



## - CITY OF CLOVIS - REPORT TO THE PLANNING COMMISSION

TO: Clovis Planning Commission

FROM: Planning and Development Services

DATE: December 21, 2017

SUBJECT: Consider items associated with approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues. Cleo L. Tomlinson, Kenneth R. & Marilyn B. Springston Trs., owners; Wilson Premier Homes, Inc., applicant; Harbour & Associates, representative.

- a. Consider Approval, Res. 17-\_\_\_\_, A request to approve an environmental finding of a Mitigated Negative Declaration for General Plan Amendment GPA2017-06, Rezone R2017-14 and Vesting Tentative Tract Map TM6202.
- b. Consider Approval Res. 17-\_\_\_\_, **GPA2017-06**, A request to amend the General Plan and Herndon-Shepherd Specific Plan to re-designate from Low Density Residential (2.1 to 4.0 DU/AC) classification to Medium-High Density Residential (7.1 to 15.0 DU/AC) classification.
- c. Consider Approval Res. 17-\_\_\_\_, **R2017-14**, A request to approve a rezone from the R-1-7500 (Single Family Residential - 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District.
- d. Consider Approval Res. 17-\_\_\_\_, **TM6202**, A request to approve a vesting tentative tract map for a 123-lot single-family planned residential development.

**ATTACHMENTS:**

Figure 1:	Location Map
Exhibit "A:"	GPA2017-06 & R2017-14 Conditions of Approval
Exhibit "A-1:"	TM6202 Conditions of Approval
Attachment 1:	Mitigated Negative Declaration
Attachment 2:	Draft Resolutions
Attachment 3:	Applicant's Justification for GPA2017-06
Attachment 4:	Applicant's Development Standards
Attachment 5:	Correspondence from Commenting Agencies
Exhibit "B:"	Vesting Tentative Tract Map TM6202
Exhibit "C:"	Floor & Elevation Plans
Exhibit "D:"	Conceptual Quarter Section Plan

**CONFLICT OF INTEREST**

None.

**RECOMMENDATION**

Staff recommends that the Planning Commission:

- Approve an environmental finding of a Mitigated Negative Declaration for General Plan Amendment GPA2017-06, Rezone R2017-14 and Vesting Tentative Tract Map TM6202; and
- Approve GPA2017-06, subject to the conditions of approval listed as Exhibit "A;" and
- Approve Rezone R2017-14, subject to the conditions of approval listed as Exhibit "A;" and
- Approve Vesting Tentative Tract Map TM6202, subject to the conditions of approval listed as Exhibit "A-1;" and
- Make a finding of consistency that the dedication toward public right-of-way is proportionate to the development being requested.

**EXECUTIVE SUMMARY**

The applicant is requesting to amend the General Plan Land Use Diagram and Herndon-Shepherd Specific Plan Designations for approximately 9.6 acres of property on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues, from Low Density Residential (2.1 to 4.0 DU/Ac) to Medium-High Density Residential (7.1 to 15.0 DU/Ac) and rezone the same project site from the R-1-7500 (Single Family Residential – 7,500 Sq. Ft.) Zone District to the R-1-PRD (Single Family Planned Residential Development) Zone District. Additionally, the applicant is requesting a vesting tentative tract map approval for a 123-lot gated single-family planned residential development with private streets and increased lot coverage. The applicant is proposing a Homeowner's Association with this project. Approval of this Project would allow the developer to continue processing development drawings.

## BACKGROUND

- General Plan Designation: Low Den. Res. (2.1 to 4.0 units per acre)
- Specific Plan Designation: Herndon-Shepherd Specific Plan (Low Density Single Family Residential)
- Existing Zoning: R-1-7500 (Single Family Residential - 7,500 Sq. Ft.)
- Lot Size: 9.6 acres
- Current Land Use: Rural Residential
- Adjacent Land Uses: North: Rural Residential  
South: Basin  
East: Rural Residential & Single-Family Residential  
West: Multi-Family Residential

## PROPOSAL AND ANALYSIS

### General Plan Amendment

#### Proposal

The applicant is requesting to amend the General Plan Land Use Diagram and Herndon-Shepherd Specific Plan for an area currently designated as Low Density Residential to the Medium-High Density Residential designation which permits a range of 7.1 to 15.0 units per acre. A General Plan Amendment is a change in City policy and requires a compelling reason for change. The Applicant has provided a justification for the General Plan Amendment (see Attachment 3).

