

PREPARED BY



Sixty Corporate Park . Irvine, CA 92606 949.474.6030 www.danielian.com

**BROUSSARD**ASSOCIATES

AMENDED BY



PREPARED FOR

CITY OF CLOVIS





PREPARED FOR

## CITY OF CLOVIS

#### PLANNING DEPARTMENT

1033 FIFTH STREET CLOVIS, CA 93612 PHONE (559) 324-2349 FAX (559) 324-2866 WWW.CITYOFCLOVIS.COM









60 CORPORATE PARK IRVINE, CA 92606 PHONE (949) 474-6030 FAX (949) 474-1422 WWW.DANIELIAN.COM CONTACT: GENA GUISAR, SENIOR PLANNER

#### DOCUMENT AMENDED BY



3707 GARDEN GROVE BLVD.
SUITE 100,
ORANGE, CA 92868
PHONE (714) 568-1010
WWW.CSGENGR.COM
CONTACT: GENA GUISAR, PRINCIPAL
PLANNER

#### RESIDENTIAL MARKET ANALYSIS PREPARED BY



3545 HARBOR GATEWAY SOUTH, SUITE 104 COSTA MESA, CA 92626 PHONE (714) 641-9022 FAX (714) 641-3932 WWW.MARTIN-ASSOCIATES.NET CONTACT: JOHN MARTIN, PRESIDENT

RETAIL MARKET ANALYSIS PREPARED BY

GREGORY STOFFEL AND ASSOCIATES
16 BRENA
IRVINE, CA 92620
PHONE (949) 552-2852
CONTACT: GREGORY STOFFEL, PRESIDENT

LANDSCAPE STANDARDS AND GRAPHICS PREPARED BY

## BROUSSARDASSOCIATES

landscape architects

389 CLOVIS AVE, SUITE 200 CLOVIS, CA 93612 PHONE (559) 325-7284 FAX (559) 325-7286 WWW.BROUSSARDASSOC.COM CONTACT: TERRY BROUSSARD, PRESIDENT



LOMA VISTA COMMUNITY CENTERS

North & South



## Table of Contents



## **INTRODUCTION**

Introduction	2
Site Description and Analysis	
Project Location	
Existing Site Conditions/Surrounding	
Land Use and Development	
Relationship to the Loma Vista Specific Plan	
Opportunities and Constraints	
Vision and Intent	5
Vision	
Intent	
Guiding Principles	6
General Plan Land Use	
Development Plan	8
Community Theme and Character	
Landscape Framework Plan	11
Gateways	1 <sup>1</sup>
Trails	1 <sup>1</sup>
Grade Separated Crossing at Shaw Avenue	1:
Landscape Framework Plan	18
Streetscape Development Standards	15
Circulation Plan	18
Street Sections	16
Main Street	10



T 0 0 0 1	4 7
Town Commons Street	
Urban Neighborhood Street	
Urban Street	
Urban Connector	
Urban Trial Lighting	21
Lighting Plan	22
Lighting Plan	22
Roundabouts and Bulbouts	23
Landscape Palette	24
LAND USE DEVELOPMENT STANDARDS	
LAND USE DEVELOPIVIENT STANDANDS	
Planning Areas	28
Planning Area 1-Main Street	
Planning Area 2-High Density Residential	31
Planning Area 2-High Density Residential (cont.)	
Planning Area 3-High Density Residential	
Planning Area 4-Planned Commercial Center	
Planning Area 5- Retail, Office, Entertainment and Mixed Use District	
Planning Area 6-Very High Density Residential	
Planning Area 7-Very ringh behistly riesidential	
Planning Area 7A-High Density Residential	
Planning Area 8-Very High Density Residential	
Planning Area 8A-Very High Density Residential	
Planning Area 9- Mixed Use on Village Green	50





Public Area 1 -North Park	52
Public Area 2-Quasi Public	
DPublic Area 3- Loma Vista Village Green	54
SAMPLE HOME TYPES	
Paired-Z SFD	56
SFD Clusters	
SFD Clusters(cont.)	58
Rear Loaded SFD	59
Mansion Homes	60
Townhomes	61
Multi-Family - Tuck-Under Apartments	62
Multi-Family - Seniors Apartments	63
Live-Work	64
Mixed Use	65
ARCHITECTURAL STYLES	
Building Mass and Scale	6
Craftsman	67
Monterey	69
Tudor Cottage	71
Mission Revival	



## GENERAL GUIDELINES RESIDENTIAL



Site Planning and Orientation	76
Garages	76
Mass and Scale	
General Residential Guidelines-Single Family	
Facade and Roof Articulation	77
Materials and Colors	77
Entries	
Site Planning and Orientation	78
Parking, Garages and Carports	
General Residential Guidelines-Multi-Family	
Mailboxes	79
Usable Open Space	79
Dwelling Unit Access	79
Mass and Scale	79
Facade and Roof Articulation	80
Materials and Colors	80
Entries- (also see Gateways)	80
Exterior Stairs	80
Site Planning and Orientation	82
Storefronts	82
Rear or side elevations	82
General Guidelines- Retail and Mixed Use	
Mass and Scale	83
Mass and ScaleCourtyards	83
Colors	84



	8
Roof Treatments	8
Awnings and Canopies	8
Entries	8
Signs	8
Parking and Loading Areas	
ADMINISTRATION AND IMPLEMENTATION	
Legal Description	88
Community Center North	8
Community Center North	
Community Center North	
Community Center North	
Community Center North  Community Center South	





## **LIST OF GRAPHICS**



Village Green Concept	2
Regional Vicinity	3
Local Vicinity	3
Project Site Aerials	
Loma Vista Specific Plan Master Planned Communities	4
Gateway Concept at Neighborhood Commercial Center	6
Stacked Flat Homes	
General Plan Designations	7
Conceptual Illustrative Site Plan	8
Gateway Pilasters	11
Multi-purpose Trail	11
Urban Trail	11
Community Entry	11
Gateway	11
Landscape Framework Plan	
Grade Separated Crossing at Shaw Avenue	12
Gateway at Gettysburg Avenue and Leonard Avenue - Plan View	
Gateway at Gettysburg Avenue and Leonard Avenue - Elevation	
Urban Street Entry at Gettysburg Avenue	
Monument at Urban Street Entry	14
Circulation Plan	15
Main Street Section	
Town Commons Street Section	17
Urban Neighborhood Street Section	18

Jrban Street Section	19
Jrban Connector Section	20
Multi-purpose Trail	21
Jrban Trail	21
Bollards	21
ighting Plan	22
Roundabout	23
Bulbout (traffic choker)	23
Planning Areas	28
Nain Street Illustrative Concept	29
Planning Area 1	29
Planning Area 2	31
Planning Area 3	33
Planning Area 4	35
Planning Area 5	37
Planning Area 6	40
Planning Area 7	42
Planning Area 7A	44
Planning Area 8	46
Planning Area 8A	48
Planning Area 9	
Conceptual Illustrative	50
Public Area 1	52
Public Area 2	53
Public Area 3	
Paired-Z SFD Typical Layout	
Paired-Z Street Scene	56



LOMA VISTA COMMUNITY CENTERS North & South

Paired-Z SFD Massing	56
Reversed SFD Cluster	
Auto Court SFD Cluster Street Scene	57
Reversed SFD Cluster Massing Model	
Auto Court SFD Cluster	
Reversed SFD Cluster	
Auto Court SFD Cluster Massing Model	58
Reversed SFD Cluster Massing Model	
Rear Loaded SFD	
Rear Loaded SFD Street Scene	59
Rear Loaded SFD Massing Model	59
Mansion Home Layout	60
Mansion Home Front Elevation	60
Mansion Home Massing Model	60
4-Plex Townhome-Rear Loaded Typical Layout	61
Townhome Front Elevation	61
4-Plex Townhome Three story-Rear Loaded Massing Model	61
4-Plex Townhome Two story-Rear Loaded Massing Model	61
Tuck-Under Apartment Layout	62
Tuck-Under Apartment Elevation	62
Tuck-Under Apartment Massing Model	62
Seniors/Stacked Flat Apartment Layout	63
Seniors/Stacked Flat Apartment Elevation	63
Seniors/Stacked Flat Apartment Massing Model	63
_ive-Work Layout	64
_ive-Work Street Scene	64
_ive-Work Massing Model	64



lixed Use Layout	
lixed Use Massing Model	
oof Types	
ombination of various materials	
onceptual storefront orientation	
aried roof forms	84
onceptual Neighborhood Commercial Layout	84
ownspouts finished to complement adjacent colors	84
torefront building awnings	85
egional Location	88



## **List of Tables**



North and South Combined	
North and South Comparison	3







LOMA VISTA COMMUNITY CENTERS North & South

## Introduction

This Master Plan Document is intended to guide development in the Loma Vista Community Centers North and South. This document will function in two ways:

- 1) as the officially adopted Master Planned Community (MPC) Zoning District for these sites, and
- 2) as the officially adopted Master Site Plan Review approval document for these sites.

The purpose and intent of this Master Plan Document is the following:

- 1. Identify acceptable and desirable land uses.
- 2. Establish an overall theme and quality for the Loma Vista Community Centers North and South.
- 3. Illustrate and direct the intended architectural, landscape and site elements which contribute to the overall community design.
- 4. Provide criteria and examples of expected design qualities and treatments to developers, designers and builders.
- 5. Refine and implement the general design objectives contained in the Loma Vista Specific Plan.



Village Green Concept



## Site Description and Analysis

## Project Location

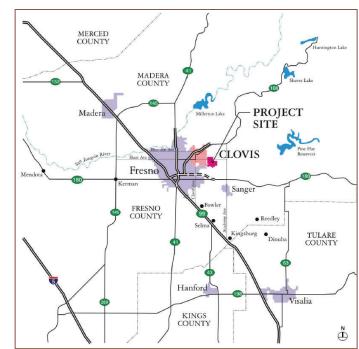
The Loma Vista Specific Plan Community Centers North and South are located in the center of the San Joaquin Valley within the greater Fresno-Clovis Metropolitan Area, and are within the City of Clovis' sphere of influence. Clovis is known as the "Gateway to the Sierra" due to its proximity to the Sierra National Forest.

The Loma Vista Specific Plan is bounded by Locan Avenue to the west, McCall Avenue to the east, portions of Bullard Avenue and Shaw Avenue to the north and the Gould Canal to the south. Community Centers North and South are centered in the Specific Plan area, bounded by the Jefferson Canal to the north west, Leonard Avenue to the east, Gettysburg Avenue to the South, and DeWolf Avenue to the west.

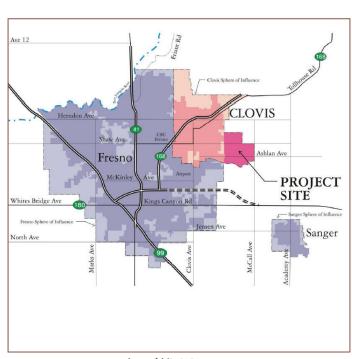
## Existing Site Conditions/Surrounding Land Use and Development

Community Centers North & South are the heart of the Loma Vista Specific Plan, containing residential, commercial and mixed use developments. The centers are currently being used for agricultural and rural residential land uses and are surrounded by low and medium density residential developments.

- community Center South is 149 acres and is located immediately north of the Reagan Educational Center. It is bounded by Gettysburg Avenue on the south, Shaw Avenue on the north, DeWolf Avenue on the west, and Leonard Avenue on the east.
- North of Community Center South. It is bounded by Jefferson Canal on the North, Leonard Avenue on the east, Shaw Avenue on the south, DeWolf Avenue on the west. Community Centers South and North are connected by a pedestrian and vehicular crossing that passes under Shaw Avenue



Regional Vicinity



Local Vicinity





Project Site Aerials



LOMA VISTA COMMUNITY CENTERS North & South

## Site Description and Analysis

#### Relationship to the Loma Vista Specific Plan

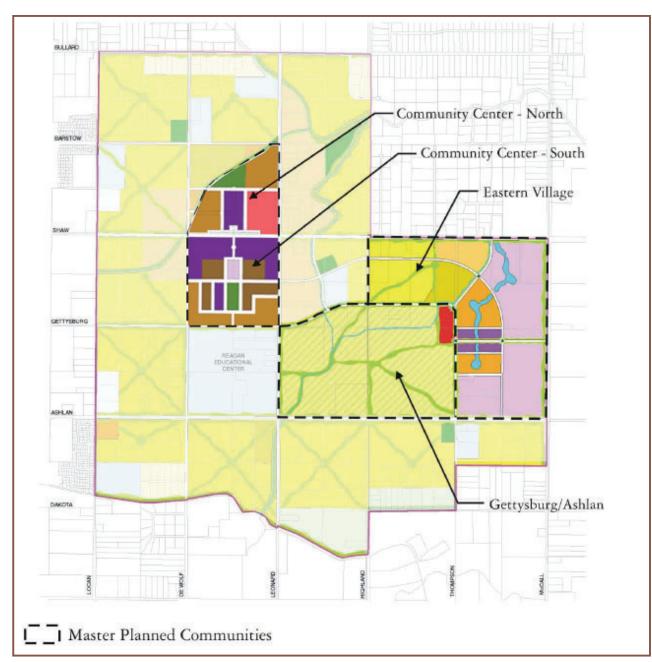
The Community Centers North and South are Master Planned communities within the adopted Loma Vista Specific Plan. Loma Vista is a 3,307-acre site comprised of four master planned communities: the Eastern Village, Gettysburg/Ashlan, Community Center South and Community Center North. The Community Centers are the core of the Loma Vista Specific Plan, offering the greatest concentration of shopping, entertainment and social uses.

#### **Opportunities and Constraints**

The Loma Vista Specific Plan area is relatively free from development constraints. The land is predominantly flat, without significant natural hazards or environmental constraints. Utilities are planned and under construction for this area. Current uses are agricultural and rural residential.

The Community Centers North and South are adjacent to the Reagan Educational Center, a 145-acre complex consisting of Clovis East High School, Reyburn Intermediate School and the Reagan Primary School. There is also an educational agricultural farm on the north side of the Educational Center.

The ownership pattern of Loma Vista's Community Centers North and South is a challenge to the comprehensive planning and development of the area. Small parcels and multiple ownerships make coordinating development and phasing a challenge.



Loma Vista Specific Plan Master Planned Communities



## Vision and Intent

#### Vision

The Loma Vista Community Centers North and South are envisioned to be dynamic pedestrian-oriented districts with an intimately scaled mix of uses. The design and orientation of development will focus on the pedestrian, with amenities such as outdoor dining, public art and enhanced sidewalks. The Community Centers will feature ample open spaces like pocket parks, plazas and paseos. Streets will be calmed allowing for convenient and safe pedestrian linkages.

Each Community Center will contain a mix of commercial, office, service, entertainment, civic and residential uses. Community Center South will feature a "Village Green" concept with livework and/or mixed use development surrounding a central park featuring an outdoor amphitheater and community event space. Community Center North will boast a mixed use "main-street" and 24-acre commercial plaza with the Jefferson Trail open space corridor providing a pedestrian path and visual amenity. The Community Centers will be connected by a vehicular and pedestrian underpass at Shaw Avenue.

#### Intent

The Loma Vista Community Centers North and South are designed to be the social, retail, service and entertainment hubs within the Loma Vista Specific Plan area. Community Center North is envisioned to contain up to 1,304 residential units and approximately 675,942 square feet of retail, commercial, office space and restaurants.

The Community Center South is the heart of the Loma Vista Specific Plan area, with up to 3,443 residential units and approximately 1,370,720 square feet of non-residential uses envisioned. It is intended to be anchored by and integrated with the Reagan Educational Center to the South.













## Guiding Principles

- The following principles were adopted by the Clovis City Council to guide the development of the Loma Vista Specific Plan and will be applied toward this Master Plan Document. These principles build upon and expand the desire to develop an environmentally sensitive and economically sound community.
- GENERAL PLAN CONSISTENCY Base the future development and use of the Loma Vista Community Centers North and South on the concepts and vision of the Loma Vista Specific Plan and the City's General Plan.
- QUALITY OF LIFE—Design the Loma Vista Community Centers North and South to foster family values and maintain the small-town feel of Clovis by promoting a lifestyle that is socially and culturally enriching, aesthetically pleasing, and environmentally responsible.
- community DESIGN—Design the Community Centers as a series of diverse residential neighborhoods planned around compact pedestrian-oriented mixed use cores and accompanied by a full mix of employment opportunities, recreational activities, shops, and services. Ensure quality products and attention to details for all development. Integrate existing watercourses, irrigation canals, and drainage systems and plans into the community fabric.
- INTEGRATION—Plan for land uses and supporting infrastructure that maintain and enhance, rather than detract from, existing educational facilities, agricultural operations, and surrounding uses. Ensure that supporting infrastructure systems sufficiently sustain the land use plan and are well integrated with adjacent urban uses. Ensure that the Community Centers North and South are self-sufficient while not detracting from the viability and focus of Old Town Clovis. Emphasize the Reagan Educational Center as a major cornerstone for the communities.

- SERVICE PROVISION—Approve development predicated on the ability to provide adequate water supply, sewer and storm water infrastructure, public services, and transportation system connections in a comprehensive and timely manner. Accommodate a range of community services and facilities to serve the needs of the citizens of the Community Centers North and South.
- ECONOMIC VIABILITY—Ensure the integrity of the Master Plan and safeguard its long-term stability and continuity by assuring an adequate economic return for the project. Allow a mix of commercial uses that complement those uses found in Old Town Clovis and along Shaw Avenue.



Stacked Flat Homes





## General Plan Land Use

The Loma Vista Community Centers North and South are composed of a mixture of commercial, office, service, entertainment, civic and residential uses. Open space amenities are also distributed throughout the two Master Plans. Residential densities range from "Mixed Use Village" (at 7 to 25 units per acre) to Very High Density (at 25.1 to 43 units per acre).

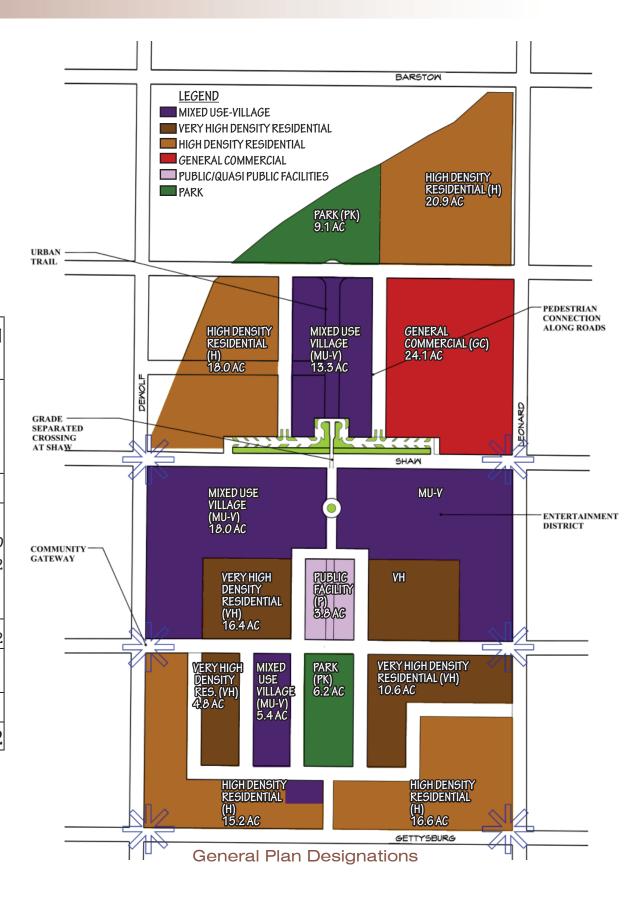
This document addresses the directives of the various General Plan land use designations through individual "Planning Areas" (PAs).

#### North and South Combined

Land use	Density Range	Net Acres	Percentage	Min. Units	Max. Units	Max. non-residential sq. ft.
Residential						
High	15.1-25	70.7	26.0%	1,078	1,785	-
■ Very High	25.1-43	31.8	11.7%	798	1,367	-
Mixed Use - Village	7-25	64.5	23.6%	447	1,595	-
Residential Subtotal		167.0	61.3%	2323	4,747	
Non-Residential						
General Commercial		24.1	8.8%	-	-	314,940
Mixed Use-Village*		-	-	-	-	1,731,722
Public Areas						
Parks		19.1	9.0%	-	-	-
Non-Residential Subtotal		43.2	17.9%			2,046,662
Collector roads & Landscape Buffer		17.8	11.7%		-	-
Arterial Roads		44.5	16.3%	-	-	-
Roads Subtotal		62.3	28.0%			
Total		272.5	100.0%	2,323	4,747	2,046,662

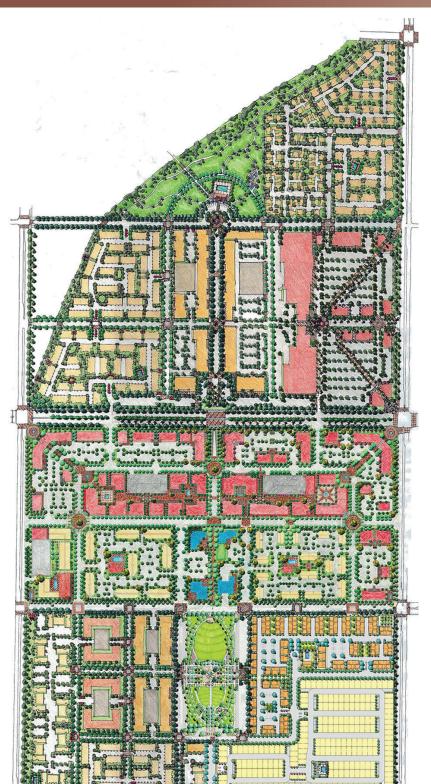
<sup>\*</sup> Area calculated in residential land use category





## Development Plan





Conceptual Illustrative Site Plan

A LIGHT COWWINTS

LOMA VISTA COMMUNITY CENTERS North & South

#### North and South Comparison

	Density		outh compa		Max.	Max. non-residential
LAND USE	Range	Net Acres	Percentage	Min. Units	Units	5q. ft.
North						
Residential						
High Density	15.1-25	38.9	14.3%	587	972	-
Mixed Use Village	7-25	13.3	4.9%	93	332	-
Residential Subtotal		52.2	19.2%	680	1,304	
Non-Residential					,	
General Commercial		24.1	8.8%	-	-	314,940
Mixed Use Village*		-	-	-	-	361,002
Public Areas/ Parks		9.1	3.3%	-	-	-
Non-Residential Subtotal		33.2	12.1%			675,942
Collector roads & Landscape Buffer		14.6	5.4%		-	-
Arterial Roads		14.0	5.1%	-	-	-
Roads Subtotal		28.6	10.5%			
Total- North area		114.0	41.8%	680	1,304	675,942
South						
Residential						
High Density	15.1-25	31.8	11.7%	477	795	-
Very High Density	25.1-43		11.7%		1,368	-
Mixed Use Village	7-25	51.2	18.7%	358	1,279	
Residential Subtotal		114.8	42.1%	1,630	3,442	
Non-Residential						
Mixed Use Village*		-	-	-	-	1,370,720
Public Areas/ Parks		10.0	3.7%	-	-	-
Non-Residential Subtotal		10.0	3.7%			1,370,720
Collector roads & Landscape Buffer		3.2	1.2%	-		-
Arterial Roads		30.5	11.2%	-	-	-
Roads Subtotal		33.7	12.4%			
Total- South area		158.5	58.2%	1,630	3,442	1,370,720
Grand Total		272.5	100.0%	2,310	4,746	2,046,662

<sup>\*</sup>Area calculated in residential land use category

## Community Theme and Character

#### **Community Theme and Character**

The theme of Loma Vista Community Centers North and South will reflect California's rich history. The overall tone will be set by a Craftsman architectural theme, complemented by a careful blend of Monterey, Tudor Cottage and Mission Revival styles. Together, these styles will provide richness and variety for residential neighborhoods, the downtown Main Street, the mixed use Village Green and the neighborhood commercial center.

