, (Bocce, Horseshoes, Cornhole)
- Shaded picnic

Note: Remaining pocket parks not specifically identified will include benches, trash cans, and pet waste stations. Park programming may adjust over time based on market conditions or city requirements. Regardless, the amenity level should remain consistent.

# 5.2 Parks

## ~3.01 ACRE NEIGHBORHOOD PARK

Theme: Neighborhood Wellness

Amenities Include:

- Shaded Amphitheater for neighborhood events
- Picnic areas, centralized space and more private spaces
- Open space turf area, large enough for (2) U-9 soccer fields
- Fitness pods
- Restrooms facilities

## ~2.42 ACRE NEIGHBORHOOD PARK

Theme: Kid-Centric

Amenities Include:

- Large play area for ages 2-5 and 5-12
- Picnic
- Open space turf area

# Conceptual Site Plan for Neighborhood Park



Playground



Stationary Exercise Equipment





# Arterial & Collector Street Tree List

Arterial and collector street median planters will be planted with City of Clovis standard trees. All arterial and collector streets have been designated a Primary and Accent tree. Primary street trees shall be planted in planter strips, or behind sidewalks when applicable. Primary street trees shall be 15” box container size and spaced according to general mature spread, not exceeding 40 feet on center. Corner lots shall include trees along all frontages. All trees shall be planted in logical and aesthetically pleasing locations. Accent trees should also be used to provide color and accents at entries and at points of interest along a street. Accent trees can be used be used as a secondary tree, located behind sidewalk, when frontages have enough depth to accommodate both a Primary and Accent tree. Accent trees shall be planted a minimum 15-inch box container.

## Primary and Accent Trees By Street

*Leonard Avenue:*

- Primary: Quercus coccinea, Scarlet Oak (Deciduous)
- Accent: Olea europaea ‘Swan Hill’, Swan Hill Fruitless Olive (Evergreen)

*Gettysburg Avenue:*

- Primary: Magnolia grandifolia ‘Majestic Beauty’, Southern Magnolia (Evergreen)
- Accent: Lagerstroemia indica ‘Muskogee’, Lavender Flowering Crape Myrtle (Deciduous)

*Ashlan Avenue:*

- Primary: Quercus lobata, Valley Oak (Deciduous)
- Accent: Arbutus ‘Marina’, Strawberry Tree (Evergreen)

*Thompson Avenue:*

- Primary: Magnolia grandifolia ‘Majestic Beauty’, Southern Magnolia (Evergreen)
- Accent: Cercis canadensis ‘Oklahoma’, Eastern Redbud (Deciduous)

### Leonard Avenue



Scarlet Oak



Swan Hill Fruitless Olive

### Gettysburg Avenue



Southern Magnolia



Lavender Flowering Crape Myrtle



*Ashlan Avenue*



Valley Oak



Strawberry Tree

*Thompson Avenue*



Southern Magnolia



Eastern Redbud

Symbol	Botanical Name	Common Name	Water Use	Use Area
T-1	Arbutus 'Marina'	Marina Madrone	L	A,E,M,Pw,Pk,T
T-2	Brachychiton species	Australian Bottle Tree	L	A,E,M,Pk,P,
T-3	Brahea armata	Blue Hesper Palm	L	A,E,M ,P
T-4	Cercidium x 'Desert Museum'	Thornless Palo Verde	VL	A,M,Pk,P,T
T-5	Cercis canadensis 'Oklahoma'	Eastern Redbud	L	A,E,M,Pw,Pk,,T
T-6	Cercis occidentalis	Western Redbud	L	
T-7	Chilopsis linearis	Desert Willow	VL	A ,Pk,P,T
T-8	x Chitalpa tashkentensis	Chitalpa	L	A,E,Pk,P,T
T-9	Cupressus forbsii	Tecate Cypress	VL	E,M,Pk,T
T-10	Cupressus sempervirens	Italian Cypress	M	A,Pk,,T
T-11	Cotinus species	Smoke Tree	L	A,E,Pk
T-12	Geijera parvifolia	Australian Willow	M	A,M,Pw,Pk
T-13	Ginkgo biloba	Maiden Hair Tree	M	A,M,Pw,Pk,
T-14	Lagerstroemia indica 'Dynamite'	Crepe Myrtle- red	L	A,E,M,Pw,Pk
T-15	Lagerstroemia indica 'Natchez'	Crepe Myrtle – white	L	A,E,M,Pw,Pk,P
T-16	Lagerstroemia indica 'Muskogee'	Crepe Myrtle – pink	L	A,E,M,Pw,Pk
T-17	Laurus 'Saratoga'	Saratoga Laurel	L	E, Pw,Pk,P
T-18	Magnolia grandiflora 'Majestic Beauty'	Southern Magnolia	M	A,E,M,Pk
T-19	Melaluca nesophila	Pink Melaleuca	L	A,E,P
T-20	Olea 'Swan Hill'	Fruitless Olive	L	A,E, ,Pk,P
T-21	Pinus eldarica	Afghan Pine	L	M,Pw,Pk,T
T-22	Pistachia chinensis 'Keith Davey'	Keith Davey Pistache	L	E,M,Pw,Pk,P,T
T-23	Platanus x acerifolia 'Columbia'	London Plane	M	M,Pw,Pk,P,T
T-24	Platanus racemose	California Sycamore	M	M,Pk,T
T-25	Prosopis x Phoenix	Thornless Chilean Mesquite	L	A,E,,P,T
T-26	Quercus chrysolepis	Canyon Live Oak	VL	M,Pw,Pk,P,T
T-27	Quercus engelmannii	Mesa Oak	L	E,M,Pw,Pk,P,T
T-28	Quercus lobate	Valley oak	L	M,Pw,Pk,P,T
T-29	Quercus suber	Cork Oak	L	E,M,Pw,Pk,P,T
T-30	Quercus wislizeni	Interior Live Oak	VL	M,Pw,Pk,,T
T-31	Sophora secundiflora	Texas Mountain Laurel	L	A,E,Pk
T-32	Ulmus parvifolia	Chinese Elm	M	M,Pw,Pk,,T
T-33	Washintonia filifera	California Fan Palm	M	A,E,M,Pk,P,
T-34	Zelkova serrata	Saw Leaf Zelkova	M	A,E,Pk

Use Area: A-Accent, E-Community Entries M-Median, Pw-Parkway, Pk-Parks, P-Paseo & Plaza, T-Trails & Open Space; Water use: H-High, M-Medium, L-Low, VL-Very Low