This General Plan Amendment is accompanied with a specific project with a density of 12.81 units per acre. The request to re-designate to Medium High Density Residential is not unlike other past plan amendments within the Herndon-Shepherd Specific Plan Area. The requested land use designation of Medium-High Density Residential is similar to the project density within the Granite Ridge (multi-family) development located on the west side of the subject project. Additionally, the Fountains development (multi-family) located at the southwest corner of Alluvial and Fowler Avenues has a project density of 10.78 units per acre.

#### Analysis

The request to re-designate the parcel from Low to Medium-High Residential is a two-step increase. Staff's analysis of the density increase considered the location of the site, its surroundings, and the environmental impacts associated.

This property is situated between a multiple-family development to the west, Low Residential to the east and a permanent Fresno Metropolitan Flood Control Basin to the south. The applicant is requesting to construct a single-family detached development at a density of 12.81 units per acre which would create a buffer between the multiple-

family development to the west and single-family to the east. A local street separates the development from the neighborhood to the east.

Due to the Project location and surroundings, the proposal to increase the density is consistent with the intent of the General Plan to create a diversity of housing within neighborhoods. Although a two-step increase, the proposal is a single-family gated development with internal open. Staff recommends the General Plan Amendment as a package with the condition that the site allow only a single-family development product type. This condition is included in Exhibit "A."

## Rezone

The applicant is requesting to rezone the Project site from the R-1-7500 (Single-Family Residential – 7,500 Sq. Ft. Min.) Zone District to the R-1-PRD (Single Family Planned Residential Development) Zone District. The project area's proposed re-designation to Medium High Density Residential (7.1 – 15.0 DU/AC) in both the General Plan Land Use Diagram and Herndon-Shepherd Specific Plan would be consistent with the proposed rezone.

## Development Standards

The applicant is requesting approval of a gated detached single-family residential project with private streets and no interior sidewalks. In addition, the request includes reduced setbacks and increased lot coverage. The applicant is proposing a Homeowner's Association with this project.

The project will follow the standards of the R-1-PRD Zone District and the Planned Development Standards/ Guidelines. The Code permits the applicant to propose their own project specific setbacks and lot coverage standards. The applicant has provided a list of standards as follows (see Attachment 4):

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1212 (two-story)	5'	5'	5'	3'	4'
Plan 1413 (two-story)	5'	5'	5'	3'	4'
Plan 1648 (two-story)	5'	5'	5'	3'	4'
Plan 1660 (two-story)	5'	5'	5'	3'	4'
Lot Coverage:	65% Max				
Maximum Height:	2-stories not to exceed 35 feet				
Minimum Lot Size:	1,800 square feet				
Minimum Parcel Width:	36 feet				
Minimum Curved Parcel Width:	36 feet				
Minimum Corner Parcel Width:	36 feet				
Minimum Parcel Depth:	50 feet				
Reversed Corner Street Side Setback:	3 feet				



Corner Street Side Setback:	3 feet
Side Yard Setback:	3 feet
Setback to Projections and/or Porch/ Patio:	4 feet
Garages:	20'x20' interior dimension (2-car) or tandem 10'x38' minimum. 10'x16' interior dimension (1-car)

Lots within TM6202 will not provide the opportunity for vehicles to park in driveways, since the front yard setback is being proposed at 5-feet from the front property line. However, in addition to the ability to park on the street, the proposed models will include a designated garage.

The developer will need to provide a minimum driveway depth of 18 feet from property line to garage door frame for the 1-car garage model (Plan 1212). This will allow Plan 1212 to provide two parking spaces per lot/unit.

Per the PRD standards, 2-car garages shall have a minimum inside dimension of 20'x20' and 1-car garages shall have a minimum inside dimension of 10'x20'. The applicant may request reduced parking standards with the Planned Residential Development process. The Code allows the Planning Commission and City Council to reduce standards if the proposed parking meets the intent of the Code.

#### Driveway Standards

The Project includes five-foot deep driveways at most models. There has been significant discussion about driveway lengths with both the Commission and Council. It has been Council's practice to permit driveways of 18-foot deep or longer (depending on the situation), and/or eight feet or shorter. The thought being that if the driveway is less than eight feet, a driver would not park the vehicle on the driveway, rather in front of the garage parallel to the curb (which is legal on a private street). Examples of the short driveways can be found in Harland Ranch and Elevations projects.