Craftsman themed design elements, along with the Loma Vista acorn logo, should be incorporated into public buildings and spaces, including signage, street furniture, lighting, and walkway treatments. For example, the logo can be combined with other appropriately-styled decorative pavers within walkways and street crossings. Street and building lighting, benches, trash receptacles, mail boxes, benches, etc. should be treated similarly to provide a pleasant pedestrian experience. Please refer to the "Architectural Styles" section of this document for more information about the specific characteristics of these styles.







Mission Revival



Craftsman



Monterey



# COMMUNITY DESIGN DEVELOPMENT STANDARDS









## Landscape Framework Plan

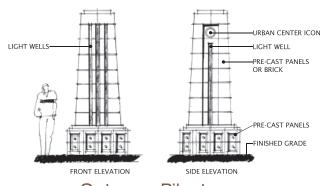
#### Gateways

The Loma Vista Community Centers North and South feature six enhanced community gateways at the intersections along DeWolf Avenue and Leonard Avenue. Gateways are marked by intensified landscape and hardscape treatment at a comfortable pedestrian scale. These unique entrances are intended to establish a sense of place and arrival.

#### Trails

KTINVMM27 SIV217 F

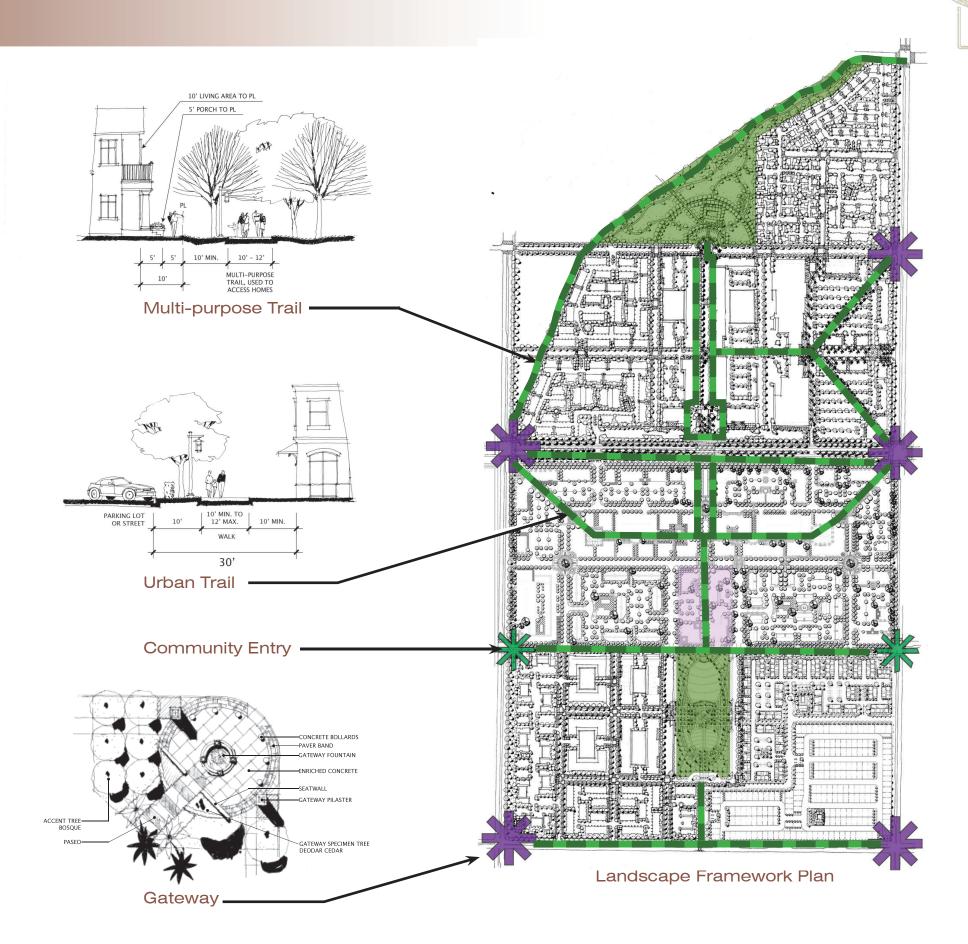
Pedestrian and bicycle trails will run throughout Loma Vista Community Centers North and South and link to the greater Loma Vista trails and paseo network. The internal trail system will be made up of "Urban Trails," sidewalks and the Jefferson Trail Open Space Corridor. "Urban Trails" are envisioned to run along Main Street designated roads and blend into pedestrian plazas within retail, entertainment and mixed use districts. Sidewalks are contained within the vehicular circulation plan. The Jefferson Trail Open Space Corridor spans the Jefferson Canal along the Northern property boundary and will provide a scenic frontage for homes in Planning Areas 2 and 3.



**Gateway Pilasters** 

LOMA VISTA **COMMUNITY CENTERS** 





#### **Grade Separated Crossing at Shaw Avenue**

Lomas Vista Community Centers North and South will be connected via a grade separated crossing passing under Shaw Avenue. Development adjacent to the crossing shall amplify the visual corridor with attributes as outdoor patios, pedestrian orientation toward the crossing and a prominent level of landscaping. This linkage will accommodate pedestrians, bicycles and vehicles allowing for safer, more convenient passage between the North and South without having to contend with higher-speed vehicles on Shaw.



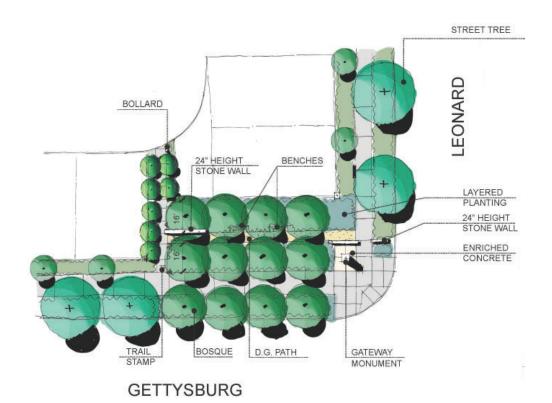
Grade Separated Crossing at Shaw Avenue



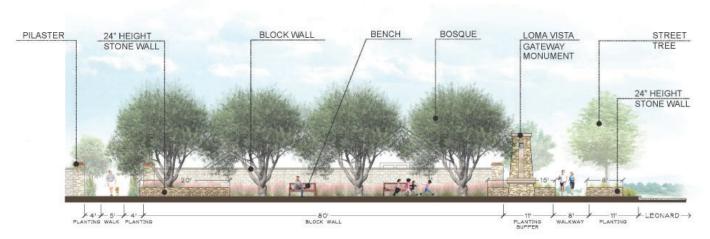


## Landscape Framework Plan





Gateway at Gettysburg Avenue and Leonard Avenue - Plan View



Gateway at Gettysburg Avenue and Leonard Avenue - Elevation

## Landscape Framework Plan





Urban Street Entry at Gettysburg Avenue



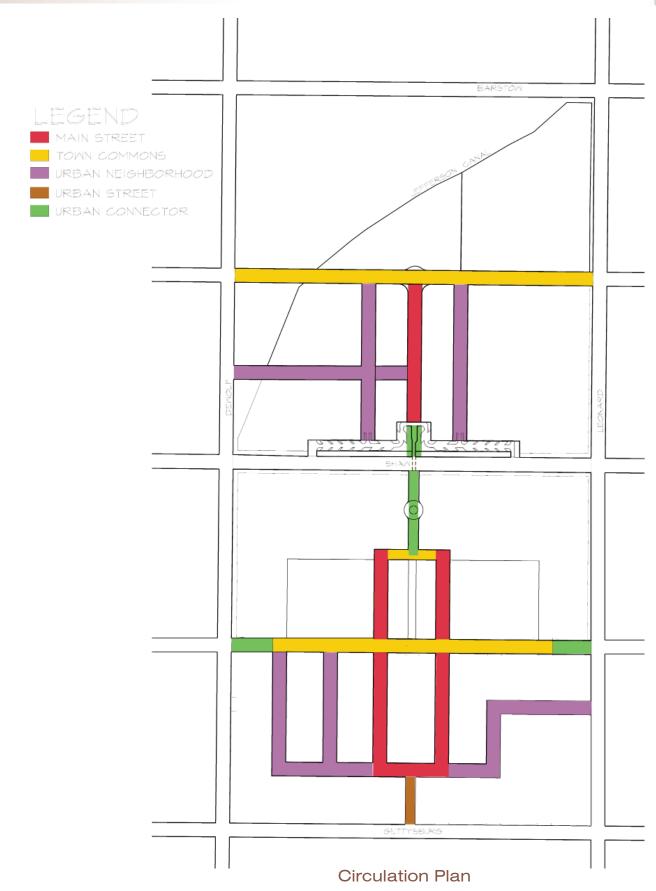
Monument at Urban Street Entry



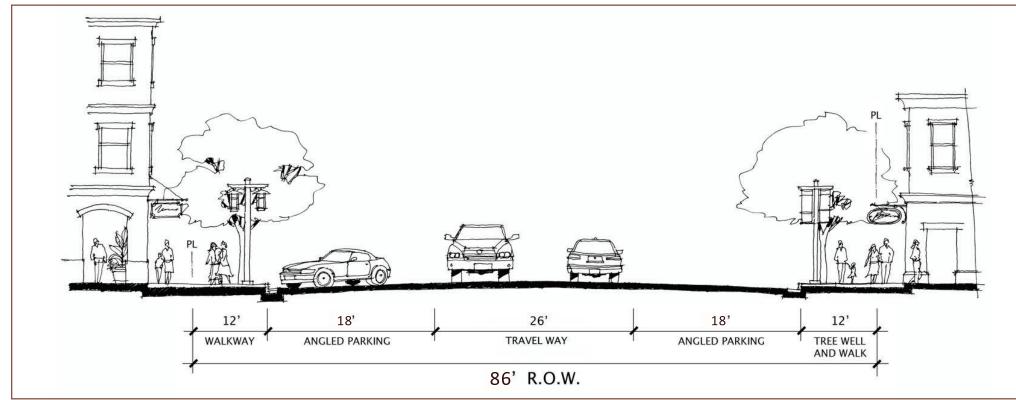
## Streetscape Development Standards

#### Circulation Plan

The circulation plan for Loma Vista Community Centers North and South will be made up of six street types: Main Street, Town Commons, Local Street, Urban Neighborhood Street, Urban Street, Urban Connector and Local Roads. These roadways are unique to the project and are intended to enhance connectivity for pedestrians, bicycles and cars alike. All roads have a sidewalk between 5 and 10 feet wide and most have an on-street parking provision and a single, low-speed travelling lane in each direction. Medians are absent to keep roads narrow and discourage speeding.



#### **Main Street**



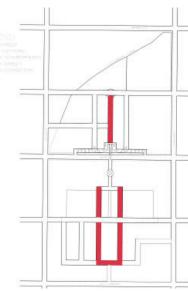
Main Street Section

	TREE WELL/WALKWAY	
	12'	
LANDSCAPE		
Tree Palette*	Phoenix dactylifera, Platanus acerfolia or	
*Tree Type(s) selected shall be consistently planted	Racemosa, Pistache chinensis 'Keith Davies''	
Pattern/ Spacing	30' min., 50' max.	
Other Condition(s)	Seslaria autumnalis or California Gold D.G.	
LIGHTING		
Light Model with banner pole option	Loma Vista Luminaries and pole- LCN series by U.S. Architectural Inc. or equivalent. Double head.	
Placement and spacing	To be determined at final site plan review	

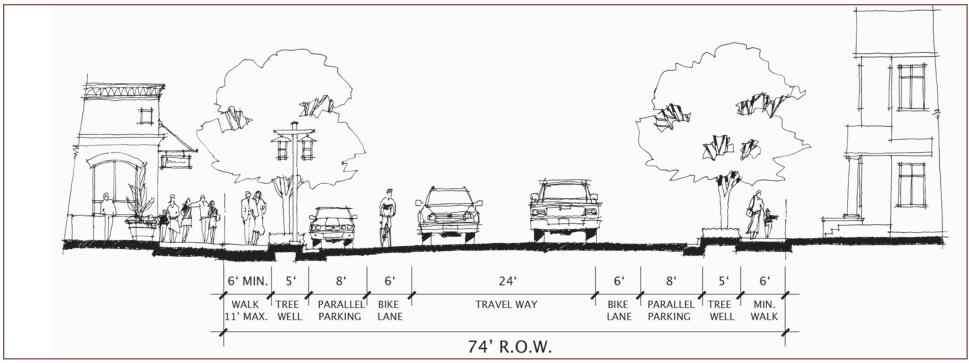
STREETSCAPE FURNITURE/OTHER			
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.		
Street Sign Post	Per site plan review		
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.		



LOMA VISTA COMMUNITY CENTERS Key Map



#### Town Commons Street

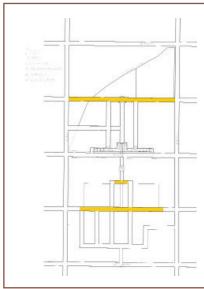


Town Commons Street Section

	TREE WELL	
	5'	
LANDSCAPE		
Tree Palette*	Phoenix dactylifera, Platanus acerfolia or	
*Tree Type(s) selected shall be consistently planted	racemosa, Magnolia grandiflora, Lophostemon confertus	
Pattern/ Spacing	30'min., 50' max.	
Other Condition(s)	Seslaria autumnalis or California Gold D.G.	
LIGHTING	<u> </u>	
Light Model with banner pole option	Loma Vista Luminaries and pole- LCN series by U.S. Architectural Inc. or equivalent. Double head.	
Placement and spacing	To be determined at final site plan review	

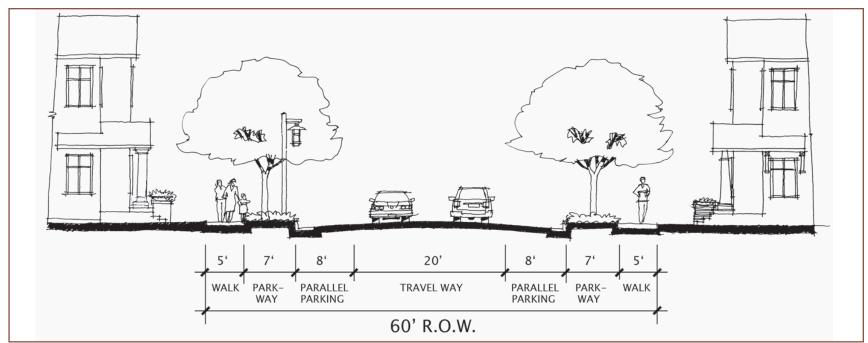
STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, like newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

#### Key Map



KTINNWWS SINGIF

#### **Urban Neighborhood Street**

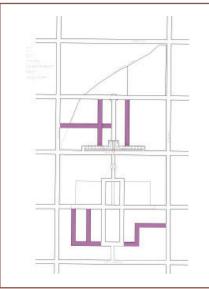


Urban Neighborhood Street Section

	PARKWAY 7'	
LANDSCAPE		
Tree Palette*  *Tree Type(s) selected shall be consistently planted	Platanus acerfolia or racemosa, Laurus nobilis, Magnolia grandiflora, Lophostemon confertus	
Pattern/ Spacing	30' min., 50' max.	
Other Condition(s)	Myroporum parvifolium, seslaria autumnalis or California Gold D.G.	
LIGHTING		
Light Model with banner pole option	Loma Vista Luminaries and pole- LCN series by U.S. Architectural Inc. or equivalent. Single head.	
Placement and spacing	To be determined at final site plan review	

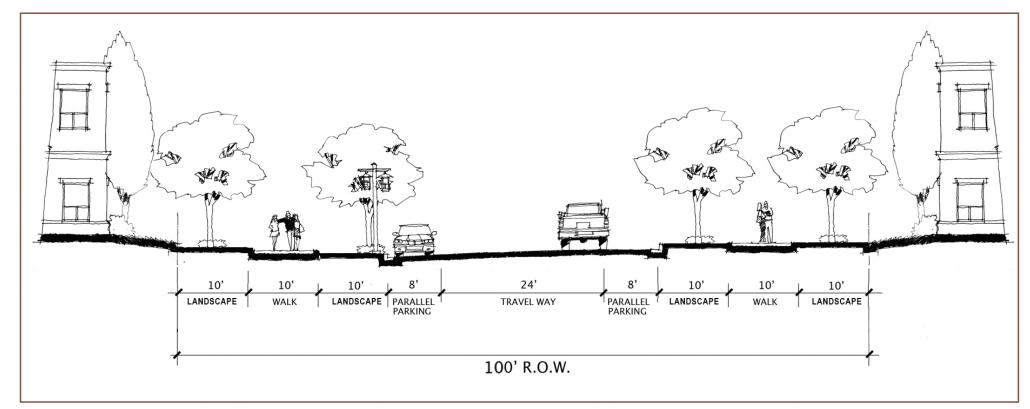
STREETSCAPE FURNITURE/OTHER		
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards.  Color-bronze or equivalent.	
Street Sign Post	Per site plan review	
Other	All other street furniture, like newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.	

#### Key Map



KTINNWWS SINGIF

#### **Urban Street**



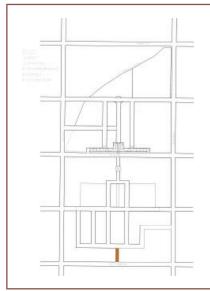
#### Urban Street Section

	TREE WELL 5'
LANDSCAPE	•
Tree Palette*  *Tree Type(s) selected shall be consistently planted	Phoenix dactylifera, Platanus acerfolia or racemosa, Laurus nobilis
Pattern/ Spacing	30' min., 50' max.
Other Condition(s)	Seslaria autumnalis or California Gold D.G.

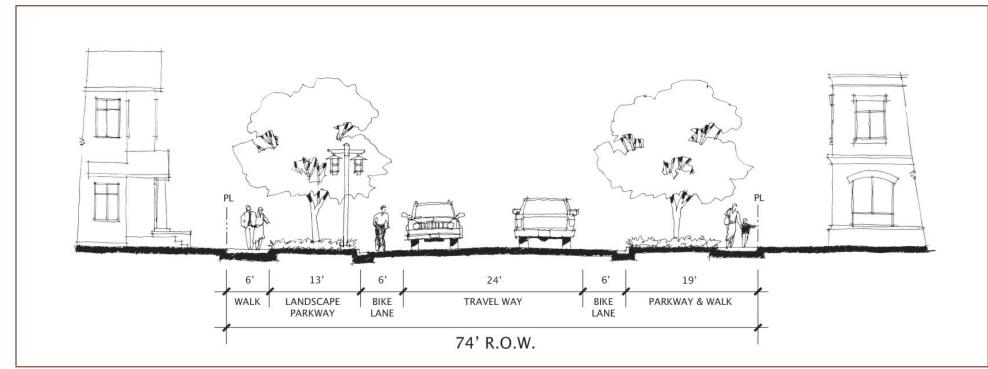
LIGHTING	
Light Model with banner pole option	Loma Vista Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review
STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Colorbronze or equivalent.
Street Sign Post	Per site plan review.
Other	All other street furniture, like newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.



#### Key Map



#### **Urban Connector**



Urban Connector Section

	TREE WELL	
	5'	
LANDSCAPE		
Tree Palette*	Phoenix dactylifera, Platanus acerfolia or	
*Tree Type(s) selected shall be	racemosa, Laurus nobilis, Lophostemon	
consistently planted	confertus	
Pattern/ Spacing	30' min., 50' max.	
Other Condition(s)	Myroporum parvifolium, seslaria	
	autumnalis or drift roses	
LIGHTING		
Light Model with banner pole option	Loma Vista Luminaries and pole- LCN	
	series by U.S. Architectural Inc. or	
	equivalent. Double head.	
Placement and spacing	To be determined at final site plan review	

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review.
Other	All other street furniture, like newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.