Shrubs

Symbol	Botanical Names	Common Name	Water Use	Use Area
S-1	Acacia redolens ‘Desert Carpet’		VL	T
S-2	Agave ‘Blue Glow’	Blue Glow Agave	VL	A,E,M,T
S-3	Agave franzosinii	Majestic Agave	VL	A,E,M
S-4	Agave parryii	Parry’s Agave	VL	A,E,M,T
S-5	Aloe species	Aloe	VL	A,E,M,Pw,Pk,P
S-6	Arctostaphylos species	Manzanita	VL	A,E,M,Pw,Pk,P,T
S-7	Bougainvillea species	Bougainvillea	L	A,E ,P
S-8	Ceanothus species	California Lilac	L	E,M,Pw,Pk,P,T
S-9	Caesalpinea gilliesii	Mexican Bird of paradise	L	A,E,Pk,P
S-10	Callistemon citrinus ‘Little John’	Bottler Brush	L	E,M,Pw,Pk,P,T
S-11	Callistemon jeffersii	Purple Bottlebrush	L	E,M,Pk,
S-12	Cistus x pulverulentus ‘Sunset’	Magenta Rockrose	L	E,M,Pw,Pk,P,T
S-13	Correa spp	Australian Fuchsia	L	A,E,Pk,P,
S-14	Cotyledon species	Cotyledon	L	A,E,Pw,Pk,P,
S-15	Eriogonum species	Buckwheat	L	E,Pk,T
S-16	Epilobium species (Zauchneria)	California Fucshia	L	A,E,Pw,Pk,P,T
S-17	Euphorbia rigida	Silver Spurge	VL	A,E,Pw,Pk,P,
S-18	Fejoa sellowiana	Pineapple Guava	L	M ,Pk,P
S-19	Ferocactus species	Barrel Cactus	VL	A,E,M ,Pk,P
S-20	Fremontedendrom ‘Dara’s Gold’	Flannel Bush	VL	E,M,Pk,T
S-21	Grevillea species	Grevillia	L	A,E,M ,Pk,P
S-22	Hesperaloe parvifolia	Red Yucca	VL	A,E,M,Pw,Pk,P,T
S-23	Heteromoles	Toyon	L	M,Pk,T
S-24	Kniphofia hybrids	Red Hot Poker	L	A,E,Pw,Pk,P
S-25	Laurus nobilis	Sweet Bay	L	E,M,Pk,P
S-26	Lantana montevidensis	Trailing Lantana	L	A,E,M,Pw,Pk,
S-27	Lantana x ‘New Gold’	New Gold Lantana	L	A,E,M,Pw,Pk,
S-28	Lavandula ‘Goodwin Creek’	Lavender	L	A,E,M,Pw,Pk,P
S-29	Lavendula stoechas	Spanish Lavender	L	A,E,M,Pw,Pk,P
S-30	Leucophylum frutescens	Texas Ranger	L	E,M,Pw,Pk,T
S-31	Ligustrum japonicum texanum	Texas Privet	L	E,Pk,P,T
S-32	Mahonia repens	Creeping Oregon Grape	L	Pw,Pk,P,T
S-33	Nerium oleander	Oleander	VL	M,Pk,,T
S-34	Olea ‘Lil Ollie’	Dwarf Olive	L	E,M,Pk,P
S-35	Opuntia spp	Prickly Pear	VL	A,E,M,Pk,P
S-36	Penstemon species	Penstemon	L	A,E,Pw,Pk,P,T
S-37	Perovskia species	Russian Sage	L	A,Pw,Pk,T
S-38	Phormiun tenax	New Zealand Flax	L	A,M,Pk,P,T
S-39	Pittosporum crassifolium ‘Compacta’	Dwarf Karo	M	A,M,Pk,P,T
S-40	Prunus caroliniana	Carolina Laurel Cherry	L	E,M,Pk,T

Symbol	Botanical Names	Common Name	Water Use	Use Area
S-45	Rhus integrifolia	Lemonade Berry	L	M,Pk,T
S-46	Rosemarinus officinalis ‘Tuscan Blue’	Rosemary	L	E,M,Pk,P
S-47	Rosemarinus ‘Prostratus’	Prostrate Rosemary	L	E,M,Pw,Pk,P,T
S-48	Salvia apiana	White Sage	VL	A, M,Pw,Pk ,T
S-49	Salvia x ‘Bee’s Bliss’	Bee’s Bliss Sage	L	E,M,Pk,T
S-50	Salvia clevelandii	Blue Sage	L	A,M,Pw,Pk,T
S-51	Salvia chamaedryoides	Germander Sage	L	A,M,Pw,Pk,P
S-52	Salvia greggii	Autumn Sage	L	A,E,M,Pw,Pk,P
S-53	Salvia leucantha	Mexican Sage	L	A,E,M,Pw,Pk,P
S-54	Salvia mellifera	Black Sage	L	Pw,Pk,T
S-55	Santolina species	Lavender Cotton	L	E,M,Pk,P
S-56	Sisyrinchium bellum	Blue Eyed Grass	L	A,Pw,Pk,P
S-57	Sphaeralcea spp	Globe Mallow	VL	A,M,Pk,P,T
S-58	Teucrium chamaedrys ‘Nanum’	Germander	L	A,E ,P
S-59	Teucrium cossonii	Fruity Germander	VL	Pw,Pk,P
S-60	Tecoma x ‘Solar Flare’	Solar Flare Esperanza	L	A, M,Pk,P
S-61	Trichostema lanatum	Wooly Blue Curls	VL	M,Pk,T
S-62	Westringia fruticose	Coast Rosemary	L	E,M,Pw,Pk,P
S-63	Verbena bonariensis	Purple Top	L	A,E,M,Pk,P
S-64	Yucca species	Yucca	VL	A,E,M ,P

Use Area: A-Accent, E-Community Entries M-Median, Pw-Parkway, Pk-Parks, P-Paseo & Plaza, T-Trails & Open Space; Water use: H-High, M-Medium, L-Low, VL-Very Low



S-2 Blue Glow Agave



S-3 Majestic Agave



S-28 Lavender



S-25 Sweet Bay



S-6 Manzanita



S-9 California Lilac



Grasses

Symbol	Botanical Names	Common Name	Water Use	Use Area
G-1	Aristida purpurea	Purple Three-awn	L	E,M,Pw,Pk,P,T
G-2	Carex praegracillis	Clustered Field Sedge	L	E,Pk,P
G-3	Carex divulsa	Berkeley Sedge	L	E,Pw,Pk,P,T
G-4	Carex flacca	Blue Sedge	L	E,Pw,P
G-5	Festuca Mairei	Atlus Fecue	L	E,M,Pw,Pk,P
G-6	Festuca californica	California Fescue	L	E,M,Pw,Pk,P
G-7	Leymus condensatus 'Canyon Prince'		L	M,Pw,Pk,P,T
G-8	Muhlenbergia capilaris	Muhly Grass	L	A,E,M,Pk,P
G-9	Mulhenbergia dubia	Pine Muhly	L	E,M,Pw,Pk,P,T
G-10	Muhlenbergia rigens	Deer grass	L	E,M, Pk, T
G-11	Pennisetum spathiolatum	Slender Veldt Grass	L	A,E,M,Pw,Pk,P,T

Groundcovers

Symbol	Botanical Names	Common Name	Water Use	Use Area
GR-1	Baccharis piularis 'Pigeon Point'	Dwarf Coyote Brush	L	E,M,Pk,T
GR-2	Contoneaster dammeri	Bearberry	L	A,E,M, Pk,T
GR-3	Fragaria chiloensis	Beach Strawberry	L	M,Pk,T
GR-4	Dymondia margarite	Dymondia	L	E,M,Pw,Pk,P
GR-5	Myoporum parvifolium cvs.	Myoporum	L	E,M,Pw,Pk,P
GR-6	Lippia nodiflora	Kurapia	L	M,Pw,Pk

Vines

Symbol	Botanical Names	Common Name	Water Use	Use Area
V-1	Bougainvillea species	Bougainvillea	L	A,E ,P
V-2	Vitis 'Rodgers Red'	Rodgers California Grape	L	A,E ,P,T
V-3	Parthenocissus tricuspidata	Boston Ivy	M	A,E ,P
V-4	Parthenocissus 'Hacienda Creeper'	Rancho Viejo Creeper	M	A,E ,P

Use Area: A-Accent, E-Community Entries M-Median, Pw-Parkway, Pk-Parks, P-Paseo & Plaza, T-Trails & Open Space; Water use: H-High, M-Medium, L-Low, VL-Very Low

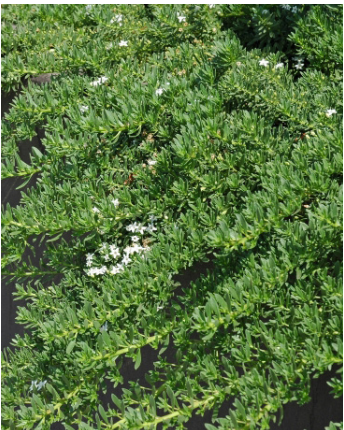
Landscape Maintenance District



G-3 Carex Grass



G-1 Purple Three awn



GG-5 Myoporum



GG-6 Kurapia

Median



G-1 Dwarf Coyote Brush



GG-2 Bearberry



GG-3 Beach Strawberry



GG-4 Dymondia



# Plant Selection & Irrigation Design Guidelines

Plant selection plays an important part in creating a space. The Home Place Master Plan plant palette and irrigation design should adhere to the following criteria:

- 5.3.1 Plant material should be low maintenance, requiring little or no heavy pruning or shearing, and spaced to allow room to grow to plant’s mature size.
- 5.3.2 Palette should be comprised primarily of acclimated and California native plant species. Invasive species are strongly discouraged.
- 5.3.3 Use of high input water consuming decorative lawns is discouraged.
- 5.3.4 Prioritize where water and maintenance efforts are placed and utilize mulched areas where dense planting is less effective.
- 5.3.5 Promote shade and clean air by planting large-leafed deciduous trees and trees with low pollen counts.
- 5.3.6 Recycled water tolerant plant species shall be used where the irrigation system utilizes the City’s recycled water source.
- 5.3.7 The irrigation design shall comply with the requirements of the State of California’s Model Water Efficient Landscape Ordinance (MWELO) and plants shall be grouped by water needs (hydrozoning) to maximize irrigation water efficiency.