#### Guest Parking

The Project is similar to the Elev8ions development on the south side of Barstow Avenue west of Leonard Avenue. The exception is this proposal includes gates. The proposal includes private streets with parking along both sides of the streets. Additionally, there are 20 stalls at the end of the mid-block.

The Police Department is concerned about the lack of guest parking and overflow into the adjacent streets. The Police Department staff indicates a higher incident rate of vehicle burglaries where residents are parked along adjacent public streets, outside of the gated neighborhood. Because of this, the Police Department is recommending a condition of approval to designate the adjacent streets (Alluvial, and Ash Avenues) as "No Parking." A condition of approval has been included to address this issue.

### Models

The applicant is proposing four (4) two-story models with three exterior options for each. The lot sizes range from 1,800 square feet to 2,160 square feet. The average lot size within TM6202 is 2,092 square feet.

### Homeowners Association

The Project includes private streets, private open space, and entry gates. A Homeowners Association (HOA) is also proposed to maintain the open space areas and provide enforcement for illegally parked vehicles.

### **Vesting Tentative Map**

The project includes a Vesting Tentative Tract Map TM6202. The map includes 123 lots and is consistent with the requirements of the Subdivision Map Act.

### Circulation and Lot Sizes

The project is accessible from one main entry along the Alluvial Avenue frontage. A second access is also proposed along the N. Ash Avenue frontage for emergency vehicles to enter the subdivision. The secondary access will allow residents to exit the planned residential development. The project includes 37-foot wide private streets with no sidewalks.

### Sewer and Water Impact

The Project's impacts to water and sewer facilities were analyzed during the California Environmental Quality Act (CEQA) review. Provost and Pritchard provided a summary of water impacts and concluded that the City has capacity to serve and the infrastructure can accommodate the Project upon completion of the recommended connections. The City Engineer completed a sewer analysis and concluded that the City has capacity to accommodate the Project.

The project lies inside of the Fresno Irrigation District boundary and therefore eligible to utilize entitled surface water from the Kings River. However, this project will pay fees to acquire additional water supplies necessary for the project demands.

### Amenities

Planned Residential Developments are required to provide a program of amenities in proportion to the request. In return for the reduced lot sizes, reduced setbacks, increased lot coverage, and non-standard garages, the applicant proposes to provide a recreational area with community pool. Specific details will be reviewed during the residential site plan review process. The applicant is respectful of traffic impacts to the residential neighborhood to the east which may occur as a result of this project, and is

supportive of mitigation to address neighborhood concerns. The specific details would be determined with input from the neighborhood property owners as well and the City Engineer.

An additional amenity for the project may be the contribution of funds to the construction of shade structures over playground equipment on neighborhood parks located within the Herndon-Shepherd Specific Plan area. Currently, there are numerous neighborhood parks within the Herndon-Shepherd Specific Plan area that may benefit from this amenity contribution.

#### Open Space and Trails

The applicant is not proposing a paseo system with the Project. The Herndon-Shepherd Specific Plan does not identify an open space trail/paseo system in this portion of the Alluvial-Fowler area where vesting tentative tract map TM6202 is being proposed.

Furthermore, the applicant is not required to contribute a proportionate share towards the development of a “paseo” system in this quarter section, since it is not required by the Herndon-Shepherd Specific Plan.

#### Neighborhood Park Requirement

The Herndon-Shepherd Specific Plan requires a minimum of a one acre mini-park be dedicated and improved within this quarter section where Vesting Tentative Tract Map TM6202 is being proposed. A condition has been included under Exhibit “A-1” requiring the developer to contribute a proportionate share towards the acquisition and development of the neighborhood park.

#### Landscape Setbacks

The Herndon-Shepherd Specific Plan adopted specific street section designs for Collector streets. Alluvial Avenue shall have a 10-foot landscape/pedestrian setback, with a 6-foot parkway and a 4-foot sidewalk. The wall along the Alluvial Avenue frontage shall be a 6-foot split face masonry wall.

The main tree to be utilized along the Alluvial Avenue frontage shall be evaluated during the residential site plan review process.