#### Key Map



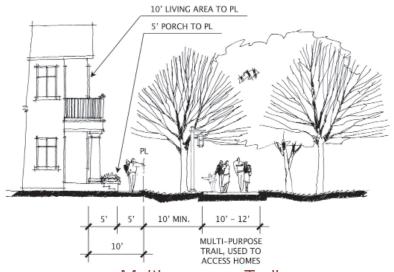
## Urban Trail Lighting

#### **Urban Trial Lighting**

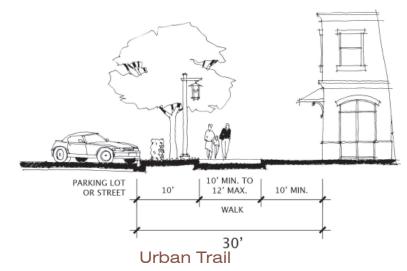
Light standards for urban trails should be consistent with the street lighting in Loma Vista Community Centers North and South. The spacing and placement of poles should provide enough lighting for the safety and convenience of pedestrians, while not interfering with the privacy and comfort of nearby homes. Lighting placement and spacing will be determined at final site plan review.

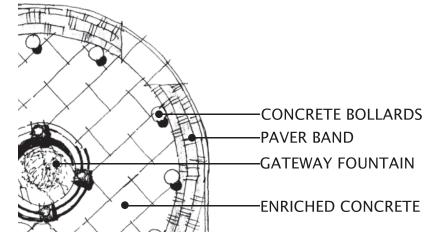
LIGHTING	
Light Model with banner pole option	Loma Vista Luminaries and pole with custom city of Clovis paseo light with concrete base- LCN series by U.S. Architectural Inc. or equivalent. Single head.
Placement and spacing	To be determined at final site plan review





Multi-purpose Trail

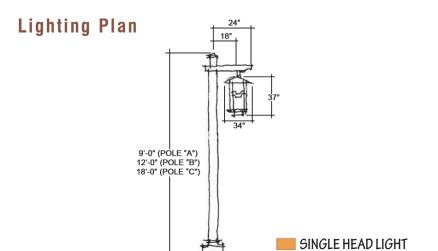


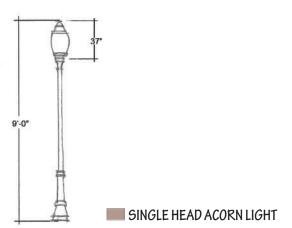


Bollards

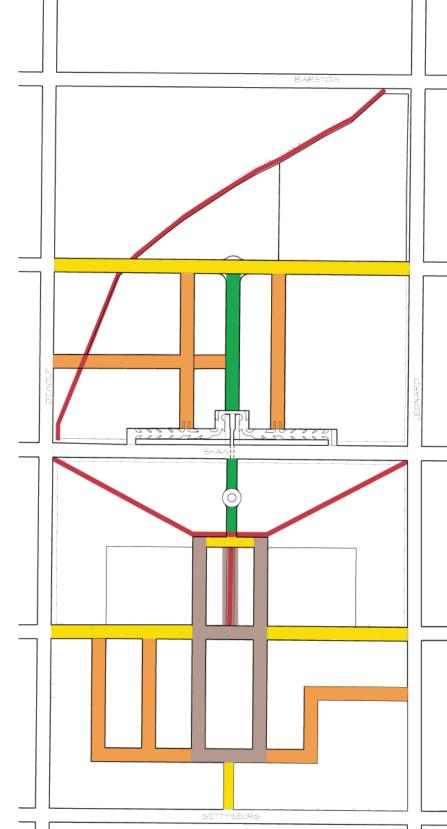
# Lighting Plan



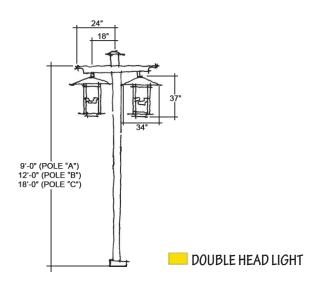


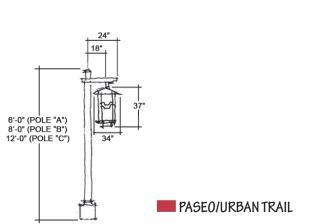


DOUBLE HEAD ACORN LIGHT



Lighting Plan





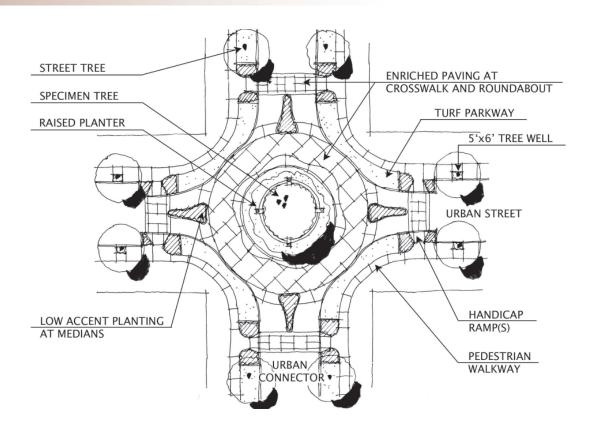


KTINNWWS SINGIF

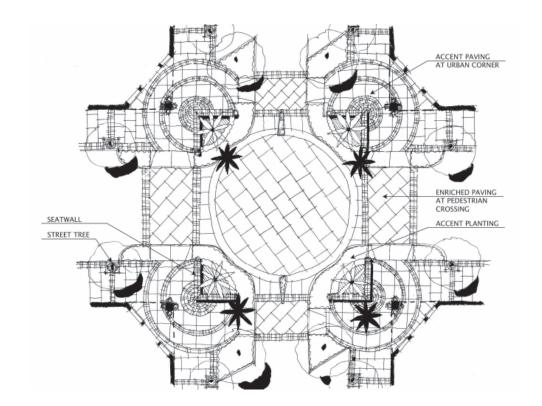


## Roundabouts and Bulbouts

In an effort to restrict vehicular speeds and promote safety for pedestrians, two traffic-calming devices will be implemented: roundabouts and bulbouts. Roundabouts will be located at intersections anticipated to be highly used by both vehicles and pedestrians. Using a roundabout in lieu of a stop sign keeps traffic flowing and minimizes car idle time which reduces greenhouse gases and gas consumption. Pedestrian crossings at bulbouts will be at grade (roads will be raised to meet walkways.)



Roundabout



Bulbout (traffic choker)



## Landscape Palette

#### **Trees**

ID	Common Name	Botanical Name	WUCOLS	Deciduous/ Evergreen
T-1	Strawberry Tree	Arbutus unedo	L	E
T-2	Lemon, orange, etc	Citrus spp.	М	E
T-3	Italian Cypress	Cupressus sempervirens	М	E
T-4	Goldenrain Tree	Koelreuteria paniculata	М	D
T-5	Crape Myrtle (Red)	Lagerstroemia indica 'Dynamite'	L	D
T-6	Crape Myrtle (White)	Lagerstroemia indica 'Natchez'	L	D
T-7	Crape Myrtle (Pink)	Lagerstroemia indica 'Muskogee'	L	D
T-8	Bay Laurel	Laurus nobilis	L	E
T-9	Saratoga Bay	Laurus nobilis 'Saratoga'	L	E
T-10	Magnolia	Magnolia grandiflora 'Samuel	М	E
		Sommer'		
T-11	Olive	Olea europaea	VL VL	E
T-12	Fruitless Olive	Olea europaea 'swan hill' V	VL	E
T-13	Date Palm	Phoenix dactylifera	L	E
T-14	Chinese Pistache	Pistacia chinensis 'Keith Davies'	L	D
T-15	London Plane	Platanus X acerifolia and cvs.	М	D
T-16	Holly Oak	Quercus ilex	L	E
T-17	Valley Oak	Quercus lobata	L	D
T-18	Cork Oak	Quercus suber	L	E
T-19	Southern Live Oak	Quercus virginiana	М	E
T-20	Interior Live Oak	Quercus wislizeni	YL	E
T-21	Brisbane Box	Lophostemon confertus	М	E
T-22	Saw Leaf Zelkova	Zelkova serrata	М	D



T-22



T-19

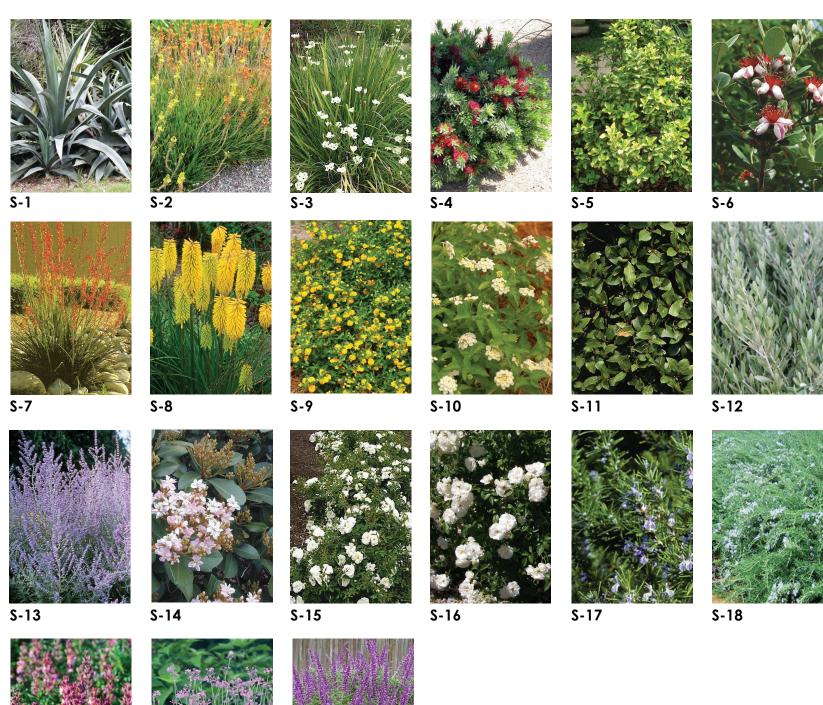
T-20

T-21

# Landscape Palette

### **Shrubs**

ID	Common Name	Botanical Name	WUCOLS
9-1	Weber Agave	Agave weberi	VL
5-2	Stalked Bulbine	Bulbine frutescens	L
9-3	Fortnight Lily	Dietes bicolor	L
9-4	Dwarf Bottle Brush	Callistemon citrinus 'Little John'	L
9-5	Evergreen Euonymus	Euonymus japonicus	L
9-6	Pineapple Guava	Feijoa sellowiana	L
9-7	Red Yucca	Hesperaloe parvifolia	L
5-8	Red Hot Poker	Kniphofia uvaria	L
<b>S-9</b>	New Gold Lantana	Lantana x. 'New Gold'	М
9-10	White Lightnin' Lantana	Lantana sellowiana 'Monma'	L
9-11	Bay Laurel	Laurus nobilis	L
9-12	Little Ollie Dwarf Olive	Olea europaea 'Montra'	VL
9-13	Russian Sage	Perovskia atriplicifolia	L
S-14	Yeddo Hawthorne	Rhaphiolepis umbellata	L
9-15	Carpet Rose	Rosa	М
9-16	Floribunda Rose	Rosa floribunda	М
9-17	Rosemary	Rosmarinus officinalis 'Tuscan Blue'	L
5-18	Trailing Rosemary	Rosmarinus 'Prostratus'	L
5-19	Mexican Bush Sage	Salvia leucantha "Santa Barbara'	L
5-20	Germander	Teucrium chamaedrys	L
9-21	Society Garlic	Tulbaghia violacea	L



**S-20** 

S-19

**S-21** 



# Landscape Palette

### **Grasses, Groundcovers and Vines**

ID	COMMON NAME	BOTANICAL NAME WUCO		
GRAS	SES	•	•	
G-1	Blue Gramma Grass	Bouteloua gracilis	L	
G-2	Western Meadow Sedge	Carex praegracilis	М	
G-3	Atlas Fescue	Festuca mairei 'Canyon Prince'	L	
G-4	Maiden Grass	Miscanthus sinensis 'Morning Light' M		
G-5	White Muhly Grass	Muhlenbergia capillaris 'White Cloud'	L	
G-6	Pink Muhly Grass	Muhlenbergia capillaris 'Regal Mist'	L	
G-7	Pine Muhly	Muhlenbergia dubia	L	
G-8	Mexican Feather Grass	Nassella tenuissima	L	
G-9	Slender Veldt Grass	Pennisetum spathiolatum	L	
G-10	Autumn Moor Grass	Sesleria autumnalis M		
G-11	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster' L		
GROUI	NDCOVER			
GC-1	Myoporum	Myoporum parvifolium & cvs.	L	
GC-2	Groundcover Roses	over Roses Rosa 'Drift Series' M		
VINES				
V-1	Creeping Fig	Ficus pumila M		
V-2	Cat's Claw Vine	Macfadyena unguis-cati	L	
V-3	Boston Ivy	on Ivy Parthenocissus tricuspidata M		



# LAND USE DEVELOPMENT STANDARDS



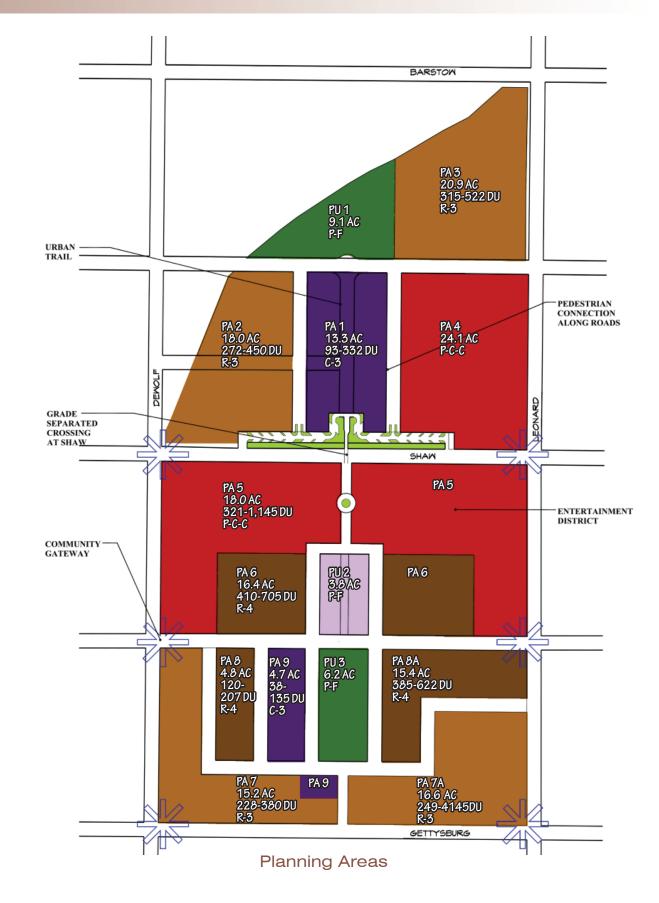






# Planning Areas

The Loma Vista Community Centers North and South are composed of nine Planning Areas and three Public Areas. The Planning Areas provide for a mix of uses including residential, commercial, office and entertainment. The three Public Areas will contain a variety of civic and park uses serving both Community Centers.





# Planning Area 1-Main Street

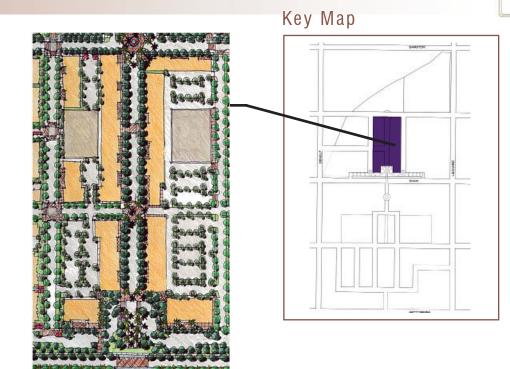
Planning Area 1 is considered the "downtown" of Loma Vista Community Center North and will be a vibrant, mixed use Main Street containing residential, retail, restaurants and office space. Land uses will be integrated physically and functionally. Residential units and/or offices will be stacked above or adjacent to retail stores, restaurants and/or offices. The Main Street will culminate into the North Park (Public Area 1), which contains a recreation center and sports facilities. The southern end of Main Street will lead to a grade-separated crossing that connects to Planning Area 5 in Community Center South. Downtown will be a bustling promenade with generous, active sidewalks and outdoor dining opportunities.

DESIGNATION	
General Plan	Mixed Use Village
Base Zoning District	C-3 Central Trading District
Density Range	7 to 25 dwelling units per acre

BUILDING INTENSITY			
Minimum Lot Area	N/A		
Minimum Lot Width	25'		
Minimum Lot Depth	N/A		
Maximum building height	60'	4-stories	
Maximum F.A.R.	1		

BUILDING SETBACKS (From Property Line)				
Front to San Jose 10' 5' to porch				
Front Yard to local road	10'	5' to porch		
Front to Main street	5'-20'	Build- to line is 5'-20' from ultimate ROW		
Side yard	N/A			
Corner side yard	10'			
Rear yard*	N/A			









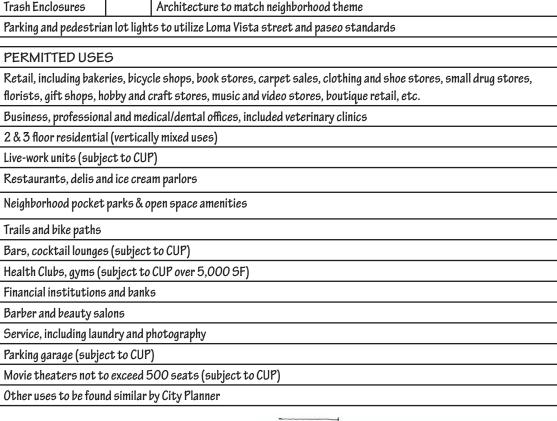
Main Street Illustrative Concept

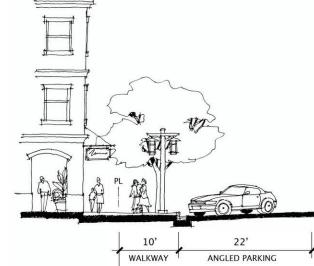
# Planning Area 1-Main Street (cont.)

PEDESTRIAN and VEHICULAR CIRCULATION		
Sidewalks	All front doors must be accessed by a minimum 6' sidewalk	
Main Street	70' curb to curb and 90' ROW ( see street sections)	
Alleys and Service roads	25' ROW (see street sections)	

PARKING			
USE	COVERED	OPEN	
Attached Residential Studio, 1, 2 BR 3+ BR	1	0	Add 0.5 for Live-work units 1 car garage 10' x 20' 2 car garage: 20' x 20' standard; 12' x 40' tandem
Business professional offices Medical, Dental Offices/ clinics	1 per 250 s 8 for first a	•	for each additional doctor
Retail	0-20,000 square feet - 5.4 per 1,000 gross building area 20,000-70,000 square feet - 5.0 per 1,000 gross building area 70,000 square feet and over - 4.7 per 1,000 gross building area		
Restaurants, Delis, Bars/cocktail lounges	0-1,000 SF- 1 per 200 SF 1,000-4,000 SF- 1 per 100 SF 4,000 SF- 40 spaces plus 1 per 50 SF over 4,000 SF		
Financial institutions/ Banks	5.4 per 1,000 gross building area		
Movie Theater	1 per 4 fixed seats or 1 per 35 SF		
Health Club/Gym	1 per 100 SF		
Barber/Beauty Salon, Spa	0.5 per sta	tion	

ACCESSORY USES			
Walls and Fences	3'-6'	No block walls adjacent to Shaw or San Jose	
Carports / Garages	ports / Garages Architecture to match neighborhood theme. Lattice also acceptable		
Trash Enclosures Architecture to match neighborhood theme			
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards			





Setback to Main Street



Main Street



Main Street



# Planning Area 2-High Density Residential

Planning Area 2 is an 18 acre, high density residential site flanked by the Jefferson Trail to the west, Main Street to the east, North Park to the north and Shaw Avenue to the south. The south west corner of this area is one of the Community's gateways and should be treated with significant landscaping. Homes should front toward parks and/or trails to take advantage of natural views or front onto Shaw Avenue to provide an attractive street scene. A walkway system will access all ground floor front doors and link with the Gettysburg Creek Trail. Front-loaded homes may only gain driveway access off adjacent local roads.