## **SECTION 6**

# **SIGNAGE**

**6.1** General Signage Diagram

**6.2** Gateways

**6.3** Signage Design Guidelines





## Signage

Signage will mark major intersections and corners of the Home Place community. Signs will be visually compelling and informative. The design and aesthetics of all signage will be consistent with adjacent surroundings and the overall neighborhood.

Individual builders may add monument signage at any entry coming off of the main loop road if they choose. All monument and wayfinding signage will be maintained by the Landscape Maintenance District. The maintenance of all monument signage, wayfinding signage, and gateway signage will be funded through an additional, enhanced assessment.

### LEGEND

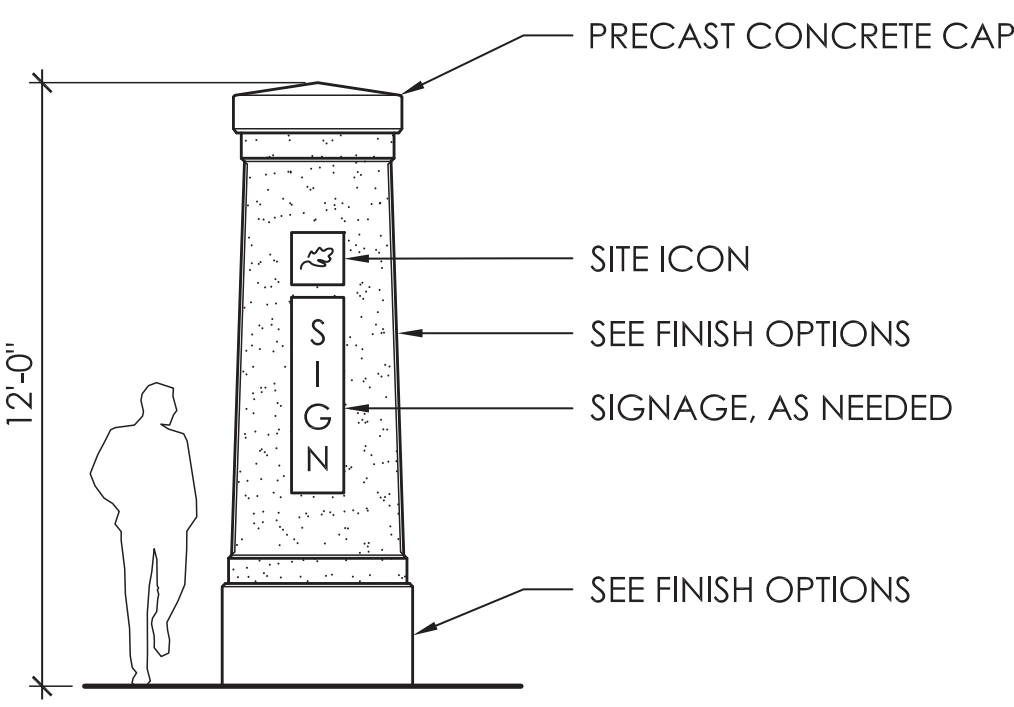
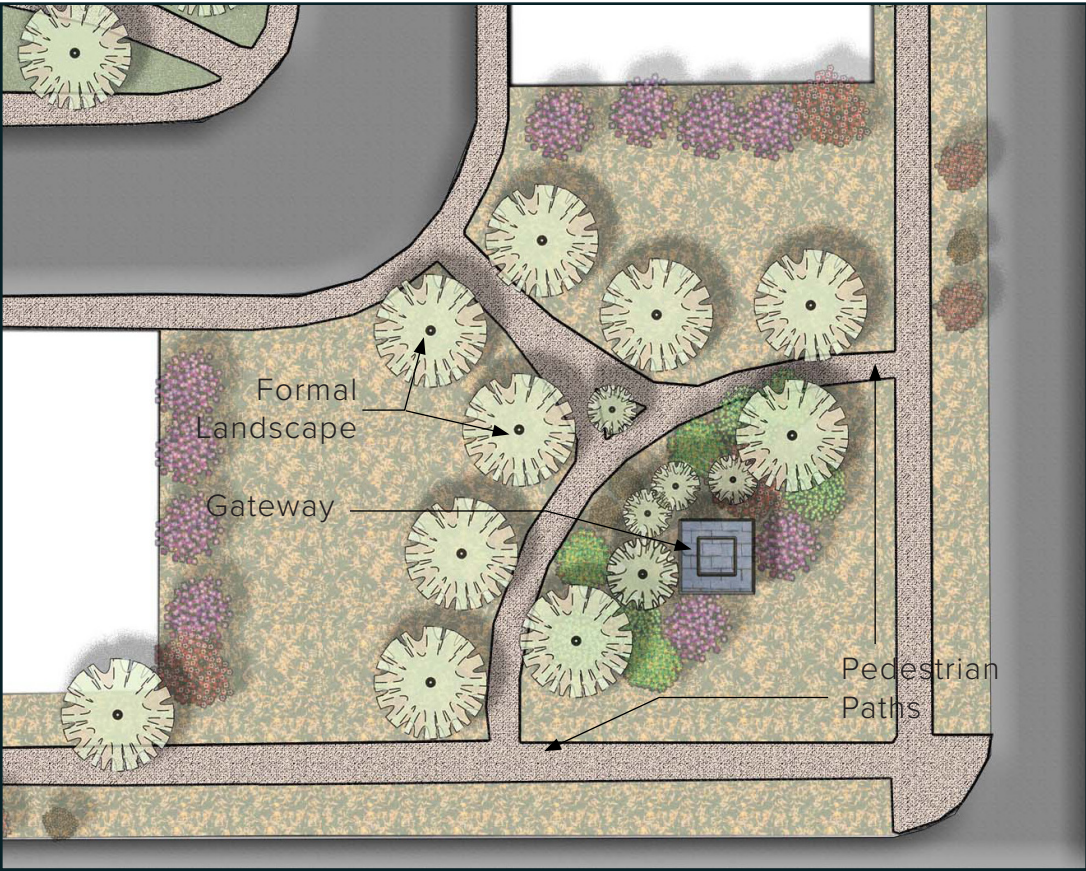
- Monument Signage
- Wayfinding Signage
- Gateway



# Community Gateways

Gateways are significant formal structural and/or landscape forms that shall mark the northwest and southeast corners of the Home Place community. Gateways will allow visual windows into the community from adjacent arterial roads and provide bold identification of the Home Place project site. The gateway locations also provide pedestrian connectivity to adjacent communities and amenities.

## Conceptual Site Plan for Gateway Entrances



COMMUNITY GATEWAY





# Signage Design Guidelines

Signage throughout the Home place Master Plan community should be constructed with finish materials that align with the farmhouse style. The size and location for monument and way-finding signage should be designed to enhance a sense of place, while maintaining open sight lines.

## Monument Signage

Large monument signs, typically for multi-tenant commercial development, can be used within the Master Plan site to direct vehicle traffic to different neighborhood locations. Large monument signs can be located at key intersections along the interior minor collector roads. Small monument signs (neighborhood gateway signs) should be used for identifying neighborhoods within the Master Plan community, and should have varying finish materials that set the unique design theme of each neighborhood.

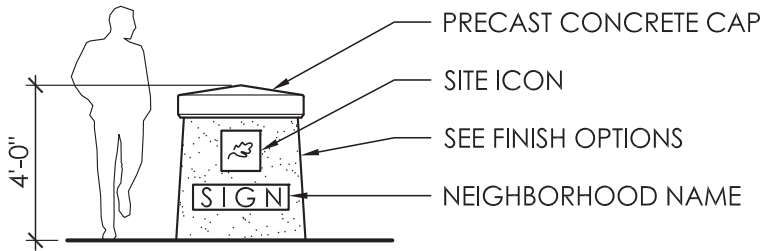
## Way-finding

Way-finding should be used at entryways, intersections, and other key locations along roads and multi-use trails to help facilitate navigation throughout the Home Place community. Way-finding signage should be designed to be consistent with the aesthetics of the adjacent surroundings and overall neighborhood.