#### Conceptual Plan

Staff requires applicants to provide a conceptual lotting and circulation plan for adjacent properties. The conceptual lotting and circulation plans shown on the map (Exhibit “D”) are for representation purposes only. The concepts are provided to represent development potential. This does not imply that these properties must develop in the manner shown.

### Residential Site Plan Review

The applicant will be required to submit a Residential Site Plan Review in order to allow staff to review models, landscaping, open space, architecture, elevations, amenities, and specific plot plans.

### Neighborhood Meeting

Per City policy, the applicant held a neighborhood meeting on Wednesday, December 13, 2017, at the Clovis Memorial Building. The meeting was attended by four property owners, three of which were from the neighborhood directly east of the Project. Concerns raised included the increased density and the impact on schools and traffic with specific concerns about the additional vehicles into their neighborhood. The property owners states that there are a significant number of children that live on Chennault Avenue and are concerned about additional traffic and speed of vehicles.

### Public Comments

A public notice was sent to area residents within 800 feet of the property boundaries. Staff has not received comments or concerns from the public upon finalization of this report.

### Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, and the State Department of Fish and Wildlife.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

### Community Facilities District

The fiscal analysis of the Southeast Urban Center Specific Plan identified possible long-term funding shortfalls in the City's operating and maintenance costs. To address this issue the City of Clovis is implementing a Community Facilities District. Community Facilities Districts (CFD's) are a means of providing additional funding for the provision of public facilities and services for public safety, parks and recreation services, and other important municipal services in newly developing areas of the community where the city would not otherwise be able to afford to continue to provide an adequate level of service as the City continues to grow. The use of CFD's is fairly common among cities in California experiencing high rates of growth during this past decade, such as Clovis, due to significant losses of local revenue from tax shifts authorized by the State

of California and the need to continue to provide an adequate level of service as growth occurs.

A condition of approval has been added to this tentative map requiring participation of this tentative map in the CFD.

**Consistency with General Plan Goals and Policies**

Staff has evaluated the Project in light of the General Plan Land Use goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of auto trips.

**Goal 3:** Orderly and sustainable outward growth into three Urban Centers with neighborhoods that provide a balanced mix of land uses and development types to support a community lifestyle and small town character.

**Policy 3.2 Individual development project.** When projects are proposed in an Urban Center, require a conceptual master plan to show how a proposed project could relate to possible future development of adjacent and nearby properties. The conceptual master plan should generally cover about 160 acres or the adjacent area bounded by major arterials, canals, or other major geographical features. The conceptual master plan should address:

- A. Compliance with the comprehensive design document
- B. A consistent design theme
- C. A mix of housing types
- D. Adequate supply and distribution of neighborhood parks
- E. Safe and direct pedestrian and bicycle linkages between residential areas and school sites, parks, and community activity centers

**Policy 3.5 Fiscal sustainability.** The City shall require establishment of community facility districts, lighting and landscaping maintenance districts, special districts, and other special funding or financing tools in conjunction with or as a condition of development, building or permit approval, or annexation or sphere of influence amendments when necessary to ensure that new development is fiscally neutral or beneficial.

**Goal 6:** A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

Policy 6.1: **Amendment criteria.** The City Council may approve amendments to the General Plan when the City Council is satisfied that the following conditions are met:

- The proposed change is and will be fiscally neutral or positive.
- The proposed change can be adequately served by public facilities and would not negatively impact service on existing development or the ability to service future development.

Policy 6.2 **Smart growth.** The city is committed to the following smart growth goals.

- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Mix land uses.
- Strengthen and direct development toward existing communities.
- Take advantage of compact building design.

#### California Environmental Quality Act (CEQA)

The City of Clovis has completed an environmental review (an assessment of the project's impact on natural and manmade environments) of the proposed project, as required by the State of California. The City Planner has recommended approval of a Mitigated Negative Declaration (a written statement announcing that this project will not have a significant effect on the environment). Recommendation of a proposed Mitigated Negative Declaration does not necessarily mean this project will be approved.

The City published notice of this public hearing in *The Business Journal* on Wednesday, November 29, 2017.

#### **FISCAL IMPACT**

None.