### **Development Standards**

KTINVMM27 SIV217 F

DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3 Medium Density Multiple Family Residential
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	2,100 SF	Lots may require a reciprocal use easement for usable private open space.
Minimum Lot Width	35'	
Minimum Lot Depth	55'	
Maximum building height	50'	3-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)				
Front to Shaw and San Jose ROW 10' 5' to porch				
Front Yard to local road	10'	5' to porch		
Front to Trail or Park	10'	5' to porch. 5' internal sidewalk included in setback.		
Side yard	5'			
Corner side yard	10'			
Rear yard*	10'	Rear yards may not face Shaw Ave., San Jose or the Gettysburg Trail.		
* Rear yard to garage is 5' to rear property line				

PERMITTED USES
Small lot, higher density single family detached homes, alley-loaded preferred
Duplexes
Triplex mansion homes
Paired-Z
Clustered SFD
Townhomes
Apartments
Senior apartments, active adult and semi-independent (subject to CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, trails, bike paths, tot-lots and open space amenities

ACCESSORY USES		
Walls and Fences 3'-6' No block walls adjacent to Shaw, San Jose or Jeffers Canal Trail. No wall over 3' in required front yard.		No block walls adjacent to Shaw, San Jose or Jefferson Canal Trail. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures Architecture to match neighborhood theme		
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		

	MINIMUM BUILDING SEPARATION					
1	Front to Front,	Front, 2-stories 15'				
	Front to Side,	3-stories 20'	Please review latest applicable building code for con-			
İ	Front to Rear		struction and fire wall requirements.			
l	0R		·			
l	Rear to Rear					
	Side to side	0'				









# Planning Area 2-High Density Residential (cont.)

PEDESTRIAN and VEHICULAR CIRCULATION			
Sidewalks	Sidewalks All front doors must be accessed by a minimum 6' sidewalk		
Local Roads	36'-40' ROW see street sections		
Alleys 25' ROW, see street sections			

PARKING			
USE	COVERED	OPEN	
SFD Residential	2	0	20' x 20' Garage
Attached Residential studio, 1, 2 BR 3+ BR	1	1 2	1 car garage 10' x 20' 2 car garage standard 20' x 20' tandem 12' x 40'
Senior Residential Active Adult Semi-independent	1	.25 per unit .5 per unit	
Child Care		1 per 6 children	



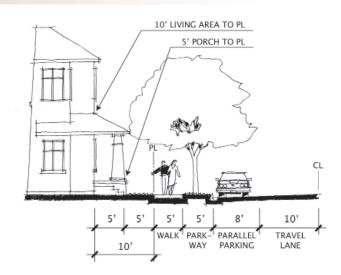
Townhomes



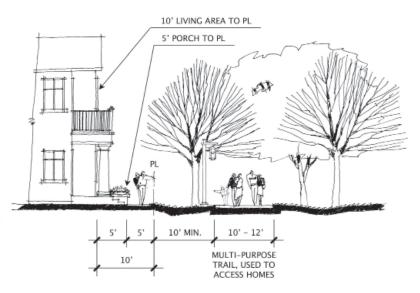
Fronts of homes oriented towards green court



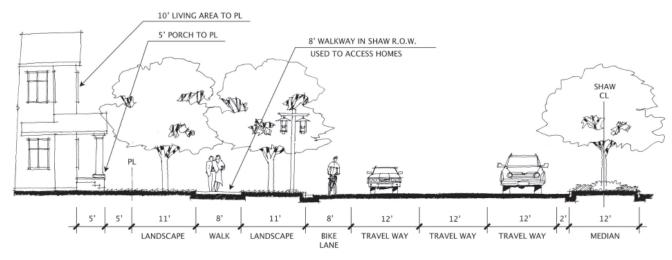
Alley loaded small lot SFD



Front Setback to Local road



Front Setback to Park or Trail



Front Setback to Shaw



# Planning Area 3-High Density Residential

Planning Area 3 in Community Center North is a high density residential district enjoying close proximity to the park in Public Area 1 and the Jefferson Trail. Appropriate home types for this area include townhomes, front and alley-loaded small lot SFD, townhomes, paired-Z SFD, mansion homes, SFD clusters and senior housing. Homes in this area should front onto the park and/or trail to maximize view opportunities. Homes may not take direct access off adjacent local roads.

### **Development Standards**

KTINUMM27 SIVELT F

DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3 Medium Density Multiple Family Residentia
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	2,100 SF	Lots may require a reciprocal use easement for useable private open space.
Minimum Lot Width	35'	
Minimum Lot Depth	55'	
Maximum building height	50'	3-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front to Leonard ROW	10'	No direct driveway access off Leonard. 5' to porch
Front to San Jose ROW	10'	No direct driveway access of San Jose. 5' to porch
Front Yard to local road	10'	5' to porch
Front to Trail or Park	10'	5' to porch. 5' internal sidewalk included in setback.
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	Rear yards may not face Leonard Ave., San Jose or Jefferson Canal Trail.
*Rear yard to garage is 5' to rear property line		





PERMITTED USES
Small lot, higher density single family detached homes, alley-loaded preferred
Duplexes
Triplex mansion homes
Paired-Z
Clustered SFD
Townhomes
Apartments
Active-adult apartments
Semi-independent senior apartments (subject to a CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths

ACCESSORY USES		
Walls and Fences 3'-6' No block walls adjacent to Leonard, San Jose or Jefferson Canal Trail. No wall over 3' in required front yard.		
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures Architecture to match neighborhood theme		
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		

Parking garages (subject to CUP)



Paired-Z



**Townhomes** 

# Planning Area 3-High Density Residential (cont.)

PEDESTRIAN and VEHICULAR CIRCULATION			
Sidewalks	Sidewalks All front doors must be accessed by a minimum 6' sidewalk		
Local Roads	Local Roads 36'-40' ROW see street sections		
Alleys 25' ROW, see street sections			

PARKING			
USE	COVERED	OPEN	
SFD Residential	2	0	20' x 20' Garage
Attached Residential * Studio, 1, 2 BR 3+ BR	1	1 2	1 car garage 10' x 20' 2 car garage standard 20' x 20' tandem 12' x 40'
Senior Residential Active Adult Semi-independent Child Care	1	.25 per unit .5 per unit 1 per 6 children	
* May be modified through C	UP process	[ . [	

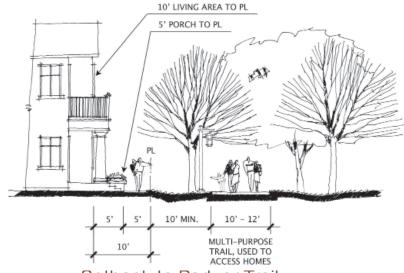
MINIMUM BU	ILDING SEPAR	RATION
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	



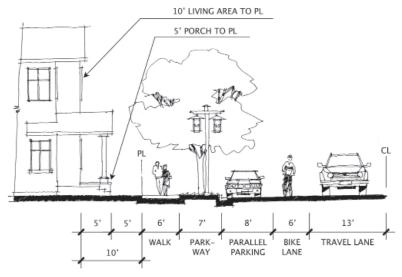
SFD Clusters



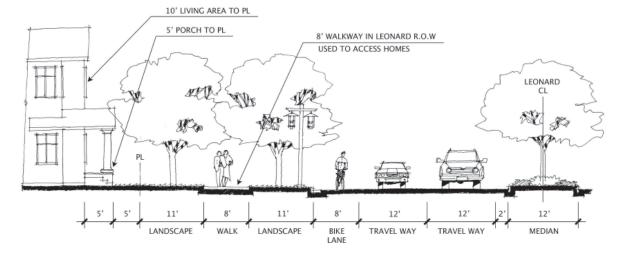
Mansion homes



Setback to Park or Trail



Front Setback to San Jose



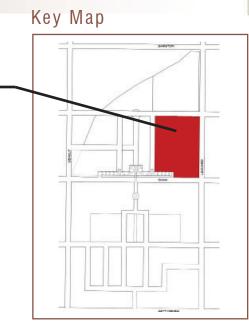


# Planning Area 4-Planned Commercial Center

Planning area 4, the Commercial center, provides conveniently accessible basic amenities and services to residents in the Loma Vista Specific Plan Area. The center should be pedestrian oriented, with linkages to parks, trails and Main Street. A grocery store and drug store will anchor the center, accompanied by a series of mid and small-sized shops and restaurants. Outdoor dining and covered seating areas should be available. The center is intended to serve community-oriented needs and will not have components intended to serve a much broader regional market. Commercial development should be intimate and small scale thereby allowing integration with residential uses. The center should provide functional outdoor spaces, trellis elements, screening of service and loading areas from residences and unified architectural and landscape themes consistent with the overall community theme.



Outdoor seating



Planning Area 4 Conceptual Illustrative

### **Development Standards**

KTINUMM27 SIVELT F

DESIGNATION	
General Plan	General Commercial
Base Zoning District	P-C-C Planned Commercial Center
Density Range	N/A
BUILDING INTENSITY	

BUILDING INTENSITY		
Minimum Lot Area	15,000 SF	
Minimum Lot Width	100'	
Minimum Lot Depth	150'	
Maximum building height	35'	2-stories
Maximum lot coverage	33%	See Clovis code- 9.12.050
Maximum F.A.R.	1.0	

BUILDING SETBACKS (From Property Line)		
Front yard to San Jose, Leonard and Shaw ROW	10'	
Side yard	N/A	
Corner side yard	N/A	
Rear yard	N/A	

### PERMITTED USES

General retail, including, bicycle shops, book stores, carpet sales, clothing and shoe stores, drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.

Business, professional and medical/dental offices, included veterinary clinics

Restaurants, bakeries, delis and ice cream parlors

External trails and bike paths

Bars, cocktail lounges (subject to CUP)

Health clubs, gyms (over 5,000 SF subject to CUP)

Financial institutions and banks (drive-through subject to CUP)

Service, including barbers and beauty salons, laundry and photography studios

Drive-through pharmacy (subject to CUP)

Gas stations (subject to CUP)

### PROHIBITED USES

Drive up/through restaurants, auto service stations, residential units

Α	C	CI	= 0	35	0	R١	1	JS	F	4
-	$\cdot$	u		,	v	1	ı	,,	_	L

Walls and Fences	5'-6'	No block walls adjacent to Leonard, Shaw or San Jose	
Trash Enclosures	Architecture to match neighborhood theme		
Parking and nedestrian lot lights to utilize Loma Vista street and pasen standard			



Retail



Outdoor seating



# Planning Area 4-Planned Commercial Center (cont.)



PEDESTRIAN and VEHICULAR CIRCULATION			
Sidewalks Minimum 10' sidewalk along storefronts			
Alleys and service roads 25' ROW, see street sections			

PARKING	
USE	PARKING REQUIREMENT
All uses (Parking requirements for some uses may be subject to parking review)	0-20,000 square feet - 5.4 per 1,000 gross building area 20,000-70,000 square feet - 5.0 per 1,000 gross building area 70,000 square feet and over - 4.7 per 1,000 gross building area

MINIMUM BU	MINIMUM BUILDING SEPARATION			
Front to Front, Front to Side, Front to Rear OR Rear to Rear	1-story 10' 2-stories 15'	Please review latest applicable building code for construction and fire wall requirements.		
Side to side	0'			



Pedestrian access from parking areas



Commercial Center Concept



# Planning Area 5- Retail, Office, Entertainment and Mixed Use District

Planning Area 5 is a medium-scale retail, entertainment and residential district in Community Center South. Substantial frontage onto Shaw Avenue provides for window for shopping, entertainment, employment, dining and services. Pedestrian/bicycle paths, which link all points in the community, traverse through the east and west halves of the district. A grade separated crossing connects the district to Main Street in PA 1, which also provides a pedestrian gateway to the Village Green.

### **Development Standards**

DESIGNATION	
General Plan	Mixed Use Village
Base Zoning District	P-C-C Planned Commercial Center District
Density Range	7 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	50'	4-stories
Maximum F.A.R.	.75	

BUILDING SETBACKS (From Property Line)			
Front yard to Shaw, Leonard and De wolf R.O.W.	10'	No direct driveway access to homes off Shaw, Leonard and De wolf.	
Front yard to Local roads	10'	Direct driveway access to homes off local roads only	
Side yard	5'		
Corner side yard	10'		
Rear yard	10'		

MINIMUM BUILDING SEPARATION				
Front to Front,	2-stories 15'			
Front to Side,	3-stories 20'	Please review latest applicable building code for construction		
Front to Rear	4-stories 25'	and fire wall requirements.		
0R				
Rear to Rear				
Side to side	0'			





Planning Area 5 Conceptual Perspective



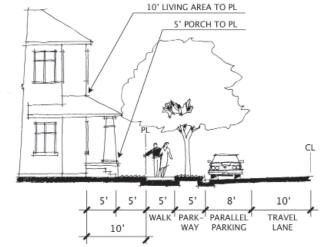
LOMA VISTA COMMUNITY CENTERS North & South

# Planning Area 5- Retail, Office, Entertainment and Mixed Use District (cont.)

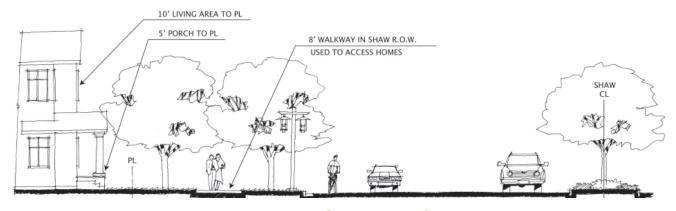


PEDESTRIAN and VEHICULAR CIRCULATION		
Sidewalks Minimum 10' sidewalk along storefronts		
Local roads 36'-40' pavement (see street sections)		
Alleys and service roads 25' ROW (see street sections)		

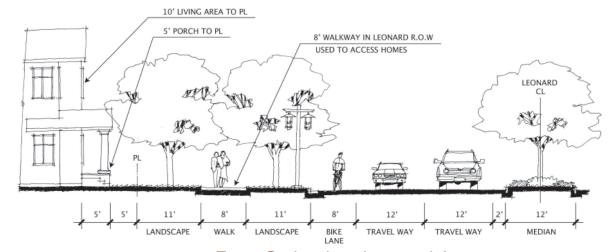
PARKING				
USE	COVERED	OPEN		
Attached Residential *			Add 0.5 for Live-work units	
Studio, 1, 2 BR	1	1	1 car garage 10' x 20'	
3+ BR	1	2	2 car garage	
			standard 20' x 20'	
			tandem 12'x40'	
Business professional offices	1 per 250 s	•		
Medical, Dental Offices/clinics	8 for first d	octor plus 5 fo	or each additional doctor	
Retail			,000 gross building area	
			0 per 1,000 gross building area	
	70,000 SF and over - 4.7 per 1,000 gross building area			
Restaurants, Delis,	0-1,000 SF- 1 per 200 SF			
Bars/cocktail lounges		00 SF- 1 per 1		
	4,000 SF-	40 spaces plus	5 1 per 50 SF over 4,000 SF	
Financial institutions/Banks	5.4 per 1,000 gross building area			
Health Club/Gym	1 per 100 SF			
Barber/Beauty Salon/Spa	0.5 per station			
Hotel	1 per guest	room		
Movie Theater	1 per 4 fixed seats or 1 per 35 SF			
Art galleries and museums	1 per 500 SF gross floor area			
Photography Studios	1 per 1000 SF gross floor area			
*May be modified through CUP p	*May be modified through CUP process			



Front Setback to Local road



Front Setback to Shaw



Front Setback to Leonard Avenue



# Planning Area 5- Retail, Office, Entertainment and Mixed Use District (cont.)



### **Development Standards**

PI	FR.	MI	TT	FD	US	F.S

General retail, including bicycle shops, book stores, carpet sales, clothing and shoe stores, drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.

Business, professional and medical/dental offices, included veterinary clinics

The residential land use of PA 6 may encroach into this site

2 & 3 floor residential (vertically mixed uses)

Live-work units

Restaurants, bakeries, delis and ice cream parlors

Neighborhood pocket parks & open space amenities, trails and bike paths

Barbers and beauty salons

Bars, cocktail lounges (subject to CUP)

Health clubs, gyms (over 5,000 subject to CUP)

Art galleries and museums

Photography studios

Hotel (subject to CUP)

Movie theaters not to exceed 500 seats (subject to CUP)

### PROHIBITED USES

Gas stations, auto service stations

ACCESSORY USES			
Walls and fences	3'-6'	3'-6' No block walls adjacent to public street. No wall over 3' in required front yard.	
Carports / garages	Architecture to match neighborhood theme. Lattice also acceptable		
Trash enclosures	Architecture to match neighborhood theme		
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards			



Mixed Use



Green court-Retail



Urban Trail



# Planning Area 6-Very High Density Residential

Planning Area 6 is a very high density residential district in Community Center South. It's proximity to the retail/entertainment district to the north and civic center to the south makes this area ideal for higher density stacked flats, townhomes, live work units and senior housing. A pedestrian and bicycle trail will cross though on the west and east, linking to two major community gateways.

### **Development Standards**

DESIGNATION		
General Plan Very High Density Residential		
Base Zoning District	R-4 High Density Multiple Family Residential	
Density Range 25.1 to 43 dwelling units per acre		

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.		

MINIMUM BUILDING SEPARATION				
Front to Front, Front to Side, Front to Rear OR Rear to Rear	Front to Rear OR 3-stories 20' Please review latest applicable building code			
Side to side	10'	1		





GMCI.

Key Map

Planning Area 6 Conceptual Illustrative







Senior housing



# Planning Area 6-Very High Density Residential (cont.)

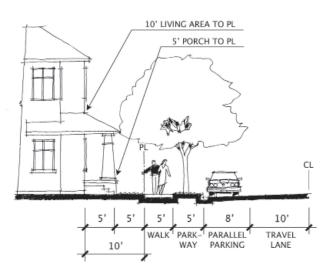


	PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads 36'-40' ROW see street sections		
	Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential	1	1	Add .5 for live-work
Studio, 1 & 2 BR			1 car garage 10' x 20'
3+ BR	1	2	2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult	1	25 non unit	
Semi-independent		.25 per unit .5 per unit	
Child Care		1 per 6 children	

PERMITTED USES
Stacked flats
Townhomes
Live-Work
Apartments
Senior housing, Active Adult and Semi-independent units (subject to CUP)
Uses permitted in PA 5 provided that lost residential units are accounted for in PA 5
Parking Garage (subject to CUP)
Child Care Facility (subject to a CUP)

ACCESSORY USES				
Walls and Fences	3'-6'	3'-6' No wall over 3' in required front yard.		
Carports		Architecture to match neighborhood theme. Lattice also acceptable		
Trash Enclosures		Architecture to match neighborhood theme		
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards				



Front Setback to Local Road







Stacked Flats



# Planning Area 7-High Density Residential

Planning Area 7 is a high density residential district in Community Center South. Homes should front onto Gettysburg, De Wolf and Leonard Avenues with garage access off an alley, for a handsome street scene. A trail system will connect homes to parks, major trails and the Reagan Education Center to the South.

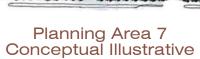
### **Development Standards**

DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3 Medium Density Multiple Family Residential
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	2,100 SF	Lots may require a reciprocal use ease- ment for useable private open space.
Minimum Lot Width	35'	
Minimum Lot Depth	55'	
Maximum building height	50'	3-stories
Maximum lot coverage	60%	

Front to Leonard, De Wolf and Gettysburg ROW	10'	No direct driveway access off Leonard, De Wolf or Gettysburg. 5' to porch
Front Yard to local road	10'	5' to porch
Front to Trail or Park	10'	5' to porch. 5' internal sidewalk included in setback.
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	Rear yards may not face Leonard Ave., San Jose or the Gettysburg Trail.











Key Map

Townhomes



# Planning Area 7-High Density Residential (cont.)

### **Development Standards**

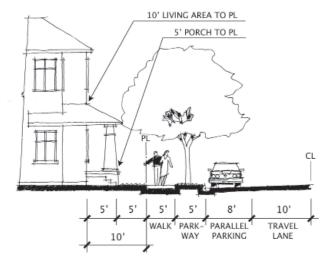
PEDESTRIAN and VEHICULAR CIRCULATION		
Local Roads 36'-40' ROW see street sections		
Alleys 25' ROW, see street sections		

PARKING			
USE	COVERED	OPEN	
Attached Residential * Studio,1 & 2 BR 3+ BR	1	1 2	Add .5 for live-work 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi-independent	1	.25 per unit .5 per unit	
Child Care		1 per 6 children	

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	100	

PERMITTED USES
Small lot, higher density single family detached homes
Duplexes
Triplex mansion homes
Paired-Z
Clustered SFD
Townhomes
Apartments
Senior apartments, active adult and semi-independent (subject to CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths

ACCESSORY USES			
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.	
Carports		Architecture to match neighborhood theme. Lattice also acceptable	
Trash Enclosures Architecture to match neighborhood theme			
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards			



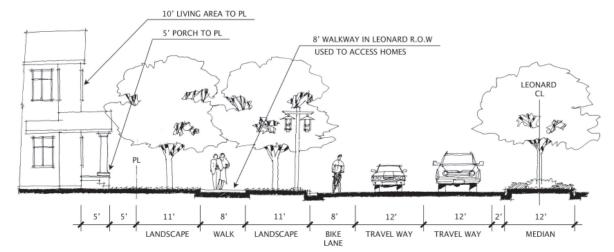
Front Setback to Local Road



SFD Clusters



Mansion Homes



Front Setback to DeWolf Avenue



LOMA VISTA COMMUNITY CENTERS North & South

43

# Planning Area 7A-High Density Residential

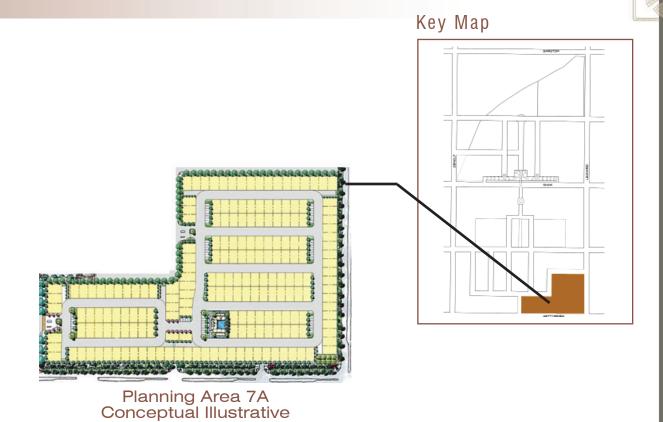
Planning Area 7A is a High Density Residential district in Community Center South. A trail system will connect homes to parks, major trails and the Reagan Education Center to the South.