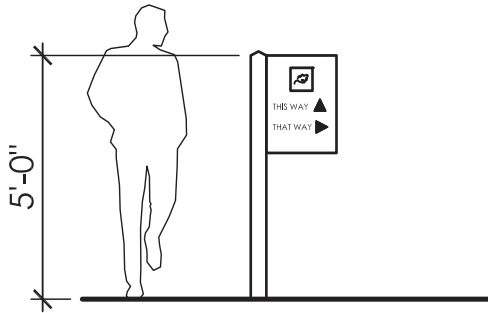
## Approved Finishes/Materials



Weathered Brick Weathering Steel Precast Concrete Stone Plaster/Stucco



NEIGHBORHOOD GATEWAY



WAYFINDING



Wayfinding signage



Monument signage that establishes a sense of place



## **SECTION 7**

# **INFRASTRUCTURE**

**7.1** Potable and Non-Potable Water Diagram

**7.2** Sanitary Sewer Diagram

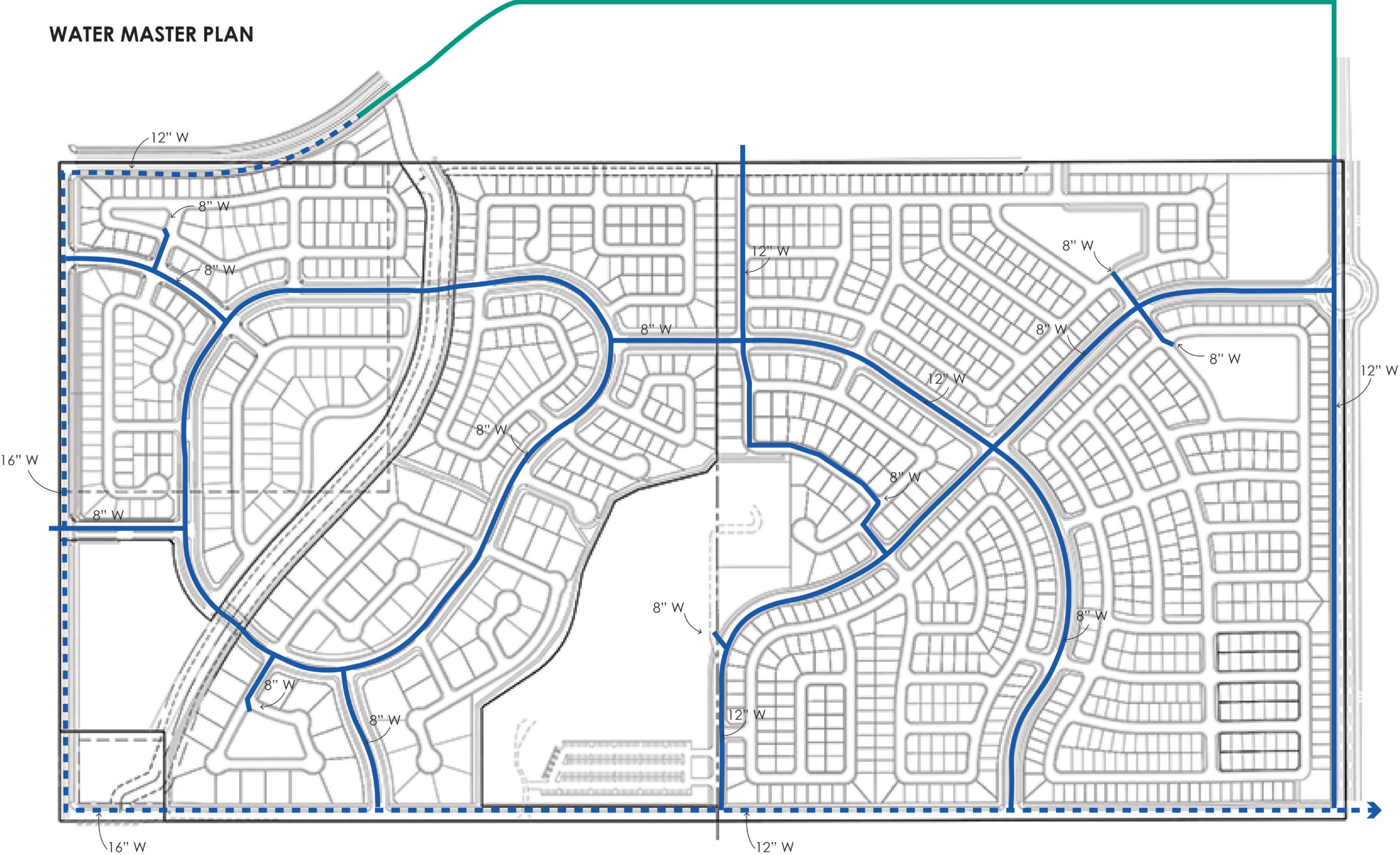
**7.3** Stormwater Drainage Diagram

**7.4** Fresno Irrigation District Diagram

**7.5** Gas, Electric, and Telecom Services



WATER MASTER PLAN



- LEGEND**
- Proposed water main
  - Proposed water main (To be evaluated with each phase of development & required if necessary to provide adequate water pressure and flow and a redundant source.)
  - Existing water main

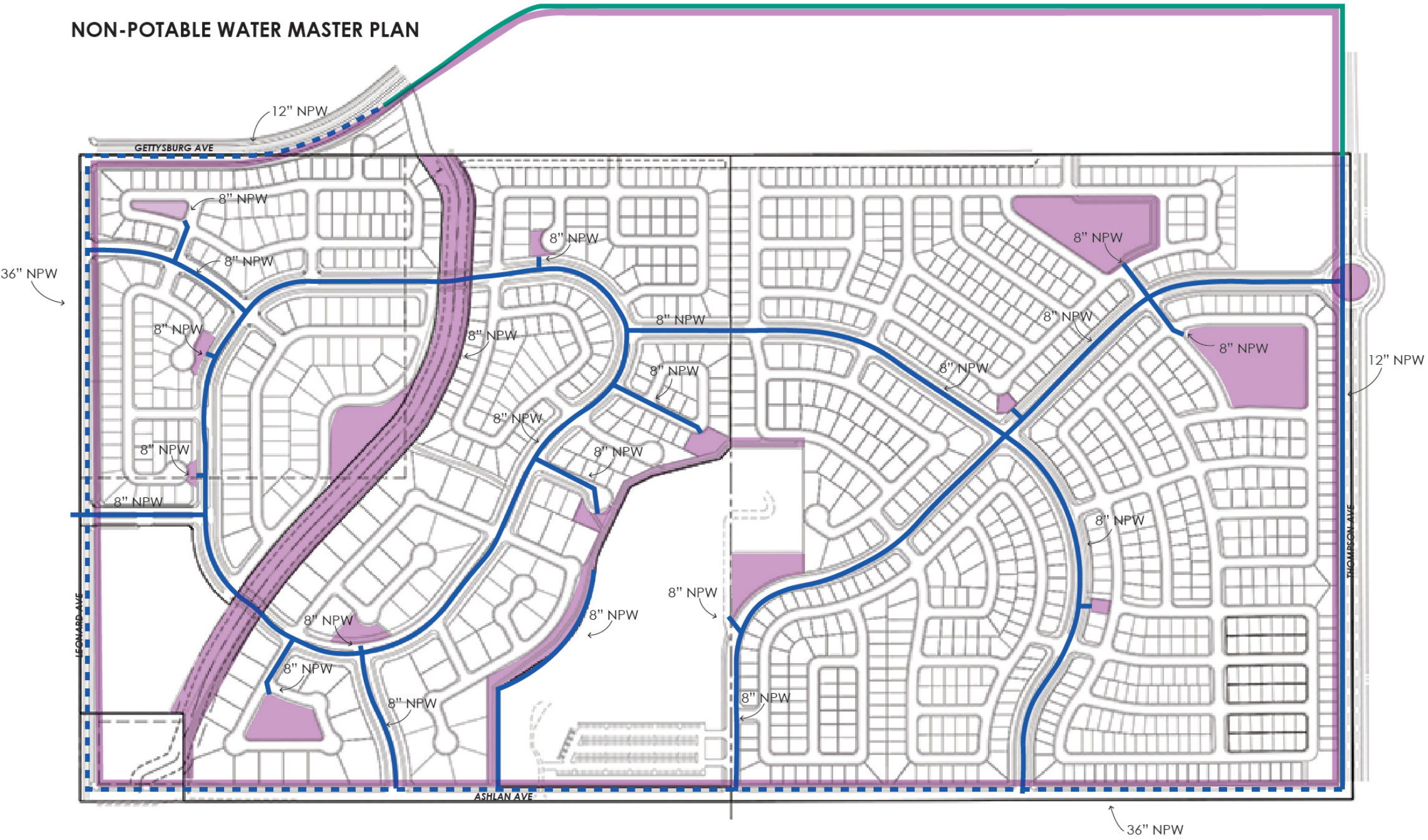
W - Water (Potable)

Potable Water

Surface water is the primary source of domestic water for Clovis residents. The City currently utilizes water from the Enterprise Canal to provide for the needs of its residents. The Master Plan area will require the addition of 8 and 12-inch water mains extending from Ashlan, Leonard, and Thompson Avenues to accommodate the new development.