#### **REASONS FOR RECOMMENDATION**

The proposal to change the General Plan Land Use Designation is consistent with the land use objectives of the Herndon-Shepherd Specific Plan by promoting planned residential development to achieve higher quality design solutions. The proposed tentative tract map is consistent with the goals and policies of the General Plan, Herndon-Shepherd Specific Plan and Development Code. Staff therefore recommends that the Planning Commission approve GPA2017-06, R2017-14 and TM6202, subject to the conditions of approval attached as Exhibit "A" and Exhibit "A-1."

The findings to consider when making a decision on a general plan amendment application include:

1. The proposed amendment is internally consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City; and
3. If applicable, the parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested/anticipated project.
4. There is a compelling reason for the amendment.

The findings to consider when making a decision on a rezone application include:

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

The findings to consider when making a decision on a tentative subdivision map application are as follows:

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan;
2. The site is physically suitable for the type and proposed density of development;
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems;
5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision;

6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;
7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and
8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

In light of court decisions, it is appropriate for the City to make findings of consistency between the required dedications and the proposed development. Every dedication condition needs to be evaluated to confirm that there is a rough proportionality, or that a required degree of connection exists between the dedication imposed and the proposed development. The City of Clovis has made a finding that the dedication of property for this project satisfies the development's proportionate contribution to the City's circulation system. The circulation system directly benefits the subject property by providing access and transportation routes that service the site. Further, the circulation system also enhances the property's value.


#### **ACTIONS FOLLOWING APPROVAL**

These items will continue on to the City Council for final consideration.

#### **NOTICE OF HEARING**

Property owners within 800 feet notified:	127
Interested individuals notified:	10

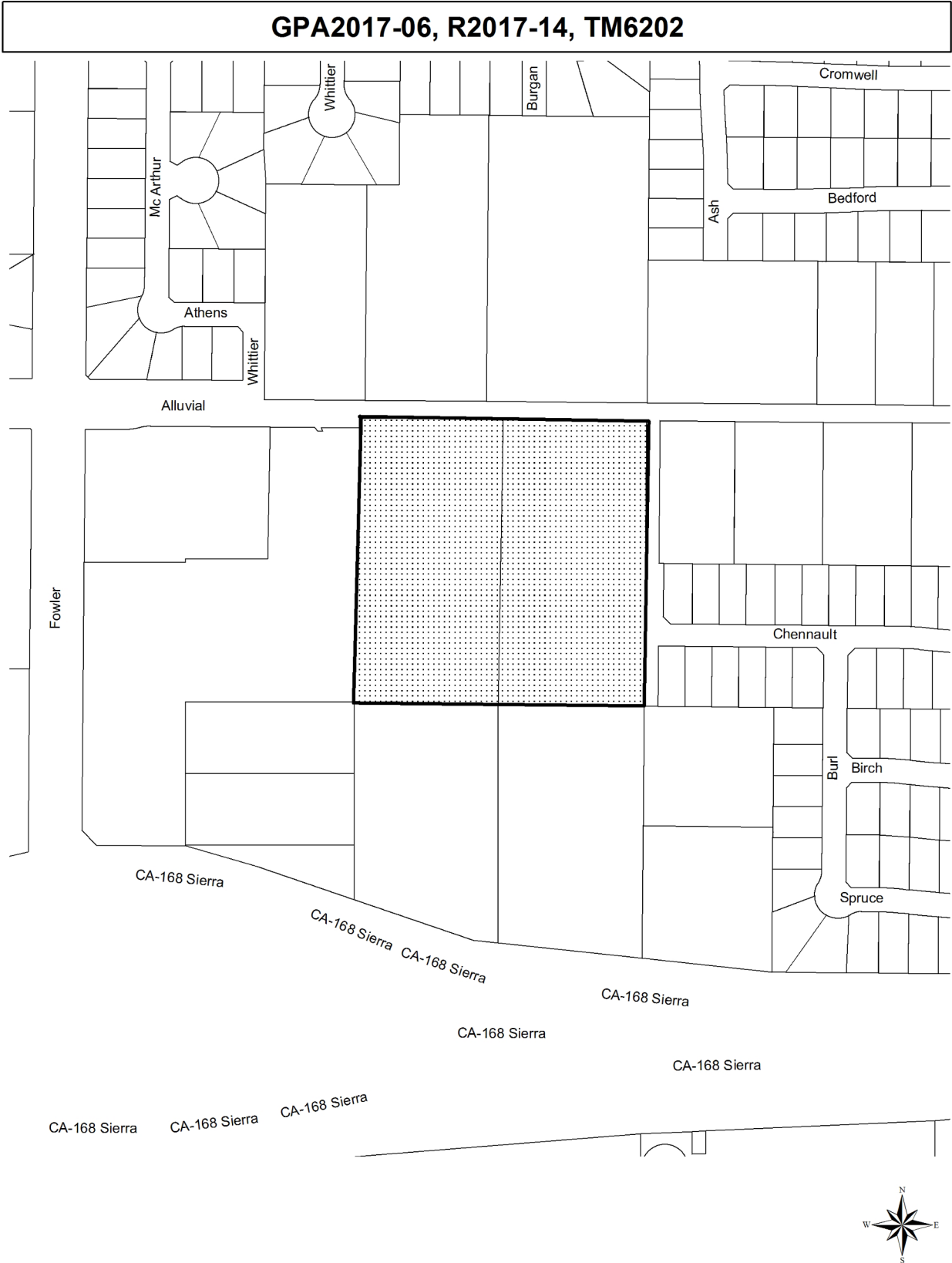
Prepared by: George González, MPA, Associate Planner