### **Development Standards**

DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3 Medium Density Multiple Family Residential
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	1,800 SF	Lots may require a reciprocal use easement for useable private open space.
Minimum Lot Width	36'	
Minimum Lot Depth	50'	
Maximum building height	35'	2-stories
Maximum covered accessory structure height	12'	
Maximum lot coverage	65%	

BUILDING SETBACKS (From Pr	operty	Line)	
Setback to Leonard, De Wolf and 10' No direct driveway access off Leonard, De Wolf Gettysburg ROW or Gettysburg. 5' to porch			
Front Yard from living area or garage	5'	4' front yard from porch or projections	
Side yard	5'		
Corner side yard to ROW	3'		
Rear yard	4'		







SFD



**COMMUNITY CENTERS** North & South

# Planning Area 7A-High Density Residential (cont.)

### **Development Standards**

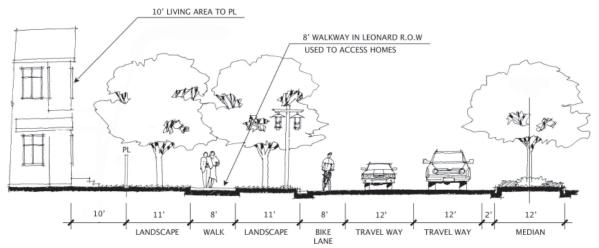
PEDESTRIAN and VEHICULAR CIRCULATION		
Local Roads 36'-40' ROW see street sections		
Alleys 25' ROW, see street sections		

PARKING			
USE	COVERED	OPEN	
SFD Residential	1	.5	Add .5 for live-work 1 car garage 10' x 16' 2 car garage: standard 20' x 20'; tandem 10' x 38'
Senior Residential Active Adult Semi-independent	1	.25 per unit .5 per unit	
Child Care*		1 per 6 children	
*May be modified through CUP process			

MINIMUM BUILDING SEPARATION			
Side to side	6'- 10' depending on garage place- ment	Please review latest applicable building code for construction and fire wall requirements.	

PERMITTED USES
Small lot, higher density single family detached homes
Duplexes
Triplex mansion homes
Paired-Z
Clustered SFD
Townhomes
Apartments
Senior apartments, active adult and semi-independent (subject to CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths

ACCESSORY USES			
Walls and Fences	6'-8'	No block walls adjacent to collector roads. No wall over 3' in required front yard.	
Carports		Architecture to match neighborhood theme. Lattice also acceptable	
Trash Enclosures Architecture to match neighborhood theme			
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards			



Rear Setback to Leonard Avenue



LOMA VISTA COMMUNITY CENTERS

North & South

SFD Clusters

# Planning Area 8-Very High Density Residential

Planning Area 8 is a very high density residential district consisting of 9.6 acres in Community Center South. PA 8 will be characterized by compact, efficient apartments, townhomes, seniors apartments and live-work units. These neighborhoods are a short walk from the vibrant mixed use on the Village Green in PA 7 and the retail and entertainment center in PA 5 (or even a quick bike ride away from the Neighborhood Commercial Center in PA 4).

### **Development Standards**

DESIGNATION	
General Plan	Very High Density Residential
Base Zoning District	R-4
Density Range	25.1 to 43 dwelling units per acre

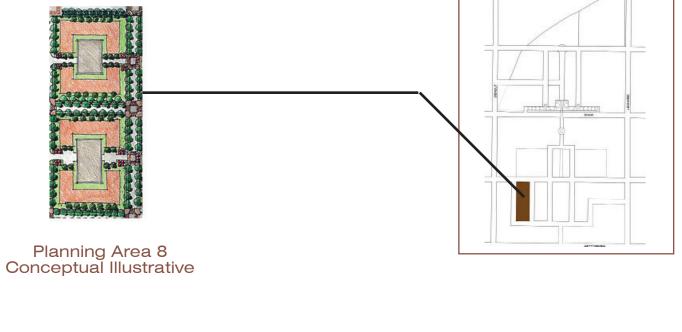
BUILDING INTENSITY	'	
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.		

MINIMUM BUILDING SEPARATION			
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20' 4-stories 25'	Please review latest applicable building code for construction and fire wall requirements.	
Side to side	10'		







Key Map



Stacked Flats



LOMA VISTA COMMUNITY CENTERS

North & South

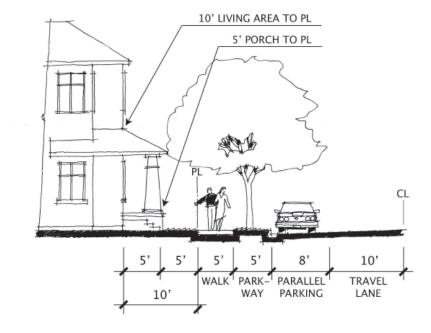
# Planning Area 8-Very High Density Residential (cont.)

PEDESTRIAN and VEHICULAR CIRCULATION		
Local Roads 36'-40' ROW see street sections		
Alleys 25' ROW, see street sections		

PARKING	'		
USE	COVERED	OPEN	
Attached Residential * Studio,1 & 2 BR 3+ BR	1	1 2	Add .5 for live-work units 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi Independent	1	.25 per unit .5 per unit	
Child Care		1 per 6 children	
*May be modified through CUP process.			

PERMITTED USES
Stacked flats
Townhomes
Live-work (subject to a CUP)
Apartments
Senior apartments, active adult and semi-independent (subject to a CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths
Parking structure (subject to CUP)

ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		



Front Setback to Local Road



Live -work



Senior housing



# Planning Area 8A-Very High Density Residential

Planning Area 8A is a very high density residential district consisting of 9.6 acres in Community Center South. PA 8A contains high density residential and live-work units. This neighborhood enjoys close proximity to the Village Green, which is directly adjacent.

### **Development Standards**

DESIGNATION	
General Plan	Very High Density Residential
Base Zoning District	R-4
Density Range	25.1 to 43 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.	•	·

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20' 4-stories 25'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	10'	



Planning Area 8A Conceptual Illustrative



High Density Residential Overlooking Village Green



Key Map

Stacked Flats



Townhomes



LOMA VISTA COMMUNITY CENTERS

North & South

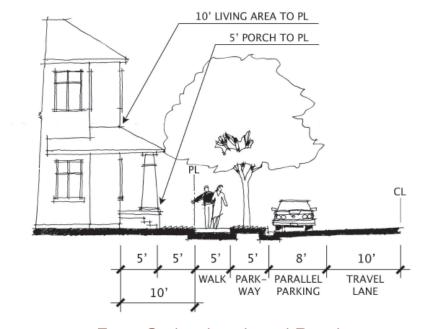
# Planning Area 8A-Very High Density Residential (cont.)

PEDESTRIAN and VEHICULAR CIRCULATION		
Local Roads 36'-40' ROW see street sections		
Alleys 25' ROW, see street sections		

PARKING			
USE	COVERED	OPEN	
Attached Residential * Studio, 1 & 2 BR 3+ BR	1	1 2	Add .5 for live-work units 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi Independent	1	.25 per unit .5 per unit	
Child Care		1 per 6 children	
*May be modified through (	CUP process.		

PERMITTED USES
Stacked flats
Townhomes
Live-work (subject to a CUP)
Apartments
Senior apartments, active adult and semi-independent (subject to a CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths
Parking structure (subject to CUP)

ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures	ash Enclosures Architecture to match neighborhood theme	
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		



Front Setback to Local Road



Live -work



Senior housing



# Planning Area 9- Mixed Use on Village Green

Planning Area 9 provides for a mix of uses on a Village Green in Loma Vista's Community Center South. Retail, service, live-work units and/ or mixed use buildings should be sited to interact with the Village Green, which will contain a variety of public uses serving both community centers. This area is envisioned to have a similar look and feel of a Main Street, with the exception of the addition of a 6.2 acre park.

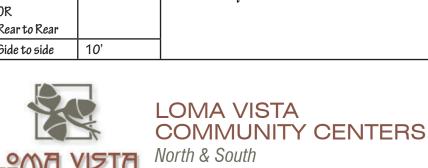
### **Development Standards**

DESIGNATION	
General Plan	Mixed Use Village
Base Zoning District	C-3 Central Trading District
Density Range	7-25 dwelling units per acre

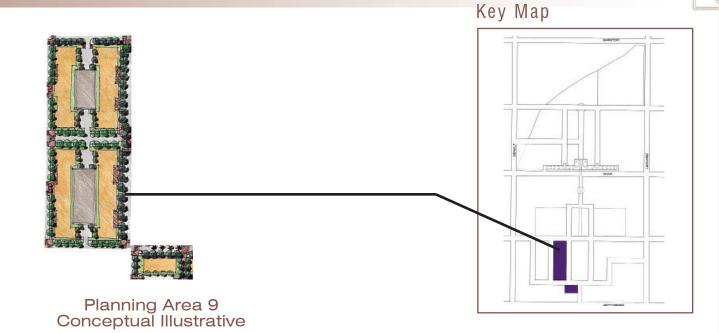
BUILDING INTENSITY	,	
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum F.A.R.	1	

BUILDING SETBACKS (From Property Line)		
Front to San Jose	10'	5' to porch
Front Yard to local road	10'	5' to porch
Front to Main street	5'-20'	Build- to line is 5'-20' from ultimate ROW
Side yard	N/A	
Corner side yard	10'	
Rear yard*	N/A	

MINIMUM BUILDING SEPARATION		
Front to Front,	2-stories 15'	
Front to Side,	3-stories 20'	Please review latest applicable building code for construction
Front to Rear	4-stories 25'	and fire wall requirements.
0R		·
Rear to Rear		
Side to side	10'	



KTINUMM27 SIVELT F





Village Green Illustrative Concept

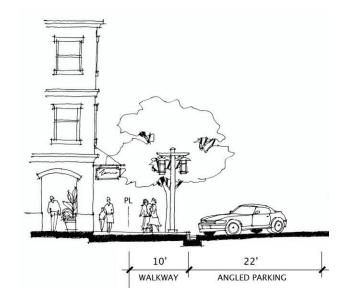
# Planning Area 9- Mixed Use on Village Green (cont.)

PERMITTED USES
Retail, including bicycle shops, book stores, carpet sales, clothing and shoe stores, small drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.
Business, professional and medical/dental offices, included veterinary clinics
Places of worship (subject to CUP)
2 & 3 floor residential (vertically mixed uses)
Live-work units
Restaurants, bakeries, delis and ice cream parlors
Neighborhood pocket parks & open space amenities
Trails and bike paths
Bars and cocktail lounges in conjunction with restaurant (subject to CUP)
Health clubs, gyms (over 5,000 SF subject to CUP)
Financial institutions and banks
Barber and beauty salons
Service, including laundry and photography
Parking garage (subject to CUP)
Places of worship (subject to CUP)

ACCESSORY US	JSES .		
Walls and fences	3'-6' No wall over 3' in required front yard.		
Carports		Architecture to match neighborhood theme. Lattice also acceptable	
Trash enclosures Architecture to match neighborhood theme			
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards			

PEDESTRIAN and VEHICULAR CIRCULATION		
Sidewalks	All front doors must be accessed by a minimum 6' sidewalk	
Local roads	36'-40' ROW (See Street Sections)	
Alleys and	25' ROW (See Street Sections)	
Service roads		

PARKING	ARKIN <i>G</i>		
USE	COVERED	OPEN	
Attached Residential * Studio, 1, 2 BR 3+ BR	1	1 2	Add 0.5 for Live-work units 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Business professional offices medical, dental offices/clinics General retail	0-20,000 s 20,000-70	loctor plu square fed 0,000 sql	et s 5 for each additional doctor et - 5.4 per 1,000 gross building area uare feet - 5.0 per 1,000 gross building area and over - 4.7 per 1,000 gross building area
Restaurants, delis, bars/cocktail lounges	0-1,000 SF- 1 per 200 SF 1,000-4,000 SF- 1 per 100 SF 4,000 SF- 40 spaces plus 1 per 50 SF over 4,000 SF		
Financial institutions/banks	5.4 per 1,000 gross building area		
Health club/gym	1 per 100 SF		
Barber/beauty salon	2 per station		
*May be modified through CUP process.			



Setback to Main Street



Village green



Village green



# Public Area 1 - North Park

Public area 1, North Park, is located along Jefferson Canal Trail and serves as a focal point at the north end of the "Main Street" in planning area 1. The park will contain sports facilities, a community recreation area, tot-lot and passive open space opportunities, such as multipurpose trails and seating areas.

### **Development Standards**

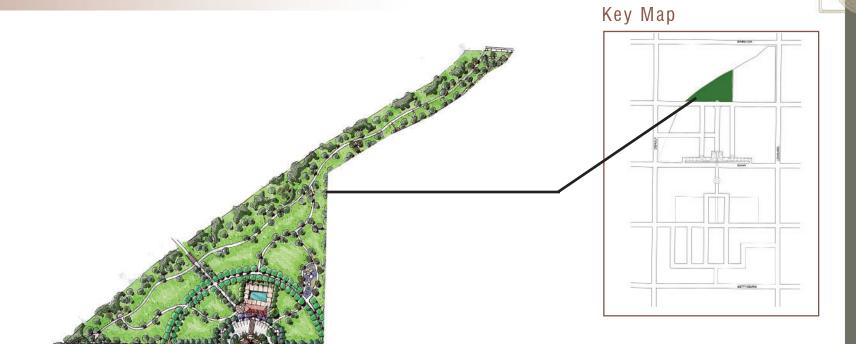
DESIGNATION	
General Plan	Public Facility
Base Zoning District	P-F
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	25'	2-stories
Maximum lot coverage	40%	

BUILDING SETBACKS (From Property Line)	
Front Yard	20'
Side yard	15'
Corner side yard	20'
Rear yard*	20'

MINIMUM BU	ILDING SEPAR	LDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20' 4-stories 25'	Please review latest applicable building code for construction and fire wall requirements.		
Side to side	0'			





Public Area 1 Conceptual Illustrative

PERMITTED USES
Public and Quasi-public buildings
Amphitheater
Swimming Pool
Open space amenities, trails, bike paths
Court games
Parking facilities

PEDESTRIAN and VEHICULAR CIRCULATION		
Local Roads 36'-40' ROW See Street		
	sections	

PARKING	Per Site Plan review

### ACCESSORY USES

Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards

# Public Area 2-Quasi Public

Public area 2, provides for the development of quasi-public institutional uses, either owned publicly or operated by non-profit organizations. Intended uses include a library, post office, City Hall Annex and parking.

### **Development Standards**

DESIGNATION	
General Plan	Public Facility
Zoning	P-F
Density Range	N/A

BUILDING INTENSITY			
Minimum Lot Area	N/A		
Minimum Lot Width	N/A		
Minimum Lot Depth	N/A		
Maximum building height	25'	2-stories	
Maximum lot coverage	40%		

BUILDING SETBACKS (From Property Line)	
Front Yard	20'
Side yard	15'
Corner side yard	20'
Rear yard*	20'

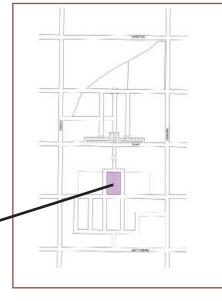


Public Area 2 Conceptual Illustrative



Conceptual Public and Quasi-public Buildings





MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	10'	Please review latest applicable build- ing code for construction and fire wall requirements.
Side to side	0'	

PERMITTED USES	
Public and quasi-public buildings	
Church, synagogue or other place of worship (subject to CUP)	
Swimming pool	
Open space amenities, trails, bike paths	
Parking facilities	
Child care facility (subject to a CUP)	

PEDESTRIAN and VEHICULAR CIRCULATION		
Local Roads	36'-40' ROW see street sections	
Alleys	25' ROW, see street sections	

PARKING	
Public/quasi public buildings	1 per 250 SF
All other uses	Subject to Site Plan Review

### ACCESSORY USES

Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards



# Public Area 3- Loma Vista Village Green

Public area 3, the Loma Vista Village Green is located south of Public Area 2 and provides for active and passive open spaces, including an amphitheater, community festival facilities and open space. The Village Green is the core of the Loma Vista Specific Plan and will be a major focal point of the community.

### **Development Standards**

DESIGNATION	
General Plan	P:ark
Zoning	P-F
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	25'	2-stories
Maximum lot coverage	40%	

BUILDING SETBACKS (From Property Line)	
Front Yard	20'
Side yard	15'
Corner side yard	20'
Rear yard*	20'

MINIMUM BUILDING SEPARATION		
Front to Front,	10'	
Front to Side,		Please review latest applicable building code for
Front to Rear		construction and fire wall requirements.
0R		·
Rear to Rear		
Side to side	0'	

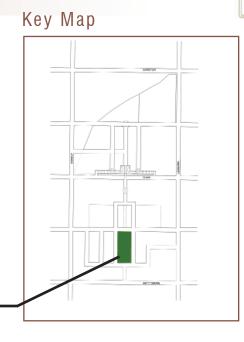
PERMITTED USES	
Public and Quasi-public buildings	
Amphitheater	
Open Air Performing Arts Facilities	
Open space amenities, trails, bike paths	
Parking facilities	
Child Care Facility (subject to a CUP)	

PARKING	
Public/quasi public buildings	1 per 250 SF
All other uses	Subject to Site Plan Review

				_					
	$\sim$	$\sim$ $\sim$	SS	$\sim$	<b>つ</b> ヽ.	<i>,</i> ,	$\sim$	-	_
А	•	<i>-</i>	99	( )	K Y		ı∽	-	-

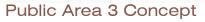
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards





Public Area 3 Conceptual Illustrative





KTINUMM27 SIVELT F

# SAMPLE HOME TYPES









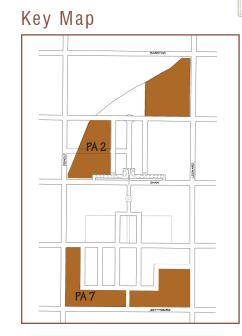
This section provides a variety of building types and design notes applicable to the various Planning Areas in Loma Vista Community Centers North and South

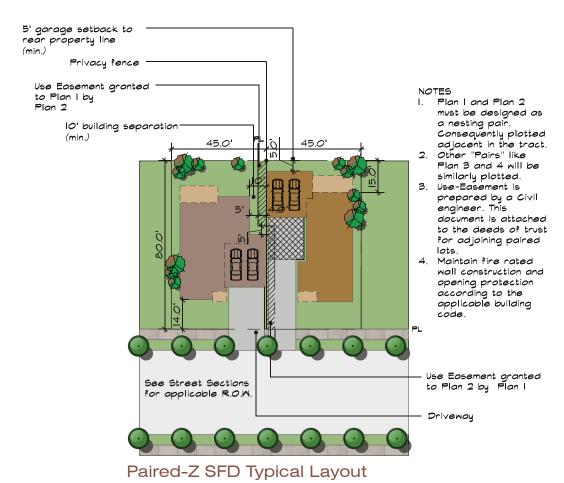
### Paired-Z SFD

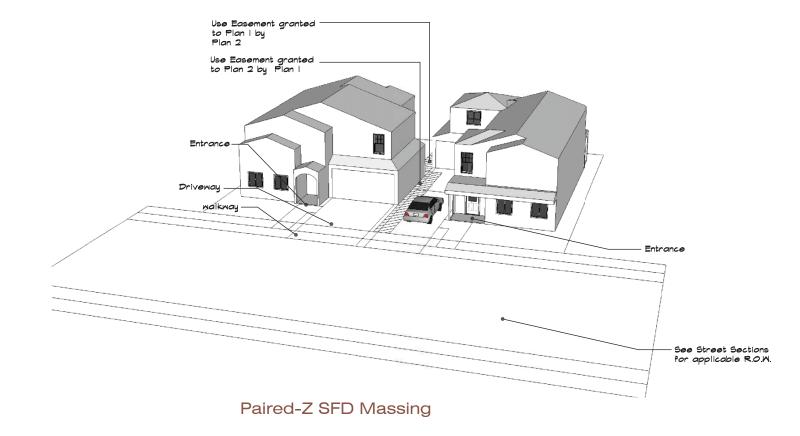
Paired-Z Single Family Detached homes allow for a larger home on a smaller lot while still providing a pleasant street scene. Paired-Z homes are nested pairs of homes that utilize a reciprocal use easement. Homes are conventionally plotted, but the lot line staggers like a "Z" through the centerline of the two properties. The reciprocal use easement follows this "Z" pattern, allowing for a recessed garage for one of the units. The result is a varied street scene and more useable private yard space for each unit.



Paired-Z Street Scene







LOMA VISTA
COMMUNITY CENTERS
North & South

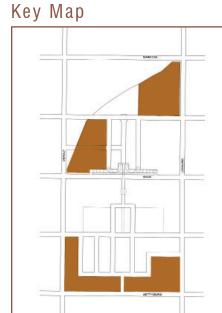
KTINVMM27 SIV217 F

### SFD Clusters

Single Family Detached Cluster concepts allow for the charm and scale of a small town while reducing the requirements for infrastructure development. Clusters modules can range from 4 to 8 or more homes and may be semi-attached or detached. Homes may be grouped around a shared motor court or alley with the front door taking access off the motor court or a common green. Homes may be one or two stories.