# NON-POTABLE WATER MASTER PLAN



- LEGEND**
- Proposed non-potable water (NPW) main
  - Proposed NPW main (To be evaluated with each phase of development & required if necessary to provide adequate water pressure and flow and a redundant source.)
  - Existing NPW main
  - Areas Irrigated with NPW

NPW - Recycled Water (Non-Potable Water)  
Parks and landscaping area shall be irrigated with NPW

## Non-Potable Water

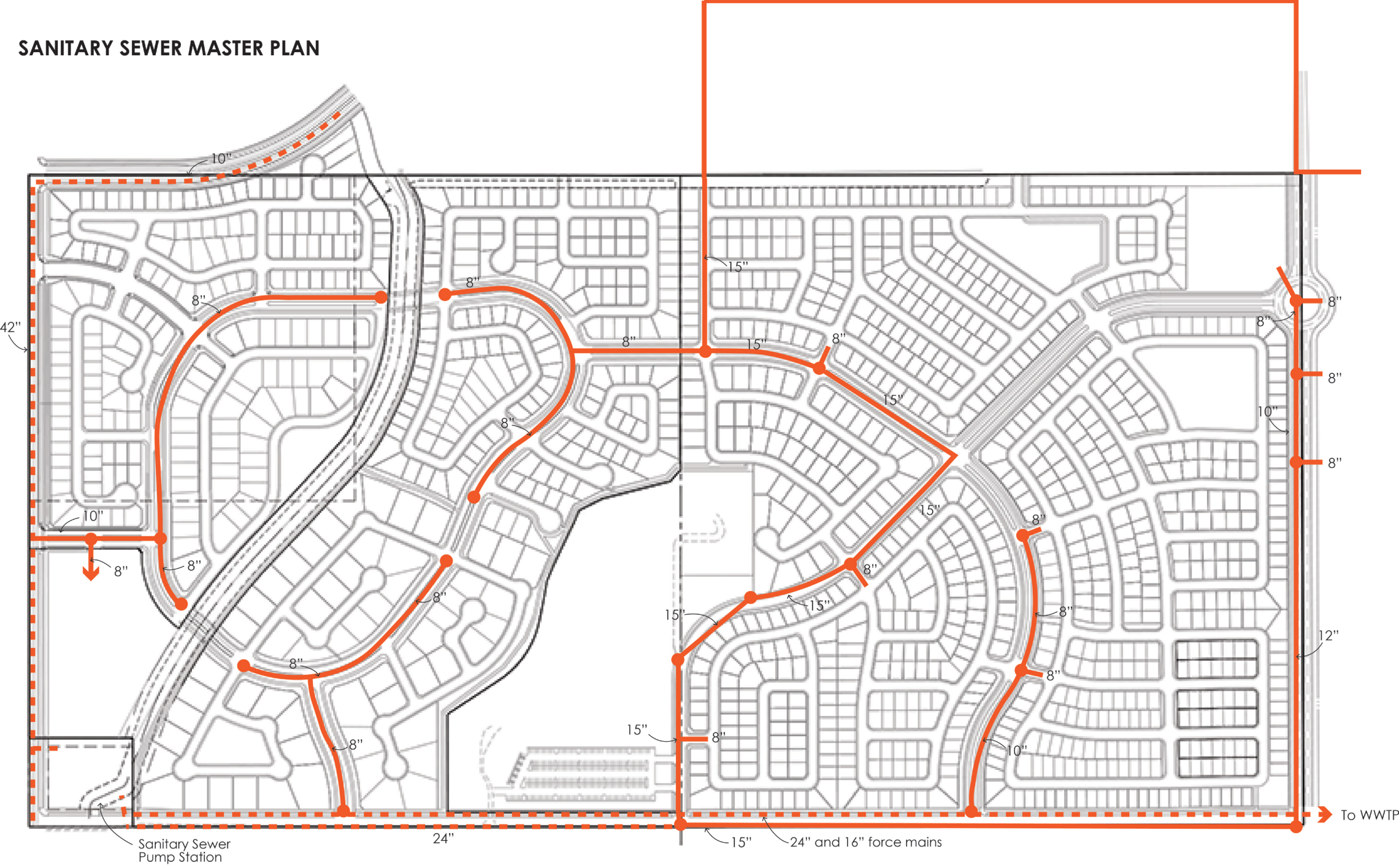
The use of non-potable water for landscape irrigation is an important strategy to reduce the consumption of and protect valuable potable water resources. The proposed use of non-potable water for landscape irrigation is consistent with Policy 1.5 of the *Clovis General Plan* (2014), which states the following:

*Goal 1: Reliable and cost-effective infrastructure systems that permit the city to sustainably manage its diverse water resources and needs.*

*Policy 1.5 Recycled Water: Use recycled water to reduce the demands for new water supplies. Support the expansion of recycled water infrastructure throughout Clovis and require new development to install recycled water infrastructure where feasible.*