Reviewed by:   
Bryan Araki  
City Planner

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FIGURE 1  
PROJECT LOCATION MAP



**EXHIBIT "A"**  
**Conditions of Approval – GPA2017-06 & R2017-14**

**PLANNING DIVISION CONDITIONS**  
**(George González, Division Representative – (559) 324-2383)**

1. This rezone shall become effective only upon approval of General Plan Amendment GPA2017-06 by the City Council.
2. GPA2017-06, re-designates the site to Medium-High Residential with a provision that only a single-family development product type is permitted.
3. Rezone R2017-14 approves an R-1-PRD Zoning permitting the development of a single-family product. Density shall be consistent with the Herndon-Shepherd Specific Plan and not exceed 15.0 dwelling units per acre.
4. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Development Code.
5. Maximum lot coverage is 65% unless specifically approved through a residential site plan review or variance.
6. Maximum building (main structure) height shall not exceed thirty-five (35) feet.
7. The applicant shall notify all property owners along streets where new water and sewer utilities will be constructed to determine if they wish to purchase a lateral connection per City policy.
8. This rezone is subject to the development standards of the Herndon-Shepherd Specific Plan.
9. The developer shall install slot ramps facing west and east to cross the proposed tract entrance on the south side of Alluvial Avenue.
10. As an amenity for the Project, the developer shall contribute funds to the construction of shade structures over playground equipment on neighborhood parks located within the Herndon-Shepherd Specific Plan area.

**EXHIBIT “A-1”**  
**Conditions of Approval – TM6202**

**PLANNING DIVISION CONDITIONS**  
**(George González, Division Representative – (559) 324-2383)**

1. This Project is subject to the development standards of the Herndon-Shepherd Specific Plan.
2. The developer to contribute a proportionate share towards the acquisition and development of the neighborhood park.
3. The developer shall enter into a Covenant Agreement regarding a “right to farm.” Such agreement shall be disclosed to all future home buyers.
4. All transformers shall be located underground. Pad mounted transformers may be considered through an Administrative Use Permit.
5. This tentative map is approved per the attached Exhibit “B” of this report.
6. All landscaping (open space and private yards) shall conform with the City of Clovis Water Efficient Landscape Ordinance.
7. Maximum building (main structure) height shall not exceed thirty-five (35) feet.
8. The developer shall construct a minimum six-foot high solid split face masonry wall along the Alluvial and Ash Avenue frontages.
9. The applicant shall notify all property owners along streets where new water and sewer utilities will be constructed to determine if they wish to purchase a lateral connection per City policy.
10. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Development Code.
11. Alluvial Avenue shall have a 10-foot landscape/pedestrian setback, with a 6-foot parkway and a 4-foot sidewalk.
12. The main tree to be utilized along the Alluvial Avenue frontage shall be evaluated during the residential site plan review process.
13. The applicant shall obtain City approval in advance of temporary and permanent subdivision signs through separate sign review, consistent with the development criteria of the Clovis Municipal Code Sign Ordinance.

The developer shall construct 45 degree angle walls at the tract entrance.