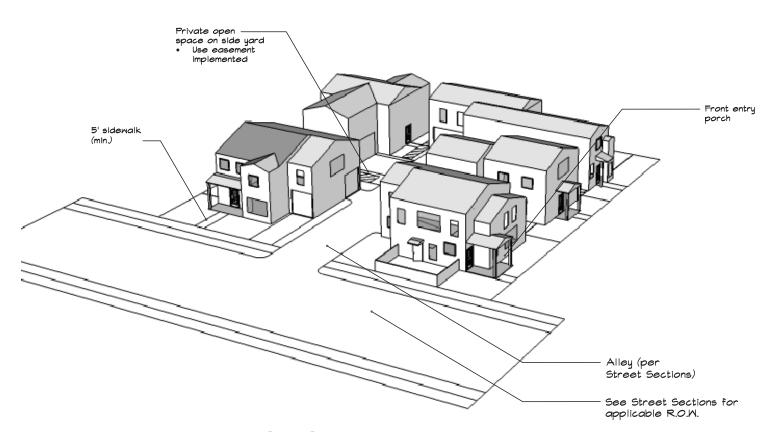


Auto Court SFD Cluster Street Scene





**Reversed SFD Cluster** 

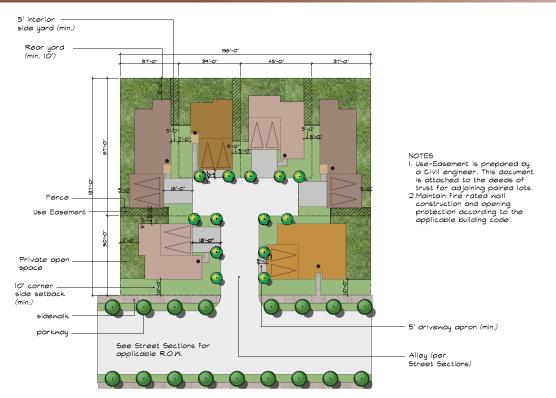


Reversed SFD Cluster Massing Model

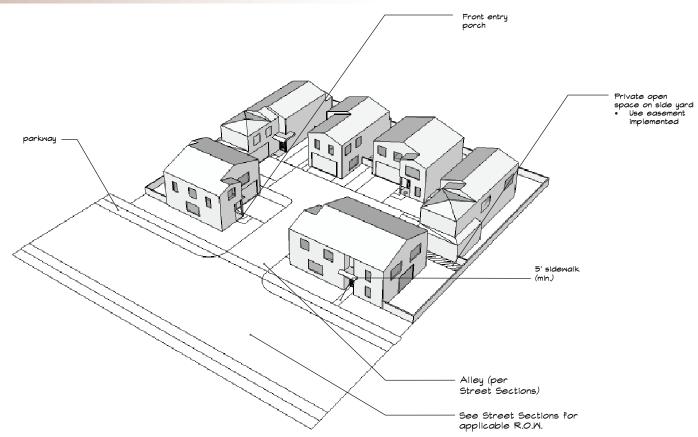


# SFD Clusters(cont.)

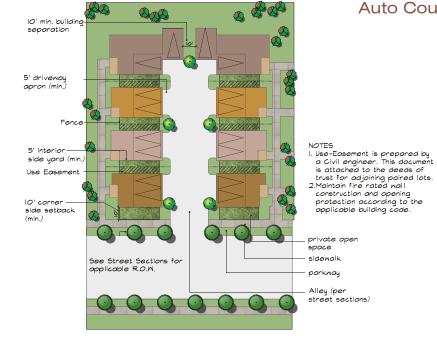




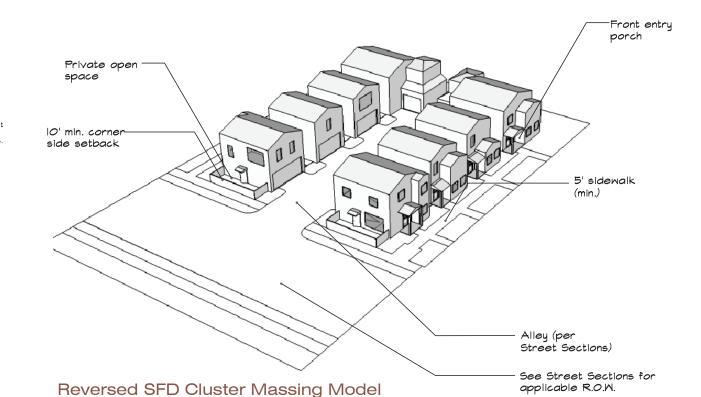
Auto Court SFD Cluster



Auto Court SFD Cluster Massing Model



Reversed SFD Cluster



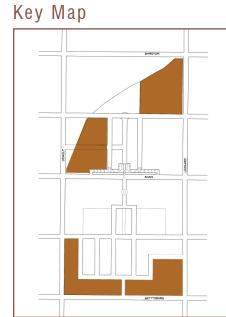


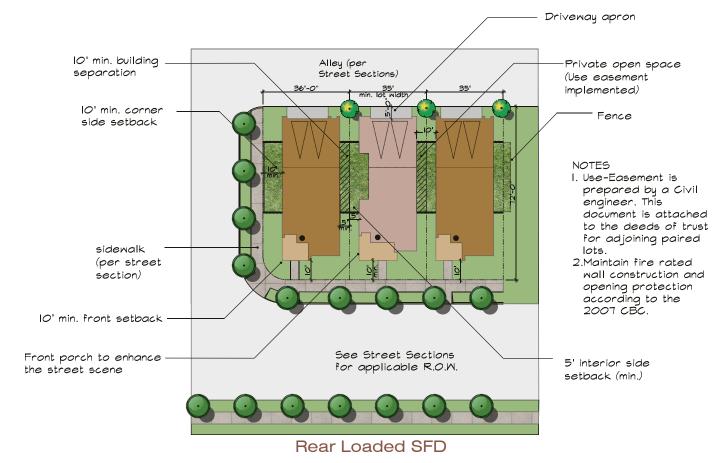
### Rear Loaded SFD

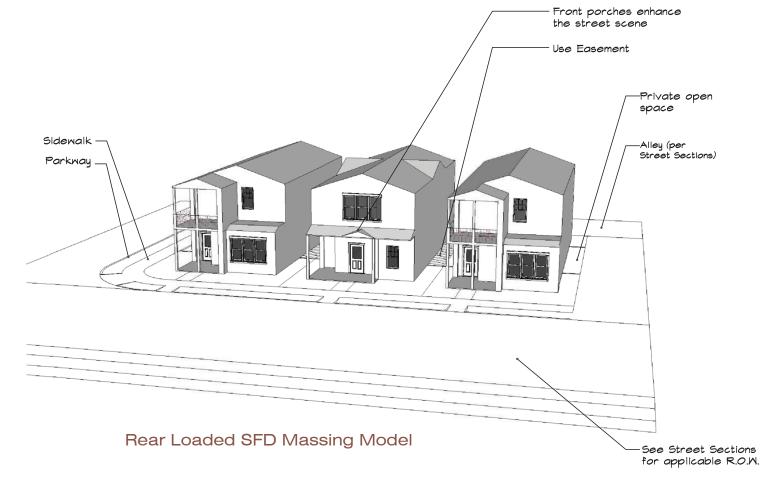
Small lot, alley-loaded homes allow for Single Family Detached homes at higher densities. Alley-loaded homes enjoy grand front porches which dominate the street scene. Corner lot conditions should be treated with wrap around architecture and one story elements. Use easements are employed to create larger, more functional private yards.



Rear Loaded SFD Street Scene







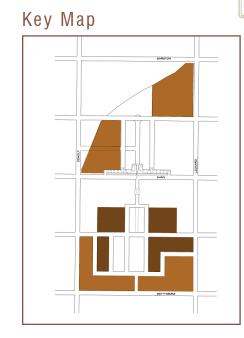
KTINUMM27 SIVELT FI

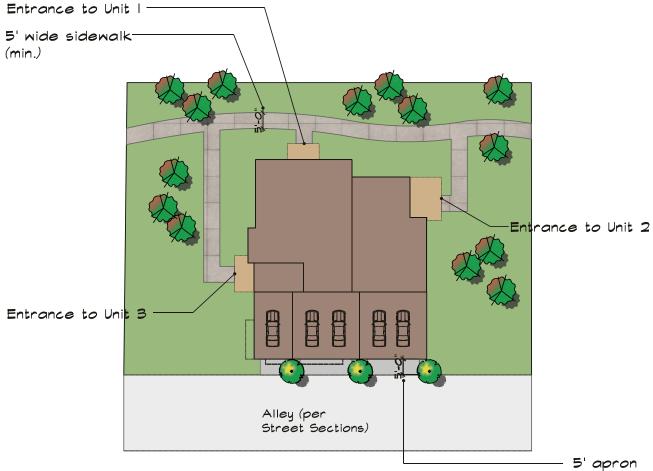
# Mansion Homes

Mansion homes are single family triplexes that give the appearance of single family detached homes. Each unit has a private entrance on a single elevation of the building, with the garages at the rear loading off an alley. Private open space is provided within courtyards at or near each unit's front door. These courtyards should be connected to the community trail and walkway system.

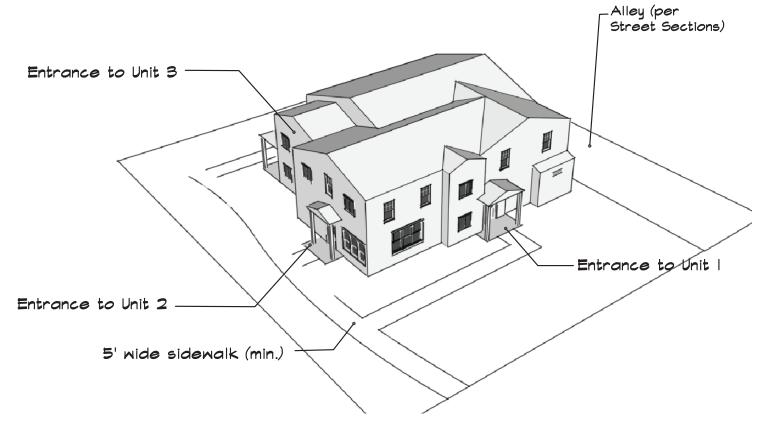


Mansion Home Front Elevation





Mansion Home Layout



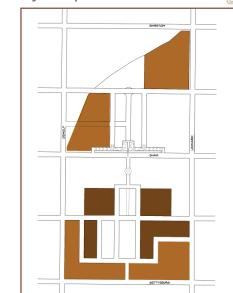
Mansion Home Massing Model



#### Townhomes

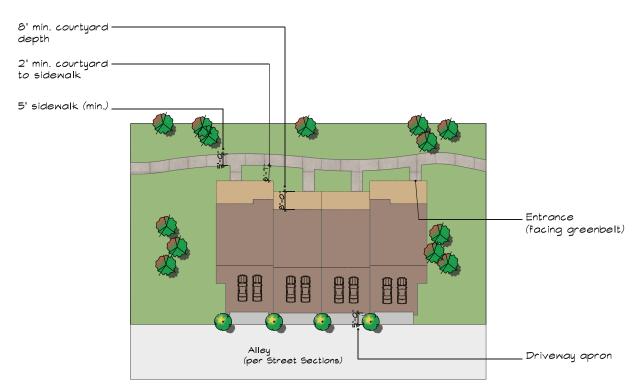
Townhomes are single family attached units in two and/or three story buildings. Buildings may be arranged in configurations ranging from 3 to 12 units. Units should provide a minimum of 100 square feet of private open space, preferably in a ground floor patio with a minimum dimension of 8 feet.





Key Map

**Townhome Front Elevation** 



4-Plex Townhome-Rear Loaded Typical Layout





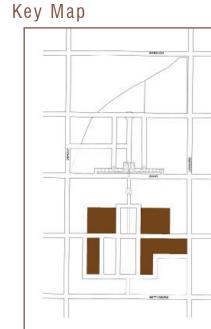
KTINVMM27 SIVEJ7 F

# Multi-Family - Tuck-Under Apartments

Stacked flat units, with Tuck-Under garages are appropriate uses in planning areas designated for high density. Units designed as apartments or condominiums. Building heights are predominately 3 stories, with some 2-story massing. Units should contain a minimum of 100 square feet of private open space per unit. Private open spaces may be located in private decks, porches, balconies or patios. A central recreation center is provided for each apartment program.



**Tuck-Under Apartment Elevation** 









Tuck-Under Apartment Massing Model



LOMA VISTA COMMUNITY CENTERS

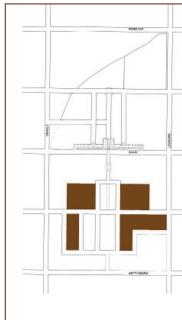
North & South

### Multi-Family - Seniors Apartments

Stacked flat units are appropriate uses in planning areas designated for high and very high density. Units are designed as Senior Apartments and will address all needs of the senior residents. Building heights are three stories, with convenient elevators and trash chutes. Floor plan layouts designed to be ADA accessible. Units should contain a minimum of 100 square feet of private open space per unit. Private open spaces may be located in private decks, porches, balconies or patios.



Key Map



Seniors/Stacked Flat Apartment Elevation



Seniors/Stacked Flat Apartment Layout



Seniors/Stacked Flat Apartment Massing Model



LOMA VISTA COMMUNITY CENTERS

North & South

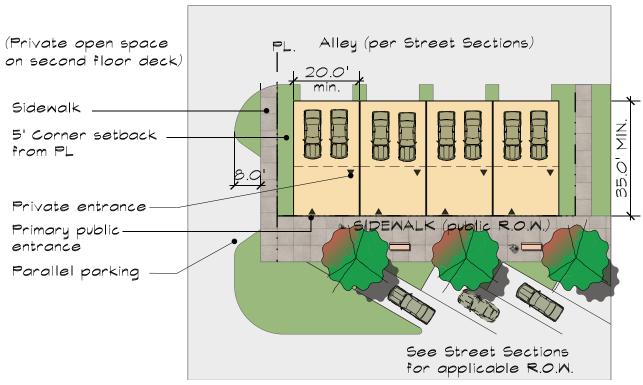
## Live-Work

Live-work units allow owners of specified small businesses to practice their profession within the comfort of their own home. Appropriate uses include offices for doctors, attorneys, architects and similar professions. Live-work units may be in attached or detached buildings.

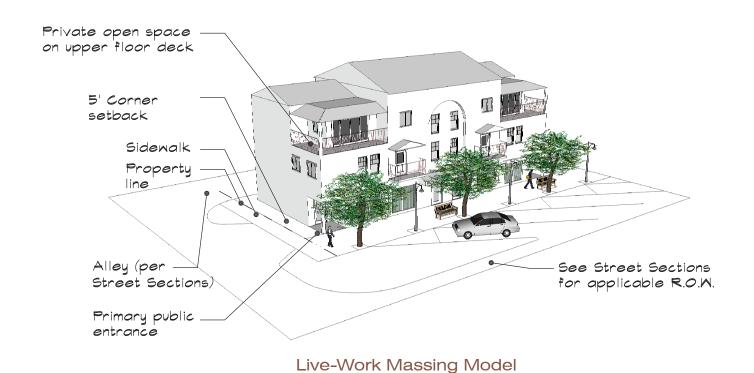


Live-Work Street Scene

# Key Map



Live-Work Layout



LOMA VISTA
COMMUNITY CENTERS

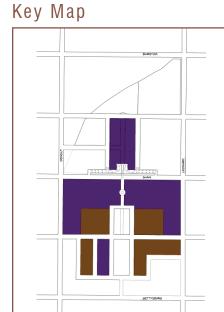
North & South

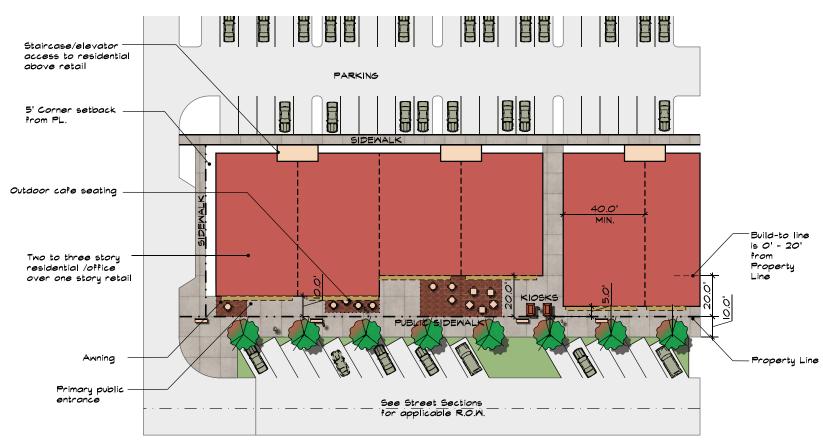
KTINVMM27 SIVEJ7 F

#### Mixed Use

Mixed use buildings are integrated both physically and functionally: residential units and/or offices will be stacked above or adjacent to retail stores, restaurants and/or offices. Residents have convenient access to shopping, dining and services. Due to the high demand for parking within a limited amount of land, parking structures should be considered. Structures will be sited in a manner that establishes attractive and inviting places in order to form the basis for positive impressions and perceptions of the community.







Mixed Use Layout



# ARCHITECTURAL STYLES









#### Craftsman

This style was based upon and strongly influenced by The Arts and Craft movement in Europe and the English Arts and Crafts Exhibition Society formed in the late 1800's. As an original American style of architecture its identity was formed in the early 1900's in Southern California (most commonly associated with the Greene brothers). From 1915 through early 1930's the style spread throughout the country. This style sought to eliminate superfluous design elements and rely on the building's beauty through the simplified lines and masses of the building itself.

Characteristic features of the Craftsman style are a low pitched roof, gable roof with wide overhangs, roof rafters usually exposed, decorative beams and covered porches.



#### **Building Mass and Scale**

- One or two story massing with partial or full width covered porches.
- Porch support bases extending to ground level (without break at level or porch floor).
- Porch supports usually squared and sometimes slanting inward.

#### **Roof Forms and Materials**

- Low pitched gabled roof (occasionally hipped) with wide unenclosed eave overhangs.
- Basic gable roofs side to side or front to back with cross gables.
- ₹ 3½:12 to 4½:12 roof pitch.
- Roof rafters usually exposed and sometimes cut in decorative shapes.
- $\nearrow$  Decorative beams or braces under gables.
- Architectural composition shingles or shingle texture flat concrete tiles.



#### **Architectural Elements**

- Square or rectilinear window shapes with custom divided lite configurations.
- ₹ Windows in pair or triple configuration.
- ₹ Entry covered by entry porch.
- ₹ Entry door maybe with side-lights.
- ₹ Tapered square composite wood posts.
- $\nearrow$  Double wood posts with or without brackets.
- ₹ Wood beams, brackets and rafter tails.
- ₹ Stone or masonry piers.
- Unique lighting fixtures.

#### **Materials and Colors**

- Medium sand finish stucco.
- Siding and stucco color range from white, cream, light beige and brown.
- Contrasting color for trim, fascia, posts at porch and supporting exposed beams.
- ₹ Wood posts, kicker brackets, beams and rafter tails.
- Composite wood and door trim.

#### **Craftsman Elements**

#### **Roof Types**





Side facing gable

Front facing gable

#### Posts, Columns and Piers



Tapered column wood precast or stone 1/2 column lap wood gable



Elliptical scribe under beam to tapered column



Wood on masonry

#### Window Sills and Trims



Projecting wood, stone or concrete sill



Projecting brick step sill



wooa or composite trim

#### Doors



Small square glass over panel



Tall rectilinear



Unique glass division

#### Chimneys



Stucco & concrete cap



Stucco



Brick offset brick coarsing

# Craftsman

#### Craftsman Photographic Examples













#### Monterey

The Monterey style is a free revival of the Anglo-influenced Spanish colonial houses of northern California. These are a blend of Spanish adobe construction & New England colonial style. Prior to the invention of this Monterey style most of the Spanish style homes were mainly single story construction. The earlier examples of these houses built in 1925 to 1940 tend to favor Spanish detailing and those from 1940's to 50's typically emphasize English colonial detailing.

#### **Building Mass and Scale**

- ₹ Simple two story building form.
- ₹ Usually U-shaped building mass frame enclosing courtyard.
- Second-story cantilevered balcony is a distinct element of this style. This is usually covered by an extension of the principal roof and supported by simple wood posts or corbels.
- Traditionally siding above with stucco or brick veneer below.
- Chimney is substantial and anchors the building to the around.
- The main house volume maybe connected by a one-story breezeway to garage.

#### **Roof Forms and Materials**

- ≥ Low pitched gabled roof, occasionally hipped.
- Main gabled roof front to back with one or more intersecting front facing gable roofs.
- Main gable roof with 4:12 to 6:12 roof pitches with shed roof break over balcony at 2½:12 to 3½:12 roof pitches.
- Roof materials to be fire resistant clay tile with or without mud set, flat clay tile or concrete "S" tile.
- ₹ 12" to 24" overhangs with exposed wood rafter tails or wood fascia with shadow board.





#### **Architectural Elements**

- ₩ Wood corbels support for the cantilevered balconies.
- **₹** Wood railings for balconies.
- ₹ Square wood posts, corbels, beams and rafter tails.
- Square or rectilinear window shapes with standard divided lite configurations
- Window tops can be arched, on selected windows, according to the design.
- ₹ Extensive use of shutters.
- Recessed entry way and garage doors.
- ∂ Ornate chimney top trim.
- ₹ Colonial style window and door trim.
- Decorative wrought iron accents.

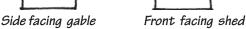
#### **Materials and Colors**

- Stucco exterior walls with light to medium sand finish.
- White or dark brown trims and balconies.
- Park accents on doors and shutters.

#### **Monterey Elements**

#### **Roof Types**







Front facing gable

#### Vents



Standard clay pipe +/- 3" diameter



Mission clay tiled stacked in opening extended minimum 1" from face and screen behind

#### **Window Shutters**



Projecting wood, stone or concrete sill



Projecting brick step sill



Wood or composite

#### **Balconies**



Continued roof at cantilever balcony



Tile roof extends over wood balcony



Bracket support balcony

#### Corbels



2nd level cantilever over wood or precast concrete corbels



Shaped wood corbel on masonry



Shaped wood corbel on wood poststone column

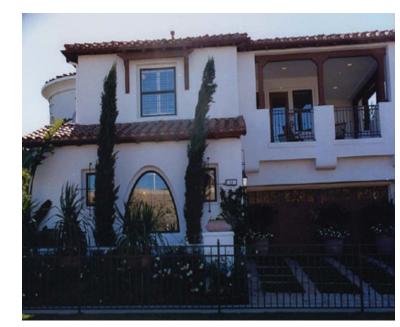
# Monterey



#### **Monterey Photographic Examples**













## Tudor Cottage

This style became dominant in the early 20th century rivaling the dominant colonial revival style in most of the suburban development. Tudor style borrows some of its elements from late Medieval English prototypes combined with American eclectic expressions. Highpitched, gabled roofs, massive multi flue chimneys and half timbered walls of this style are from medieval origin and the decorative detailing draw from Renaissance or even the modern craftsman traditions.



#### **Building Mass and Scale**

- Facade dominated by one or more prominent cross gables, sometime with half timbering.
- \* Massive tall chimneys prominently placed on the front or side of the house.
- Front façade porches are generally either small entry porches or are absent entirely. Side porches are frequent.