**SANITARY SEWER MASTER PLAN**



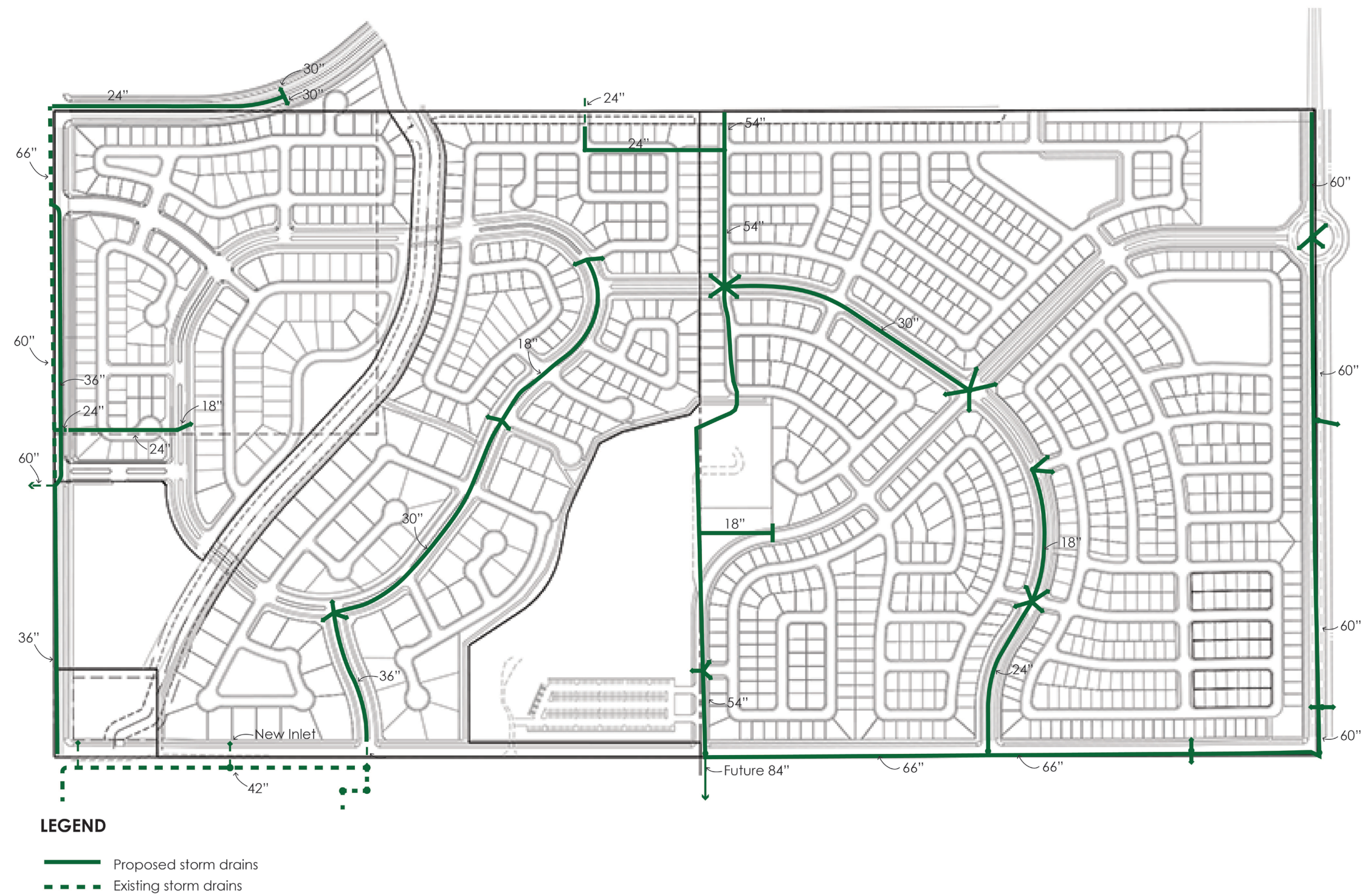
**Sanitary Sewer**

Wastewater generated in the Master Plan community will be treated by the Clovis Wastewater Treatment Facility, which is located to the east of the project site. Sanitary sewer mains and appurtenances shall be extended from Leonard Avenue and Ashlan Avenue to support the new development.

**7.3 Sanitary Sewer Diagram**



STORM DRAINAGE MASTER PLAN



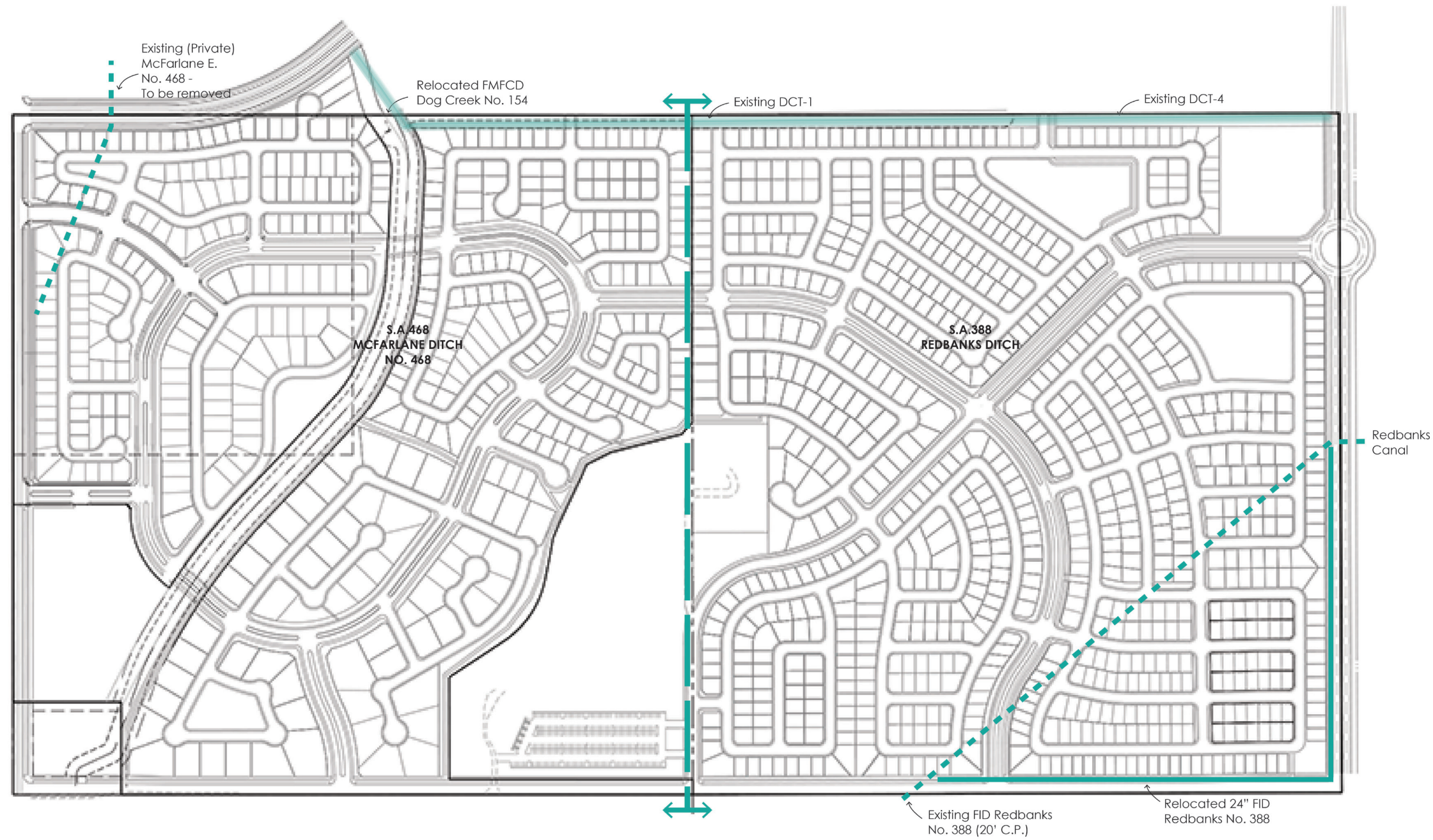
## Stormwater

The Master Plan area will discharge stormwater runoff through proposed storm drain lines that connect to existing storm drain trunk lines along Ashlan and Leonard Avenues. New storm drain lines will also be installed throughout the Master Plan area to collect and convey stormwater.

# 7.4 Stormwater Drainage Diagram



FRESNO IRRIGATION DISTRICT (FID) MASTER PLAN



LEGEND

- Proposed pipeline
- Existing pipeline

7.5 Fresno Irrigation District Diagram





## Gas, Electric, and Communication

Electric power will be provided to the Master Plan area by the Pacific Gas and Electric Company (PG&E). Electrical lines shall be placed within Public Utility Easements to provide service for residential and commercial development.

Depending on the required electrical loads as well as the existing capacity of surrounding infrastructure, PG&E will determine the alignment of the electrical lines within the Master Plan area. Natural gas will also be provided to the Master Plan area by PG&E via the extension of existing gas distribution lines. Telephone services will be provided to the Master Plan area through existing telephone lines and wireless communication systems. As development commences, electric lines, phone lines, and cable TV lines will be installed underground in accordance with City standards and regulations.