Maximum lot coverage is 65% for Vesting Tentative Tract Map TM6202.

16. Upon final recordation of this tentative tract map, it shall be the applicant's responsibility to furnish to the Planning Department an electronic (PDF) copy of the original map obtained from the Fresno County Recorder's Office.
17. The applicant shall relay all conditions of approval for Tentative Tract Map TM6202 to all subsequent purchasers of individual lots, if applicable, and/or to subsequent purchasers of this entire tract map development.
18. The applicant shall record a Notice of Nonconformance dealing with any structure used for model homes where the garage is converted for the use as a sales office.
19. There shall be no street parking allowed on Alluvial Avenue and N. Ash Avenue.
20. All setbacks shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1212 (two-story)	5'	5'	5'	3'	4'
Plan 1413 (two-story)	5'	5'	5'	3'	4'
Plan 1648 (two-story)	5'	5'	5'	3'	4'
Plan 1660 (two-story)	5'	5'	5'	3'	4'

Lot Coverage:	65% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	1,800 square feet
Minimum Parcel Width:	36 feet
Minimum Curved Parcel Width:	36 feet
Minimum Corner Parcel Width:	36 feet
Minimum Parcel Depth:	50 feet
Reversed Corner Street Side Setback:	3 feet
Corner Street Side Setback:	3 feet
Side Yard Setback:	3 feet
Setback to Projections and/or Porch/ Patio:	4 feet
Garages:	20'x20' interior dimension (2-car) or tandem 10'x38' minimum. 10'x16' interior dimension (1-car)

21. Plan 1212 (1-car garage) shall have a minimum driveway depth of 18 feet from property line to garage door frame.

22. The developer shall comply with all mitigation measures as identified in the adopted mitigation monitoring program for this tentative tract map.
- **3.1-d** The developer shall direct all lighting downward and provide physical shields to prevent direct view of the light source from adjacent residential properties.
  - **3.4-a** If any trees or shrubs are to be removed during the nesting season (Feb – Aug) then a preconstruction survey should be conducted within 30-15 days of commencement of construction. If vegetation removal occurs outside the nesting period then no preconstruction survey is needed.

**POLICE DEPARTMENT CONDITIONS**

**(John Willow, Department Representative - 324-2400)**

23. Construction work shall be limited to the hours set forth in the Clovis Municipal Code. (CMC § 5.18.15.)
24. It shall be the responsibility of the property owner to maintain the structures and adjoining fences to the project free of graffiti. All forms of graffiti shall be removed within 72 hours. (CMC §§ 5.18.02(r), 5.18.06 (b).)
25. Emergency phone numbers for responsible parties shall be kept current during the building phase of the project.
26. All construction materials shall be located within a secured area or monitored by security staff during non-construction hours.
27. Parking enforcement within the subdivision shall be the responsibility of the Home Owners Association. The developer shall include a statement in the Covenants, Conditions and Restrictions regarding this condition.
28. The development shall require “No Parking” signs placed on the south side of the Alluvial Avenue adjacent to the project frontage.
29. The development shall place “No Parking” signs on Ash Avenue.
30. There shall be no pedestrian gates to and from Ash Avenue.

**FIRE DEPARTMENT CONDITIONS**

**(Gary Sawhill, Department Representative - 324-2224)**

31. **Street Width:** Fire apparatus access width shall be determined by measuring from “base of curb” to “base of curb” for roadways that have curbs. When roadways do not have curbs, the measurements shall be from the edge of the roadway surface (approved all weather surface).

32. **Street Width for Single Family Residences:** Shall comply with Clovis Fire Standard #1.1.
33. **Turning Radius:** All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45').
34. **Security Gates:** All security gates shall comply with Clovis Fire Department Gates Standard #1.5. Plans shall be submitted for review and permits issued by Fire Department prior to installation.
35. **Temporary Street Signs:** The applicant shall install temporary street signs that meet City Temporary Street Sign Standard #1.9 prior to issuance of building permits within a subdivision.
36. **All Weather Access & Water Supply:** The applicant shall provide all weather access to the site during all phases of construction to the satisfaction of the approved Clovis Fire Department Standard #1.2 or #1.3.
37. **Two Points of Access:** Any development to this parcel will require a minimum of two (2) points of access to be reviewed and approved by the Clovis Fire Department. All required access drives shall remain accessible during all phases of construction which includes paving, concrete work, underground work, landscaping, perimeter walls.
38. **Residential Fire Hydrant:** The applicant shall install 7 4 ½" x 2 ½" approved Residential Type fire hydrant(s) and "Blue Dot" hydrant locators, paint fire hydrant(s) yellow with blue top and caps, and paint the curb red as specified by the adopted Clovis Fire Department Standard #1.4. Plans shall be submitted to the Clovis Fire Department for review and approval prior to installation. The hydrant(s) shall be charged and in operation prior to any framing or combustible material being brought onto the site. Hydrants curb markings and blue dots to be completed prior to occupancy of any homes.
39. **Looped Water Main:** The applicant shall install approved looped water main capable of the necessary flow of water for adequate fire protection and approved by the Clovis Fire Department.