#### **Roof Forms and Materials**

- Very high steeply pitched roofs usually side gabled.
- ₹ Roof pitch greater than 6:12.
- ${\not \sim}$  Overlapping gables with eave lines of varying height.
- $\nearrow$  Roof with tight eaves and shallow overhangs with a depth of 12" and less.
- Fire resistant slate or flat roof tiles.
- Plain or decorated verge boards.

#### LOMA VISTA **COMMUNITY CENTERS** North & South

#### **Architectural Elements**

- ₹ Decorative half-timbering in different designs and patterns. Mostly stucco or sometimes decorative brick infilling between the Timbers.
- Chimneys mostly are with decorative chimney pots.
- ≥ Lower part of chimneys maybe decorated with complex masonry or stone patterns and the top commonly can have more than one flue.
- ₹ Flattened pointed arches can be used in door surrounds and entry porches.
- ₹ Tall narrow windows, usually in multiple groups and with multi-pane glazing.
- ₹ Wood or metal casement windows, double hung windows are common.

#### **Materials and Colors**

- ₹ Use of multiple materials can be used both for different vertical units and different stories.
- **Brick** and stone pattern veneer work on main elevations.
- **Cast stone trims maybe used for doors and windows.**

#### **Tudor Cottage Elements**

#### **Roof Types**

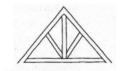


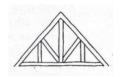


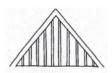


Front facing gable

**Half-Timbering Patterns** 

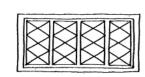


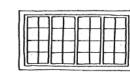




#### Window and Shutter Styles







Single hung

diagonal mullions

Grouped windows w/ rectilinear mullions

#### **Dormer Windows**



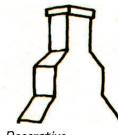




Grouped windows w/

Hip roof

Chimneys

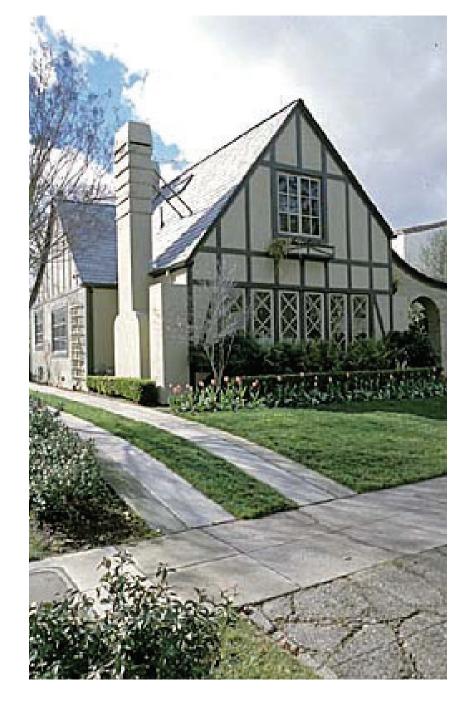




# Tudor Cottage



#### Tudor Cottage Photographic Examples











#### Mission Revival

Mission style is inspired by the Spanish missionaries built in the southwest in the late 17th century. Several California architects began to advocate this style in 1880's as traditional style of architecture for California. By early 1900's it became a prominent style throughout the southwest. The style was considered the "California counterpart" to the Georgian-inspired Colonial Revival popular in the Northeast. Mission style homes are characterized by bold arch openings, smooth stucco walls, porches and sculpted decorative walls and mission shaped roof parapets.



- F Simple two story building form.
- Single story porte-cochere, garage/carriage house or entrance elements.
- ₹ L or U-shaped building mass frame enclosing courtyard.
- ≥ Interior courtyard maybe surrounded by corridor or veranda.
- Formal geometric forms with strong wall planes punctuated by arched openings.
- Raised entry with decorative paving edge details for the steps.
- $\nearrow$  One story porches at the entry area or covering the full
- Porch roof supported by large square piers, arched above.

- Roof Forms and Materials
  Low pitched gable, hip or shed roof.
- Main roof with 4:12 to 5:12 roof pitch with shed roof break over balcony at 3 ½:12 to 4 ½:12 roof pitches.
- Wide eave overhangs, usually opened, often with exposed rafters.
- ₹ Wood fascia boards, rafters and soffit brackets.
- Roof materials to be fire resistant two-piece clay tile with or without mud set, flat clay tile or concrete "S" tile.
- Round tile attic vents



#### LOMA VISTA **COMMUNITY CENTERS** North & South



#### **Architectural Elements**

- ₹ Sculpted stucco walls and roof parapets with pre-cast looking caps.
- Masonry or pre-cast looking window sills.
- ₹ Segmented or elliptical arched arcades.
- Round pre-cast concrete columns, or stucco pilasters with decorative cornice trim.
- Recessed windows with sloped sills.
- → Mostly segmented or elliptical arch top windows with custom divided lites or square or rectilinear window shapes with standard divided lite configurations.
- Real Quatrefoil windows in the parapet walls.

#### **Materials and Colors**

- Stucco exterior walls with smooth to light sand finish.
- **₹** Smooth white washed stucco surfaces.
- Park accents on doors, shutters and trims.

#### Mission Revival Elements

#### Roof Types





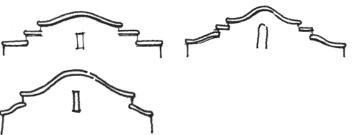


Rectilinear Hip

Clipped corner

Combination flat roof & gable roof with sculpted

#### Parapet & Dormer Sculpting



#### Windows Shapes



Flattened or segmented arch



Custom Curvilinear shape



#### Doors







Small glass

#### Chimneys





Stucco & tile arch opening at gable & side opening



Stucco with mexican brick cap or stucco

# Mission Revival

#### Mission Revival Photographic Examples















# GENERAL GUIDELINES RESIDENTIAL







# General Residential Guidelines-Single Family

#### Site Planning and Orientation

- Each Planning Area shall include a variety of housing types and styles. Neighborhoods within the development will be designed to orient buildings to streets and public parks.
- Corner lots should have careful architectural detailing or wrap-around porches for elevations facing public streets.
- Developed, public and common open spaces should be embedded into lot and block patterns and may be of a wide variety of sizes including small "pocket" parks and plazas.
- Smaller urban common areas should be accessible, well lit, and should have maximum visibility into the area from adjacent streets.
- Attached units shall provide 100 square feet of private open space per unit. Private open spaces should be located in private decks, porches, balconies and patios may count for up to one-third of the required open space.
- As long as street frontage and access is maintained, rear yards facing open spaces are strongly discouraged.
- Important views and vistas, both natural and man-made, should be used as opportunities to create edges or to align public spaces and corridors to enhance the quality of the public experience.
- Where development is phased, early phases should establish the long-term image of the project and its relationship to the street. Where early phases of a development project are not appropriate on street or open space frontages, the plan should indicate how a positive street or open space relationship will be achieved in subsequent phases.



Homes oriented towards green belt



Common open space areas



Corner lot-wrap around porch



Recessed garage door



Private open space areas



Combination of 1 and 2 story elements

#### Garages

- Garage doors shall be adequately setback to allow driveway parking that keeps the sidewalk clear of vehicles at all times.
- Properties Garage location, configuration and access shall be dictated by the type of garage and the building type/lot size to which it is associated.
- ₹ Side-drive garages are allowed.
- Varied garage placements are encouraged to break up the monotony of all garage doors being parallel to the street.
- A variety of compatible garage door designs shall be used throughout a project to ensure variety. The design of the garage door shall relate to the particular architectural style elected for the structure.

#### Mass and Scale

- The mass and scale of each structure shall relate to the use of the structure as a single-family residence and shall not overwhelm or dominate its surroundings.
- Combinations of one and two-story elements on the same building are encouraged to create visual diversity.
- Building mass should reflect a reasonable relation to the size of the lot.
- Architectural elements such as chimneys, balconies, porches, and pot shelves are encouraged to be provided for visual diversity.
- Balconies, gables, eaves and other projections may be used to break up simple architectural forms.
- Courtyards, if appropriate to the style, may be used to break up the building mass.



### General Residential Guidelines-Single Family

#### **Facade and Roof Articulation**

- The articulation of facades and the massing of structures give them richness and scale. Long uninterrupted exterior walls in excess of thirty feet shall be generally avoided on all structures which are visible from the public streets and public areas. Larger wall and roof planes are encouraged to include three (3) dimensional features such as porches, balconies, bay window, dormers and similar features.
- Gable, hip or shed roof forms should be utilized, consistent with the architectural style of the building.
- ₹ Roof pitch may vary from 3:12 to 5:12 according to the style.
- Varied plate heights and ridge heights may be used to create
  offsets in the ridge line to better articulate roof forms and
  building massing.
- The overall roof form of each dwelling unit shall be designed to be simple and compact.
- Visual variety of dwelling units within the development can be achieved with roof forms, overhangs and shading devices that relate to the solar orientation of a lot. This results in a more livable and energy efficient home and brings a subtle and natural variety to a neighborhood's streetscape.



Balcony



Shutter accent color



Combination of gable, hip and shed roofs



Front porch



Varying roof heights



Front porch

#### **Materials and Colors**

- Materials and colors shall be consistently applied on all facades of a structure visible from adjacent streets and should work harmoniously with adjacent materials and architectural styles.
- Varying the roof and building colors from dwelling to dwelling is encouraged.
- Building materials and colors should compliment the corresponding architectural style and natural environment surrounding the project.
- Stucco and natural or artificial stone having the necessary fire retardant characteristics, are encouraged for exterior surfaces.
- Accent color should be used for shutters, awnings, trim, fascia, balcony rails, inlaid tile bands or cornice bands, and should relate to the architectural form and character of the building.

#### **Entries**

- Porches are encouraged to be covered and shall extend at least six feet along the front wall of the house, not including the garage face. Porches may be raised or at ground level.
- Entries may be accompanied by a projecting overhead element such as a shed, arch, or gable providing roof coverage and weather protection. Entries shall be an integral architectural feature compatible with the main structure.



#### General Residential Guidelines-Multi-Family

#### Site Planning and Orientation

- Site buildings to take advantage of open space views, courtyards or recreational facilities.
- Units located adjacent to streets must face onto the street, or may be grouped around a central green in a configuration which as a whole fronts the street.
- Multi-family units shall consistently be clustered throughout the site plan. The following design techniques shall be implemented whenever possible:
  - Varying front setbacks within the same structure;
  - Maximum of two (2) adjacent units with identical wall and roof lines (must have differing exterior treatment);
  - Variety of orientations to avoid the monotony of garage door corridors.
- Multi-family buildings should be oriented toward the street, with entry features such as front porches that provide direct access to the street.
- Multi-family developments surrounded by high walls, parking lots and rows of carports or garages are discouraged. Communities should not be walled-in.
- ₹ Parking areas should be located at the rear of units.

#### Parking, Garages and Carports

Large, monotonous and undivided parking lots shall not be permitted in multi-family projects. Parking areas shall be located to the rear of residential structures or within the interior of the development to reduce their visual impact on the streetscape.



Homes facing village green



Buildings facing recreational facilities



Garages located at rear

- Parking courts shall be screened from view of adjacent streets by a landscape planter in such cases and shall not be located closer to the street than the street facade building line of the principal residential structure.
  - Parking lots should be designed and lighted to ensure pedestrian safety.
  - Parking driveways, when located on the periphery of a project, isolate the development from its surroundings. Unless the new and existing adjacent uses are considered incompatible, perimeter parking driveways are discouraged.
  - Parking areas shall be conveniently located to the units they serve.
  - Guest parking should be distributed throughout the development and clearly identified.
  - Each six (6) spaces of parking shall be separated from additional spaces by a landscaped peninsula. Architectural elements, such as trellises, porches or stairways may extend into these landscaped peninsulas.
  - There shall be no more than an average of ten (10) spaces of uninterrupted parking, whether in garages, carports or open parking areas.
  - Individual parking garages within residential structures shall be enclosed with garage doors.
  - Dwellings that front public streets shall have garages accessible from alleys in the rear.
  - \* Trash enclosures should be architecturally integrated with the community.
  - Trash enclosures shall be distributed throughout a development and sited to allow vehicular access from waste management vehicles.
  - $\sim$  Carports and garages shall be architecturally integrated with the community.
  - Carports may be incorporated with patio walls or used to define public and/or private open space. Carports shall be landscaped if visible from public or private streets, or adjacent properties.



Varying front setbacks within the same structure



#### General Residential Guidelines-Multi-Family

#### Mailboxes

- Groups of mailboxes shall be provided within the interior of multiple-family residential developments to maximize efficient pedestrian access.
- Mailboxes should be architecturally integrated with the community.

#### Usable Open Space

- Residents of housing projects shall have safe and efficient access to usable open space, whether public or private, for recreation and social activities. The design and orientation of these areas should take advantage of available sunlight and be sheltered from the wind, noise and traffic on adjacent streets, and incompatible uses.
- Common open spaces shall be conveniently and centrally located to the majority of units in the development to promote a sense of community.
- common usable open spaces and children's play areas shall be visible from individual units and be connected to the internal pedestrian system in the development.
- Private open spaces shall be contiguous to and have direct pedestrian access from the units they serve.



Mailboxes



Tot lot



Enhanced front entry



Private open space



Varied Massing

#### **Dwelling Unit Access**

- The use of distinctive architectural elements and materials to denote individual entrances is encouraged.
- The use of long, monotonous access balconies and corridors which provide access to five (5) or more units shall be avoided. Instead, access points to units should be clustered in groups of four (4) or less.
- Entrances to individual units shall be plainly visible from nearby parking areas and/or streets to the extent possible.

#### Mass and Scale

- ≥ Large monolithic forms should be avoided.
- Combinations of one, two and three-story elements on the same building are encouraged to create visual diversity.
- A one-story element at the end of buildings, especially at street corners, reduces the visual impact of the building mass.
- Architectural elements such as chimneys, balconies, porches, and potshelves (consistent with the architectural style) should be provided for visual diversity.



#### General Residential Guidelines-Multi-Family

#### **Facade and Roof Articulation**

- Long, unbroken facades and box-like forms shall be avoided for all multi-family units. Structures shall incorporate at least one of the following:
- When a project includes more than one building, roof forms should vary from one building to the next where practicable, in order to achieve visual interest and diversity.
- Roof pitch may vary, but generally be consistent with the architectural style. Shed roofs over porches or other building extensions may be lower in pitch.
- Varied ridge heights should be utilized to create offsets in the ridge line to better articulate roof forms and building massing.
- Roof colors and composition should vary within a project to add visual diversity.

#### **Materials and Colors**

- Building materials and colors should be consistent with the guidelines for the architectural style selected for the project.
- Stucco and combinations of stucco, stone or materials of a wood-like appearance, having the necessary fire retardant characteristics, are encouraged for exterior surfaces. Large areas of intense primary color will generally be avoided, as subdued colors are more appropriate as the structures dominant overall color.
- Wherever possible, minimize the number of colors that appear on the structure's exterior.



Varied roof heights and building mass



Combination of various materials



Color tiles for exterior stairs



Project Entry



Exterior stairs

- Accent color should be used for shutters, awnings, trim, fascia, balcony rails, inlaid tile bands or cornice bands, and should relate to the architectural form and character of the building.
- Materials selected for multi-family projects shall be very durable and require low maintenance.

#### Entries- (also see Gateways)

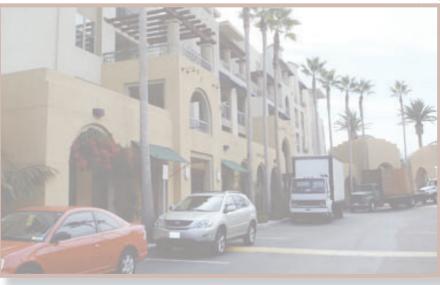
- Project entries areas provide the resident and visitor with an overview to the project and create a positive identity for the development. They should provide an open window with landscaping, open space areas, and project directories.
- The principal vehicular access into a multi-family housing project shall be through an entry drive rather than a parking drive whenever possible. Colored, textured paving treatment at entry drives is encourage at a minimum depth of ten feet (10') located immediately behind the right of way.

#### **Exterior Stairs**

- When provided, simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of the multi-family structure.
- Stairways shall be of smooth stucco, plaster, or wood, with accent trim of complementary colors and railings appropriate to the architectural style of the residential structure.
- Thin-looking, open metal, prefabricated stairs are prohibited.



# GENERAL GUIDELINES-RETAIL AND MIXED USE







#### Site Planning and Orientation

- Sites and buildings should be designed with an understanding of their role in meeting the goals of the Planning Area, such as providing ground floor retail uses to provide pedestrian activity on the street.
- The front setback of commercial uses on collector or local streets may be paved as an extension of the pedestrian zone.
- Ruildings should have a strong spatial and functional relationship with a unifying pedestrian connection.
- Functional outdoor areas can be created by outdoor plazas, outdoor dining areas, enhanced focal points and seating amenities. These areas should be linked by pedestrian walkways.
- Enhanced paved and landscaped pedestrian walks should be provided throughout.
- Outdoor spaces should have clear, recognizable shapes that reflect careful planning, not just left over areas between structures. Such spaces shall provide pedestrian amenities like shade, benches and fountains.
- Smaller in-line tenant spaces may be "saddle-bagged" onto the outside of large retail buildings to relieve large blank facades and provide activity fronting streets or parking areas.



Courtyard



Store fronts oriented towards main street



Enhanced pedestrian pathway



Functional outdoor space



Conceptual storefront orientation

#### Storefronts

- Decorative storefronts with the use of varying materials and colors true to the architectural style should be used.
- Storefronts, windows and doors shall be placed to facilitate natural surveillance.
- Authenticity of design is crucial; generic, typical storefronts should be avoided.

#### Rear or side elevations

- The rear and side elevations of buildings should have detail equivalent to the main elevation.
- The rear and side elevations of buildings may face both the customer parking areas or the residential areas.
- Fintrance to retail or residential units shall be architecturally treated and should be related to the front elevation.
- Service and storage areas should be well screened and sited.
- \*Side and rear elevations facing residential areas shall have architectural details, lighting, signage, etc., that are complimentary to the adjacent area.
- Mechanical units shall be ground mounted or roof mounted and concealed from public view by landscaping or if roof mounted by decorative parapet wall and other architectural elements.



#### Mass and Scale

- Encourage first floor pedestrian scale through building articulation, orientation and architectural elements such as semi-covered porches, arcades and windows.
- Buildings will appear more human scale with the proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures and other details.
- Buildings should relate to adjacent pedestrian areas, as well as other structures.
- ≥ Large dominating structures should be broken up by:
- Adding three-dimensional architectural elements;
- \* The use of combinations of complementary colors;
- **₹** Landscape materials.
- Heights of structures should relate to adjacent open spaces to allow maximum sun and ventilation, protection from prevailing winds, enhanced public views and minimized view obstruction by adjoining structures.
- All retail and mixed use building facades should have a recognizable base and top. A base should include elements such as richly textured materials, darker color materials, mullions, and/or panels and similar features or enhanced landscaping. A top should include elements such as cornice treatments, roof overhangs, stepped parapets, and richly textured materials or similar features.
- The height and scale of new development shall be compatible with that of surrounding development.
- Large buildings that give the appearance of box-like structures are generally unattractive and detract from the overall scale of most buildings.



Varied roof heights and building mass



Residential balcony projections



Articulated building facade



Semi-public courtyard



Distinct retail base



Courtyard serving as common open area

- There are several ways to reduce the appearance of large scale, bulky structures.
- Vary the planes of the exterior walls in depth and/ or direction. Wall planes shall not run in a continuous direction for more than fifty feet (50') without an offset proportional to the building size or an architectural feature such as a column to provide visual interest.
- ₹ Consider designing buildings in 25' increments.
- Vary the height of the buildings so that it appears to be divided into distinct massing elements.
- Articulate the different parts of a building's facade by use of color, arrangement of facade elements or a change in materials.
- Use landscaping and architectural detailing at the ground floor level to lessen the impact of an otherwise bulky building.
- Avoid blank walls at the ground floor levels. Utilize windows, trellises, wall articulation, arcades, change in materials or other features.

#### Courtyards

- Internal building courtyards are recommended in larger buildings to bring light and ventilation to buildings.
- Courtyards shall be private or semi public gathering spaces serving as common open areas for residential complexes, outdoor dining or urban informal gathering spaces.
- Building courtyards can be formal gardens or urban spaces surrounded with loggias for shaded seating, fountains and landscaping elements including some greenery.



#### Colors

- Exterior building and roofing colors shall be appropriate to and enhance the architectural style and materials of the structure. Large areas of intense primary color shall generally be avoided as subdued colors are more appropriate as the dominant overall color for a structure.
- The color palette chosen for new structures should be compatible with the colors of adjacent structures.
- Primary or bold colors should only be used to accent elements, such as door and window frames and architectural details.
- Roof flashing, rain gutters, and downspouts, vents and other roof protrusions should be finished to complement the adjacent materials and/or colors.

#### **Materials**

- The choice and mix of materials of structure facades should be consistently applied and should be chosen to work harmoniously with adjacent materials and be authentic to the architectural form.
- Piecemeal embellishment and frequent changes in materials should be generally avoided.
- Materials tend to appear substantial and integral when variations occur at changes in plane. Material or color changes at the outside corners of structures give an impression of thinness and artificiality which should be avoided.



Varied roof forms



Downspouts finished to complement adjacent colors



Conceptual Neighborhood Commercial Layout

Material changes should not occur at external corners, but may occur at reverse or interior corners or if located at least four feet (4') from the edge of external corners. Material changes not accompanied by changes in plane give materials an insubstantial or applied quality.