## **SECTION 8**

# **ADMINISTRATIVE APPROVAL PROCESS FOR MASTER PLAN**

**8.1** Legal Description

**8.2** Master Plan Adoption

**8.3** Amendments to the Adopted Master Plan

**8.4** Process for Site Plan Review

**8.5** Tentative Map Guidelines



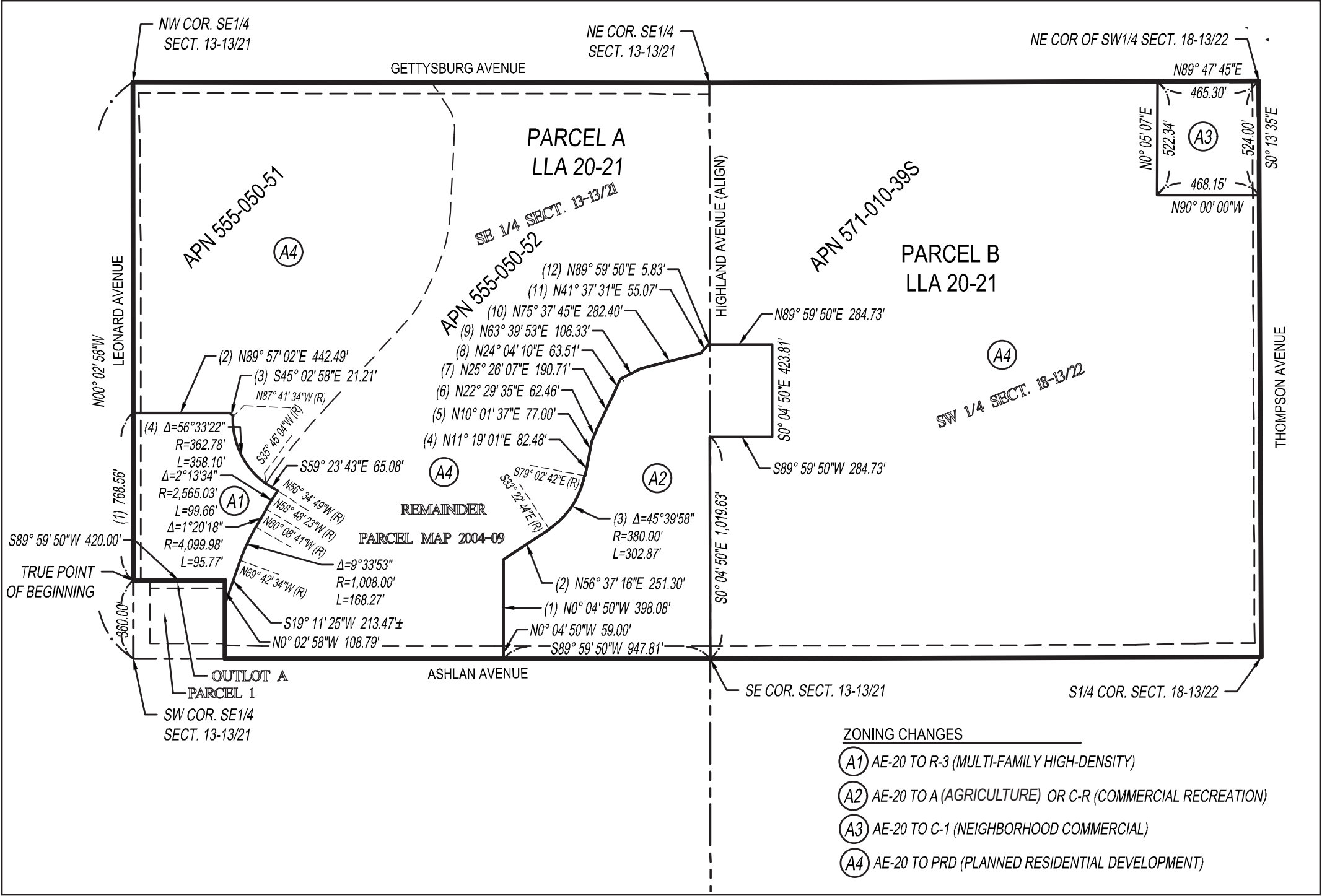
# Legal Description for Proposed Zoning Areas

## AE-20 to C-1 (Neighborhood Commercial)

A portion of Parcel B of Fresno County Lot Line Adjustment No. PLA 20-21 as shown in that certain Certificate of Compliance recorded as Fresno County Document No. 2021-0041012, of Official Records, being situated in Southwest quarter of Section 18, Township 13 South, Range 22 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, and being described as follows:

- Beginning at the Northeast corner of said Southwest quarter;
- Thence South 0° 13' 35" East, along the East line of said Southwest quarter, 524.00 feet;
- Thence North 90° 00' 00" West, 468.15 feet;
- Thence North 0° 05' 07" East, 522.34 feet to the North line of said Southwest quarter;
- Thence North 89° 47' 45" East, along the North line of said Southwest quarter, 465.30 feet to the Point of Beginning.

Plat Map for Proposed Zone Change





**AE-20 to R-3 (Multi-Family High-Density) Zone**

A portion of Parcel A of Fresno County Lot Line Adjustment No. PLA 20-21 as shown in that certain Certificate of Compliance recorded as Fresno County Document No. 2021-0041012, of Official Records, being situated in the Southeast quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, and being described as follows:

Commencing at the Southwest corner of the Southeast quarter of said Section 13;  
Thence North 0° 02’ 58” West, along the West line of said Southeast quarter, 360.00 feet to an angle point in the West line of said Parcel A, and the True Point of Beginning;

Thence along the Westerly and Northerly lines of said Parcel A the following four (4) courses:

- 1. Continuing North 0° 02’ 58” West, 768.56 feet;
- 2. North 89° 57’ 02” East, 442.49 feet;
- 3. South 45° 02’ 58” East, 21.21 feet;
- 4. Southerly 358.10 feet along a non-tangent curve, concave to the East, with a radius of 362.78 feet, a central angle of 56° 33’ 22”, and a beginning radial which bears North 87° 41’ 34” West;

Thence South 59° 23’ 43” East, 65.08 feet;  
Thence Southwesterly 99.66 feet along a non-tangent curve, concave to the Southeast, with a radius of 2565.03 feet, a central angle of 2° 13’ 34”, and a beginning radial which bears North 56° 34’ 49” West;  
Thence Southwesterly 95.77 feet along a tangent curve, concave to the

Southeast, with a radius of 4099.98 feet, and a central angle of 1° 20’ 18”;  
Thence Southwesterly 168.27 feet along a tangent curve, concave to the Southeast, with a radius of 1008.00 feet, and a central angle of 9° 33’ 53”;  
Thence South 19° 11’ 25” West, 213.47 feet more or less, to the East line of Parcel 1 as shown on Parcel Map No. 2004-09, recorded in Book 64 of Parcel Maps, at Pages 79-80, of Fresno County Records;  
Thence North 0° 02’ 58” West, along last said East line and the Northerly prolongation thereof, to the Northeast corner of Outlot A of said Parcel Map No. 2004-09;  
Thence South 89° 59’ 50” West, along the North line of said Outlot A and the Westerly prolongation thereof, 420.00 feet to the True Point of Beginning.

**AE-20 to C-R (Commercial Recreation) Zone**

A portion of Parcels A and B of Fresno County Lot Line Adjustment No. PLA 20-21 as shown in that certain Certificate of Compliance recorded as Fresno County Document No. 2021-0041012, of Official Records, being situated in a portion of the Southeast quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, and a portion of the Southwest quarter of Section 18, Township 13 South, Range 22 East, Mount Diablo Base and Meridian, both in the County of Fresno, State of California, and being described as follows:

Beginning at the Southeast corner of said Section 13;  
Thence South 89° 59’ 50” West, along the South line of said Southeast quarter, a distance of 947.81 feet to the intersection of said South line

with the Southerly prolongation of the West line of said Parcel B;  
Thence North 0° 04’ 50” West, along said Southerly prolongation, 59.00 feet to an angle point in the Westerly line of said Parcel B;

Thence along the Westerly line of said Parcel B the following twelve (12) courses:

- 1. Continuing North 0° 04’ 50” West, 398.08 feet;
  - 2. North 56° 37’ 16” East, 251.30 feet;
  - 3. Northeasterly 302.87 feet along a tangent curve, concave to the Northwest, with a radius of 380.00 feet and a central angle of 45° 39’ 58”;
  - 4. North 11° 19’ 01” East, 82.48 feet;
  - 5. North 10° 01’ 37” East, 77.00 feet;
  - 6. North 22° 29’ 35” East, 62.46 feet;
  - 7. North 25° 26’ 07” East, 190.71 feet;
  - 8. North 24° 04’ 10” East, 63.51 feet;
  - 9. North 63° 39’ 53” East, 106.33 feet;
  - 10. North 75° 37’ 45” East, 282.40 feet;
  - 11. North 41° 37’ 31” East, 55.07 feet;
  - 12. North 89° 59’ 50” East, 5.83 feet to the East line of said Southeast quarter;
- Thence continuing North 89° 59’ 50” East, 284.73 feet;  
Thence South 0° 04’ 50” East, 423.81 feet;  
Thence South 89° 59’ 50” West, 284.73 feet to last said East line;  
Thence South 0° 04’ 50” East, along last said East line, 1019.63 feet to the Point of Beginning.



**AE-20 to PRD (Planned Residential Development) Zone**

The Southeast quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, and the Southwest quarter of Section 18, Township 13 South, Range 22 East, Mount Diablo Base and Meridian, both in the County of Fresno, State of California;

EXCEPTING THEREFROM the South 360.00 feet, of the West 420.00 feet thereof;

ALSO EXCEPTING THEREFROM that portion of Parcel A of Fresno County Lot Line Adjustment No. PLA 20-21 as shown in that certain Certificate of Compliance recorded as Fresno County Document No. 2021-0041012, of Official Records, being situated in the Southeast quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, and being described as follows:

Commencing at the Southwest corner of the Southeast quarter of said Section 13;

Thence North 0° 02’ 58” West, along the West line of said Southeast quarter, 360.00 feet to an angle point in the West line of said Parcel A, and the True Point of Beginning;

Thence along the Westerly and Northerly lines of said Parcel A the following four (4) courses:

1. Continuing North 0° 02’ 58” West, 768.56 feet;
2. North 89° 57’ 02” East, 442.49 feet;
3. South 45° 02’ 58” East, 21.21 feet;
4. Southerly 358.10 feet along a non-tangent curve, concave to the

East, with a radius of 362.78 feet, a central angle of 56° 33’ 22”, and a beginning radial which bears North 87° 41’ 34” West;

Thence South 59° 23’ 43” East, 65.08 feet;

Thence Southwesterly 99.66 feet along a non-tangent curve, concave to the Southeast, with a radius of 2565.03 feet, a central angle of 2° 13’ 34”, and a beginning radial which bears North 56° 34’ 49” West;

Thence Southwesterly 95.77 feet along a tangent curve, concave to the Southeast, with a radius of 4099.98 feet, and a central angle of 1° 20’ 18”;

Thence Southwesterly 168.27 feet along a tangent curve, concave to the Southeast, with a radius of 1008.00 feet, and a central angle of 9° 33’ 53”;

Thence South 19° 11’ 25” West, 213.47 feet more or less, to the East line of Parcel 1 as shown on Parcel Map No. 2004-09, recorded in Book 64 of Parcel Maps, at Pages 79-80, of Fresno County Records;

Thence North 0° 02’ 58” West, along last said East line and the Northerly prolongation thereof, to the Northeast corner of Outlot A of said Parcel Map No. 2004-09;

Thence South 89° 59’ 50” West, along the North line of said Outlot A and the Westerly prolongation thereof, 420.00 feet to the True Point of Beginning;

ALSO EXCEPTING THEREFROM A portion of Parcels A and B of Fresno County Lot Line Adjustment No. PLA 20-21 as shown in that certain Certificate of Compliance recorded as Fresno County Document No. 2021-0041012, of Official Records, being situated in a portion of the Southeast quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, and a portion of the

Southwest quarter of Section 18, Township 13 South, Range 22 East, Mount Diablo Base and Meridian, both in the County of Fresno, State of California, and being described as follows:

Beginning at the Southeast corner of said Section 13;

Thence South 89° 59’ 50” West, along the South line of said Southeast quarter, a distance of 947.81 feet to the intersection of said South line with the Southerly prolongation of the West line of said Parcel B;

Thence North 0° 04’ 50” West, along said Southerly prolongation, 59.00 feet to an angle point in the Westerly line of said Parcel B;

Thence along the Westerly line of said Parcel B the following twelve (12) courses:

1. Continuing North 0° 04’ 50” West, 398.08 feet;
2. North 56° 37’ 16” East, 251.30 feet;
3. Northeasterly 302.87 feet along a tangent curve, concave to the Northwest, with a radius of 380.00 feet and a central angle of 45° 39’ 58”;
4. North 11° 19’ 01” East, 82.48 feet;
5. North 10° 01’ 37” East, 77.00 feet;
6. North 22° 29’ 35” East, 62.46 feet;
7. North 25° 26’ 07” East, 190.71 feet;
8. North 24° 04’ 10” East, 63.51 feet;
9. North 63° 39’ 53” East, 106.33 feet;
10. North 75° 37’ 45” East, 282.40 feet;
11. North 41° 37’ 31” East, 55.07 feet;
12. North 89° 59’ 50” East, 5.83 feet to the East line of said Southeast quarter;



**AE-20 to PRD (Planned Residential Development) Zone  
(Continued)**

Thence continuing North 89° 59’ 50’’ East, 284.73 feet;  
Thence South 0° 04’ 50’’ East, 423.81 feet;  
Thence South 89° 59’ 50’’ West, 284.73 feet to last said East line;  
Thence South 0° 04’ 50’’ East, along last said East line, 1019.63 feet to  
the Point of Beginning;

ALSO EXCEPTING THEREFROM that portion of Parcel B of Fresno  
County Lot Line Adjustment No. PLA 20-21 as shown in that certain  
Certificate of Compliance recorded as Fresno County Document No.  
2021-0041012, of Official Records, being situated in Southwest quarter  
of Section 18, Township 13 South, Range 22 East, Mount Diablo Base  
and Meridian, in the County of Fresno, State of California, and being  
described as follows:

Beginning at the Northeast corner of said Southwest quarter;  
Thence South 0° 13’ 35’’ East, along the East line of said Southwest  
quarter, 524.00 feet;  
Thence North 90° 00’ 00’’ West, 468.15 feet;  
Thence North 0° 05’ 07’’ East, 522.34 feet to the North line of said  
Southwest quarter;  
Thence North 89° 47’ 45’’ East, along the North line of said Southwest  
quarter, 465.30 feet to the Point of Beginning.





## Master Plan Administration

This Master Plan represents a framework for development for the Home Place community. Approval of individual projects within the boundary of the Master Plan will be required to demonstrate consistency with this document. This Section establishes procedures for the implementation and administration of the Master Plan, as well as procedures for amendments if necessary. Provisions for processing site plan review applications for multi-family, commercial and public facility projects within the Home Place Master Site Plan are also included in this Section.

## Implementation

The Home Place Master Plan will be implemented through the processing of this document and the tract maps, site plans, and development standards included with this document submittal. Subsequent submittals may be required of the applicant to submit any of the following before the recordation of any final map, site plan review or building permit within a Master Planned Community Overlay District:

- i. Subsequent or concurrently processed planned development permit applications for single family residential developments and multi-family residential design review;
- ii. Subsequent site plan review for projects normally requiring site plan review other than single- or multi- family residential;
- iii. Proposed conditions, covenants and restrictions, if any;
- iv. Sign program review; or
- v. Architectural design guidelines.

The City's approval of the Home Place Master Plan shall constitute sufficient finding to justify any waivers, variances, exceptions or deviations set for in the Master Plan to those provisions of the Clovis Municipal Code that would otherwise be required.



## Amendments to the Adopted Master Plan

Procedure - The development of the property shall comply with the development standards in this Master Plan. Amendments to this adopted Master Plan by or on behalf of the property owner(s), or any proposal by the City, shall be filed with the Department of Planning and Development Services. The Planning and Development Services Director shall determine if the proposed modification is “minor” or “major”, and the proposal shall be processed accordingly.

### Minor Modification:

A minor modification is a modification which is requested by the property owner and which is intended to accomplish one or more to the following:

- A change in the species of plant material proposed for the Home Place Master Site Plan (MPC District)
- Modifications to the lot sizes identified in the Master Site Plan as long as the overall density of the master plan does not exceed the maximum allowed units (1,607 units)
- A lot line adjustment
- Any other change or modification which does not change the basic intent of the MPDG (floor plans, elevations, site elements, etc.)

### Major Modifications:

A major modification includes any modification which does not qualify as a minor modification including adding property to an existing MPC District. A major modification shall be processed and reviewed by the Planning Commission and approved by the City Council in accordance with the procedure for rezone set forth in Chapter 9.86 of the Clovis Municipal Code.





## Process for Site Plan Review

The individual project approval process requires the preparation of a residential site plan application for the purpose of enabling the Planning and Development Services Department to make a finding that the proposed development is in conformity with the intent and purpose of the Master Development Plan and zoning requirements. Site plan review applications shall be processed in accordance with the provisions of Chapter 9.56 of the Clovis Municipal Code prior to the issuance of building permits within these areas.







## Implementation of the Master Tentative Subdivision Map

The Master Tentative Subdivision Map will cover the entire Home Place community and shall entitle all phases to move to Final Map with administrative approval. No further discretionary review will be required for each phase approval as long as the overall density does not modify from the original approval (DATE AND MAP OF ORIGINAL APPROVAL TO ENTER HERE WITH EXHIBIT). Minor modifications to the location of each product type/density/phase shall be reviewed and approved at the administrative staff level and will be considered non-discretionary approvals. An exhibit that outlines the proposed modifications shall be submitted to the City Planning and Development Services Director for review and approval prior to submitting the updated/amended Master Tentative Subdivision Map.



HOME PLACE