#### **Roof Treatments**

- Reighborhood shopping center buildings should have varied and interesting roof forms that are consistent with community design standards.
- The roof line at the top of the structure should not run in continuous plane for more than fifty feet (50') without offsetting or jogging the roof plane.
- All roof top equipment shall be screened from public view by screening materials of the same nature as the structure's basic materials. Mechanical equipment shall be located below the highest vertical element of the building. Plain equipment boxes are not acceptable.
- The following roof materials shall not be used:
- Corrugated metal;
- Highly reflective surfaces (copper roofs may be considered); and
- Illuminated roofing.

#### **Awnings and Canopies**

- Awnings and canopies should not be located so as to obscure transom windows, piers, pilasters and other architectural building features and should be designed to project over individual doors and window openings where feasible.
- Awnings and canopies that are a continuous feature extending over several windows, doors and over architectural features are discouraged. Each window or door should have its own awning or canopy.
- The size of the awning/canopy shall be proportional in scale with the building to which it is attached.
- No portion of an awning/canopy shall be less than eight feet (8') above the surface above which it projects (fourteen feet (14') above a roadway surface). An encroachment permit is required for any awning/canopy located within the public right-of-way.
- The style of the awning/canopy shall complement the architectural style of the building to which it is attached. Awnings should generally have a simple horizontal valance if located over rectangular or square window/door openings. Domed or barrel-shaped awnings are appropriate for buildings with arched window/door openings.



Covered arcade



Storefront building awnings



Colored, textured paving

- An awning/canopy with a single, solid color is preferred. The color of the awning/canopy shall be compatible with and complement the exterior color(s) of the building. Awning/canopy colors that call more attention to itself than the building are inappropriate. Awnings/canopies with highly contrasting corporate/franchise identity colors are not permitted.
- Awnings/canopies shall be regularly cleaned and kept free of visible defects and wear.
- Awnings/canopies with signs shall require the issuance of a Sign Permit in accordance with the Zoning Ordinance.

#### Entries

- Whenever possible, locate site entries on side streets in order to minimize pedestrian/vehicular conflicts. When this is not possible, design the front site entry with appropriately patterned concrete or pavers to differentiate it from the sidewalks.
- ₹ Enhanced paving should be provided at all site entries.
- Accessibility features should be integrated into special paving patterns to soften their appearance.

#### Signs

- ₹ Signage should be integrated into the building facade.
- $\nearrow$  Signage should be at pedestrian scale.
- Signage should be located for easy visibility.



#### **Parking and Loading Areas**

- Parking areas shall be landscaped, receiving interior as well as perimeter treatment.
- Where parking areas are connected, interior circulation shall allow for a similar direction of travel and parking bays in all areas to reduce conflict at points of connection.
- Whenever possible, locate site entries on side streets in order to minimize pedestrian/vehicular conflicts. When this is not possible, design the front site entry with appropriately patterned concrete or pavers to differentiate it from the sidewalks.
- Parking access points should be located as far as possible from street intersections so that adequate stacking room is provided. The number of access points shall be limited to the minimum amount necessary to provide adequate circulation.
- Design parking areas so that pedestrians walk parallel to moving cars. Minimize the need for the pedestrian to cross parking aisles and landscape areas.
- Colored, textured paving shall be provided at a minimum depth of ten feet (10') at all primary vehicular driveway entrances (immediately behind the street right-of-way line).
- The parking area shall be designed in a manner which links the structures to the street sidewalk system as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures or a special landscaping treatment.





Perpendicular parking

Angled parking

- Parking areas which accommodate a significant number of vehicles shall be divided into a series of connected smaller lots divided by landscaping or buildings.
- Where appropriate, the use of parking structures instead of parking lots is encouraged. A parking structure's smaller footprint makes parking a less obtrusive use than parking lots.
- Whether placed under-ground where it can serve as the foundation for buildings or above ground, parking structures shall be designed to minimize the impact of the structure on the street and to be compatible with the architectural style of surrounding buildings.
- Structures which are linked to adjoining uses or which provide retail or offices uses on the ground floor of the parking structure are encouraged.
- Service areas and parking should be screened from the street and residential areas by landscaped trees, massed planting and decorative walls.
- Customer access and circulation should be separated from service areas through design and landscaping.
- The service road should also act as accessible fire lanes.

- Parking lot landscaping shall be used to avoid expansive appearance of parking lots, provide shaded parking areas, and to mitigate acoustical impacts of the vehicles.
- Structures will be sited in a manner that establishes attractive and inviting places in order to form the basis for positive impressions and perceptions of the community.
- Structures and other improvements will be sited in a manner that maximizes visibility of public areas (e.g., parking lots, plazas), and streets and alleys to maximize opportunities for people engaged in their normal behavior to observe the space around them.
- When appropriate, parking structures shall be clustered. This creates plazas or pedestrian malls and prevents long "barrackslike" rows of structures. When clustering is impractical, a visual link between separate structures shall be established. This link can be accomplished through the use of an arcade system, trellis or other open structure.
- Structures should be linked to the public sidewalk with textured paving, landscaping and trellises.
- Parking areas and pedestrian walkways shall be visible from structures to the greatest degree possible.
- No more than one double-loaded bay of parking, excluding onstreet parking, should be located in front of buildings.
- The maximum allowable length of the parking area in front of retail buildings is 125 feet.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts.
- Loading facilities shall not be located at the front of structures where it is difficult to adequately screen them from view. Such facilities are more appropriate at the rear of the site. Such facilities shall be screened by masonry walls.







# ADMINISTRATION AND IMPLEMENTATION

## Legal Description

#### **Community Center North**

All that portion of the Northwest Quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base & Meridian.

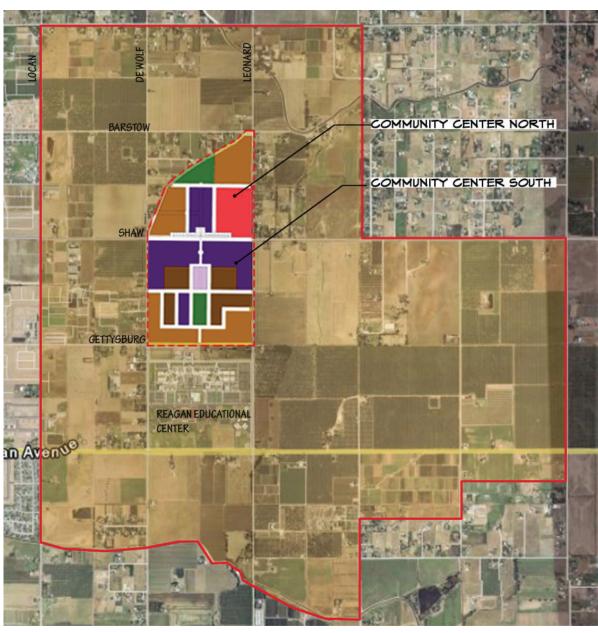
#### **Community Center South**

All that portion of the Southwest Quarter of Section 12, Township 13 South, Range 21 East, Mount Diablo Base & Meridian, lying South of the Jefferson Canal.

#### PA 1

A Portion of the Southwest quarter of Section 12, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, lying in the City of Clovis, County of Fresno, State of California, described as follows, to wit: Commencing at the Southeast corner of the Southwest quarter of said Section 12; Thence North 89 degrees 24 minutes 03 seconds West, along the South line of said Southwest quarter, a distance of 1,001.20 feet to the True Point of Beginning; Thence continuing North 89 degrees 24 minutes 03 seconds West, along said South line, a distance of 638.26 feet; Thence North O degrees 26 minutes 06 seconds East, a distance of 1,322.11 feet to the North line of the South Half of said Southwest quarter; Thence South 89 degrees 21 minutes 39 seconds East, along said North line, a distance of 638.26 feet; Thence South O degrees 26 minutes 06 seconds West, a distance of 1321.66 feet to the True Point of Beginning. Containing 19.37 Acre.

and Meridian, lying in the City of Clovis, County of Fresno, State of California, described as follows, to wit: Commencing at the Southwest corner of the Southwest quarter of said Section 12; Thence North 89 degrees 24 minutes 03 seconds West, along the South line of said Southwest quarter, a distance of 35.09 feet to the True Point of Beginning; Thence Northeasterly along the Southerly boundary and the prolongations Southerly and Northerly of the Jefferson Canal along the following courses and distances: North 16 degrees 32 minutes 27 seconds East, a distance of 145.51 feet: North 22 degrees 12 minutes 33 seconds East, a distance of 136.53 feet; North 21 degrees 59 minutes 37 seconds East, a distance of 186.15 feet; North 22 degrees 24 minutes 41 seconds East, a distance of 185.08 feet; North 21 degrees 53 minutes 59 seconds East, a distance of 101.49 feet; North 22 degrees 42 minutes 50 seconds East, a distance of 511.56 feet; North 27 degrees 24 minutes 20 seconds East, a distance of 41.75 feet; North 41 degrees 21 minutes 48 seconds East, a distance of 26.10 feet; North 43 degrees 49 minutes 50 seconds East, a distance of 95.57 feet; North 49 degrees 44 minutes 43 seconds East, a distance of 23.67 feet to the North line of the South Half of said Section 12; Thence leaving the Southerly boundary of the Jefferson Canal, South 89 degrees 21 minutes 39 seconds East, along said North line, a distance of 386.82 feet; Thence South O degrees 26 minutes 06 seconds West, a distance of 1322.11 feet to the South line of said Southwest quarter; Thence North 89 degrees 24 minutes 03 seconds West. along said South line, a distance of 966.10 feet to the True Point of Beginning. Containing 21.66 Acres



Regional Location



A Portion of the Southwest quarter of Section 12, Township 13 South, Range 21 East, Mount Diablo Base



#### PA 3

A Portion of the Southwest quarter of Section 12, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, lying in the City of Clovis, County of Fresno, State of California, described as follows, to wit: Beginning at the Northeast corner of the Southwest quarter of said Section 12; Thence South O degrees 25 minutes 42 seconds West, along the East line of said Southwest quarter, a distance of 1321.07 to the Southeast corner of the North Half of said Section 12; Thence North 89 degrees 21 minutes 39 seconds East, along the South line of said North Half, a distance of 1,000.96 feet; Thence North O degrees 26 minutes 06 seconds East, a distance of 716.38 feet to the Southerly boundary of the Jefferson Canal; Thence Northeasterly along the Southerly boundary and the prolongations Southerly and Northerly of the Jefferson Canal along the following courses and distances: North 61 degrees 39 minutes 26 seconds East, a distance of 7.52 feet; North 64 degrees 17 minutes 06 seconds East, a distance of 75.10 feet; North 60 degrees 52 minutes 25 seconds East, a distance of 49.12 feet; North 64 degrees 28 minutes 41 seconds East, a distance of 43.91 feet; North 71 degrees 05 minutes 31 seconds East, a distance of 36.96 feet; North 66 degrees 10 minutes 14 seconds East, a distance of 40.22 feet; North 61 degrees 20 minutes 56 seconds East, a distance of 113.77 feet; North 53 degrees 22 minutes 20 seconds East, a distance of 39.56 feet; North 57 degrees 31 minutes 44 seconds East, a distance of 69.74 feet; North 55 degrees 29 minutes 32 seconds East, a distance of 655.33 feet to the North line of said Southwest quarter; Thence leaving the Southerly boundary and its Northeasterly prolongation of the Jefferson Canal, South 89 degrees 19 minutes 13 seconds East, a distance of 43.23 feet to the True Point of Beginning. Containing 23.26 Acres.

#### PA 4

A Portion of the Southwest quarter of Section 12, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, lying in the City of Clovis, County of Fresno, State of California, described as follows, to wit: Beginning at the Southeast corner of the Southwest quarter of said Section 12; Thence North 89 degrees 24 minutes 03 seconds West, along the South line of said Southwest quarter, a distance of 1,001.20 feet; Thence North 0 degrees 26 minutes 06 seconds East, a distance of 1,321.66 feet to the North line of the South Half of said Southwest quarter; Thence South 89 degrees 21 minutes 39 seconds East, along said North line, a distance

of 1000.96 feet to the East line of said Southwest quarter; Thence South O degrees 25 minutes 29 seconds West, along the East line of said Southwest quarter, a distance of 1321.08 feet to the Point of Beginning. Containing 30.37 Acres.

#### PA 5

A portion of the Northwest Quarter of Section of 13, Township 13 South, Range 21 East, M.D.B. &M., in the City of Clovis, County of Fresno, State of California, described as follows:

The North Quarter of the Northwest Quarter of said Section 13, together with the West one-third of the South half of the North half of the Northwest Quarter of said Section 13, together with the East one-third of the South half of the North half of the Northwest Quarter of said Section 13.

#### PA 6

A portion of the Northwest Quarter of Section 13, Township 13 South, Range 21 East, M.D.B. & M., in the City of Clovis, county of Fresno, State of California, described as follows:

The East five-sixths of the South half of the North half of the Northwest Quarter of said Section 13.

Excepting therefrom the East one-third of the South half of the North half of the Northwest Quarter of said Section 13.

Also excepting therefrom the East 250.00 feet of the South half of the Northwest Quarter of the Northwest Quarter of the Northwest Quarter of said Section 13.

Also excepting therefrom the West 250.00 of the South half of the Northeast Quarter of the Northwest Quarter of said Section 13.

#### **PA** 7

A portion of the Northwest Quarter of Section of 13, Township 13 South, Range 21 East, M.D.B. &M., in the City of Clovis, County of Fresno, State of California, described as follows:

The West one Quarter of the North two-thirds of the Southwest Quarter of the Northwest Quarter of said Section 13, together with the South one-third of the Southwest Quarter of the Northwest Quarter of Section 13. Excepting therefrom the East 250.00 feet of the North 215.25 feet of the South one-third of the Southwest Quarter of the Northwest Quarter of said Section 13.

#### PA 7A

The Southeast Quarter of the Northwest Quarter of Section 13, Township 13 South, Range 21 East, M.D.B.&M., in the City of Clovis, County of Fresno, State of California, according to the United States Government Township Plats approved by the Surveyor General,

Excepting therefrom that portion conveyed to the County of Fresno and more fully described in Deed recorded July 24, 2002 as instrument No. 02-1220237 of official records.

Also excepting therefrom Outlots S and T of Tract No. 6168, according to the map thereof filed for record December 11, 2018 in Book 88, Pages 41 through 43 of Plats, Fresno County Records.

#### **PA 8**

A portion of the Southwest Quarter of the Northwest Quarter of Section 13, Township 13 South, Range 21 East, M.D.B. & M., in the City of Clovis, County of Fresno, State of California, described as follows:

The East half of the West half of the North two-thirds of the Southwest Quarter of the Northwest Quarter of said Section 13.

#### PA 8A

Outlot T of Tract No. 6168, according to the map thereof filed for record December 11, 2018 in Book 88, Pages 41 through 43 of Plats, Fresno County of Records.

#### PA 9

A portion of the Southwest Quarter of the Northwest Quarter of Section 13, Township 13 South, Range 21 East, M.D.B. & M., in the City of Clovis, County of Fresno, State of California, described as follows:

East 250.00 feet of the North 215.25 feet of the South one-third of the Southwest Quarter of the Northwest Quarter of said Section 13.

#### PU<sub>1</sub>

A Portion of the Southwest quarter of Section 12, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, lying in the City of Clovis, County of Fresno, State of California, described as follows, to wit:Commencing at the Southwest corner of the Southwest quarter of said Section 12; Thence North O degrees 26 minutes 42 seconds East, along the West line of said Southwest quarter, a distance of 1322.93 to the Southwest corner of the North Half of said Section 12; Thence South 89 degrees 21 minutes 39 seconds East,



along the South line of said North Half, a distance of 614.16 feet to the True Point of Beginning; Thence Northeasterly along the Southerly boundary and the prolongations Southerly and Northerly of the Jefferson Canal along the following courses and distances: North 49 degrees 44 minutes 43 seconds East, a distance of 53.92 feet; North 39 degrees 30 minutes 15 seconds East, a distance of 35.02 feet; North 46 degrees 23 minutes 25 seconds East, a distance of 170.28 feet; North 43 egrees 17 minutes 49 seconds East, a distance of 86.19 feet; North 50 degrees 32 minutes 07 seconds East, a distance of 28.32 feet; North 65 degrees 06 minutes 41 seconds East, a distance of 65.08 feet; North 59 degrees 10 minutes 20 seconds East, a distance of 318.21 feet; North 57 degrees 04 minutes 30 seconds East, a distance of 39.76 feet; North 60 degrees 31 minutes 53 seconds East, a distance of 35.88 feet; North 58 degrees 43 minutes 29 seconds East, a distance of 70.61 feet; North 56 degrees 56 minutes 54 seconds East, a distance of 126.19 feet; North 63 degrees 00 minutes 16 seconds East, a distance of 49.70 feet North 61 degrees 39 minutes 26 seconds East, a distance of 100.66 feet; Thence leaving the Southerly boundary of the Jefferson Canal, South O degrees 26 minutes 06 seconds West, a distance of 716.38 feet to the South line of said North Half; Thence North 89 degrees 21 minutes 39 seconds West, a distance of 1,025.08 feet to the True Point of Beginning. Containing 9.32 Acres.

#### PU<sub>2</sub>

A portion of the Northwest Quarter of Section 13, Township 13 South, Range 21 East, M.D.B. & M., in the City of Clovis, County of Fresno, State of California, described as follows: The East 250.00 feet of the South half of the Northwest Quarter of the Northwest Quarter of said Section 13, together with the West 250.00 of the South half of the Northeast Quarter of the Northwest Quarter of said Section 12.

#### PU<sub>3</sub>

A Portion of the Northwest quarter of Section 13, Township 13 South, Range 21 East, Mount Diablo Base and Meridian, lying in the City of Clovis, County of Fresno, State of California, described as follows, to wit: Commencing at the Southwest corner of the Northwest quarter of said Section 13; Thence North O degrees 26 minutes 07 seconds East, along



the West line of said Northwest quarter, a distance of 1,325.25 feet to the Northwest corner of the South Half of the Northwest quarter of said Section 13; Thence South 89 degrees 26 minutes 38 seconds East, along the North line of said South Half, a distance of 1,093.14 feet to the True Point of Beginnng; Thence continuing South 89 degrees 26 minutes 38 seconds East, along said North line, a distance of 454.38 feet; Thence South 0 degrees 33 minutes 22 seconds West, a distance of 881.12 feet; Thence North 89 degrees 29 minutes 14 seconds West, parallel with the South line of said Northwest quarter, a distance of 454.38 feet; Thence North 0 degrees 33 minutes 22 seconds East, a distance of 881.46 feet to the True Point of Beginning. Containing 9.19 Acres.



### Master Development Plan Adoption



#### **Master Development Plan Administration**

The Master Development Plan (MDP) represents a framework of development for the Loma Vista Community Centers North and South. Implementation of the project requires the approval of this MDP handbook as the Master Plan Community(MPC) Zone district and master site plan review and any subsequent submittals over the life of the project's build-out. This section sets forth the procedures needed to implement and administer the MDP, and those procedures required for its amendment, if necessary. Provisions for processing site plan review applications for multi-family, commercial and public facility projects within the Loma Vista Community Center North and South, are also disclosed herein.

#### **Implementation**

The Loma Vista Community Centers North and South Master Development Plan will be implemented through the processing of this handbook and the tract maps, site plans, text, discussions, and development standards contained herein or attached as a part of this submittal. Subsequent submittals may be required of the applicant to submit any of the following prior to the recordation of any final map, site plan review or building permit with a Master Planned Community (MPC) Overlay district:

- 1. Subsequent or concurrently processed conditional use permit application for residential planned unit developments;
- 2. Subsequent site plan review for those projects

normally requiring site plan review other than single family residential;

- 3. Subsequent Planned Commercial Center zone requests to finalize the development plans for commercial, mixed use and live/work developments;
- 4. Proposed conditions, covenants and restrictions, if any;
- 5. Sign review; or
- 6. Architectural Design Guidelines.

The city's approval of the MDP shall constitute sufficient findings to justify any waivers, variances, exceptions or deviations set forth in the MDP to those provisions of the Clovis Municipal Code that would otherwise be required. Such waivers, variances, exceptions or deviations shall be deemed granted.

#### Amendments to the adopted Master Development Plan

<u>Procedure.</u> The development of the property shall comply with the development standards approved in this MDP. Amendments to this adopted MDP on, by, or on behalf of the property owner(s), or any proposal by the city, shall be filed with the Department of Planning and Development Services. The Planning and Development Services Director shall determine if the proposed modification is "minor" or "major" and the request or proposal shall be processed accordingly.

Minor Modification. A minor modification is a modification which is requested or agreed to by the property owner and which is intended to accomplish one or more of the following:

- 1. A change in the species of plant material proposed for the MPC District;
- 2. A lot line adjustment; or
- 3. Any other change or modification which does not change the basic intent of the MPC (floor plans, elevations, site elements, etc.). The Planning and Development Services Director shall process and

make an administrative decision regarding all minor modifications. Appeals of the Planning and development Services Director's determination regarding the modification shall be processed in accordance with Section 9.3-403.F of the Clovis Municipal Code.

Major Modification. A major modification includes any modification which does not qualify as a minor modification, including adding property to an existing MPC District. A major modification shall be processed and reviewed by the Planning Commission and approved by the City Council in accordance with the procedure for rezone set forth in Section 9.3.400 of the Clovis Municipal Code.

#### **Existing uses**

All existing uses including agricultural operations and residential at the time of document adoption shall be considered legal and permitted uses under this plan and MPC overlay zone district.

# Process for site plan review applications within a MPC District for multi-family/commercial/public facility projects

The individual project approval process requires the preparation of a site plan for the purpose of enabling the Planning and Development Services Department to make a finding that the proposed development is in conformity with the intent and purpose of the Master Development Plan and zoning requirements, and to guide the Building Inspection division of the planning and Development Services Department in the issuance of permits. The Master Development Plan shall take the place of the preliminary development plan as described in the Multi-Family, Planned Commercial Center and Public Facility districts, and a site plan review shall be processed in accordance with the provisions of Section 9.3.408 of the Clovis Municipal Code prior to the issuance of building permits within these areas.