**CLOVIS UNIFIED SCHOOL DISTRICT CONDITIONS**  
**(Steve Ward, CUSD Representative – 559-327-9000)**

40. The development of this project is subject to the Clovis Unified School District impact fee. See the attached letter.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT CONDITIONS**

**(Neda Shakeri, FMFCD Representative - 456-3292)**

41. The applicant shall refer to the attached FMFCD requirements. If the list is not attached, please contact the District for the list of requirements.

**FRESNO IRRIGATION DISTRICT CONDITIONS**

**(Laurence Kimura, FID Representative - 233-7161)**

42. The applicant shall refer to the attached FID correspondence. If the list is not attached, please contact the District for the list of requirements.

**COUNTY OF FRESNO COMMENTS**

**(Steve Farmer, County of Fresno Representative - 488-2892)**

43. The applicant shall pay the County of Fresno's facilities impact fees set forth in the applicable Schedule of Fees adopted by the County Board of Supervisors, in County Ordinance, Chapter 17.90.

**ENGINEERING / UTILITIES / SOLID WASTE DIVISION CONDITIONS**

**(Sean Smith, Engineering Division Representative – 324-2363)**

**(Lisa Koehn, Department Representative – 324-2607)**

**(Luke Serpa, Solid Waste Division Representative – 324-2614)**

**Maps and Plans**

44. The applicant shall have a final tract map prepared, in the form prescribed by the Subdivision Map Act and City of Clovis Municipal Code. The final tract map shall be submitted to the City of Clovis Engineering Division, and should include, but not be limited to, final tract map, the current filing fee, closure calculations, current preliminary title report, legal descriptions and drawings of required dedications.
45. The applicant shall submit to the City of Clovis Engineering Division, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements. These plans shall be prepared by a registered civil engineer, and shall include a site grading and drainage plan and an overall site utility plan showing locations and sizes of sewer, water, irrigation, and storm drain mains, laterals, manholes, meters, valves, hydrants, other facilities, etc. Plan check and inspection fees per City of Clovis Resolution No. 03-152 shall be paid with the first submittal of said plans. All plans shall be approved by the City and all other involved agencies prior to the release of any development permits.
46. Prior to the initial submittal of the improvement plans, the applicant shall contact Sean Smith at (559) 324-2363 to setup a coordination meeting (Pre-submittal Meeting).

47. Upon approval of improvement plans, the applicant shall provide the City with the appropriate number of copies. After all improvements have been constructed and accepted by the City, the applicant shall submit to the City of Clovis Engineering Division one bond copy of the approved set of construction plans revised to accurately reflect all field conditions and revisions and marked "AS-BUILT" for review and approval. Upon approval of the AS-BUILTs by the City the applicant shall provide (1) reproducible and (3) copies of the AS-BUILTs to the City.

#### General

48. Applicant shall pay all applicable development fees at the rate in effect at the time of payment and prior to final map approval by Council or have the fees payable directly to the City through a separate escrow account at the time of recordation of the map.
49. For any sewer or water main, or undergrounding of utilities, or major street to be installed by the applicant and eligible for reimbursement from future developments, the applicant shall submit to the City of Clovis, all reimbursement requests in accordance with the current version of the "Developer Reimbursement Procedures"; a copy can be obtained at the City Engineer's Office.
50. The applicant shall submit a soils report or a waiver of soils report to the City of Clovis Engineering Division for approval by the City Engineer.
51. The applicant shall address all the requirements of the local utility, telephone, and cable companies. It shall be the responsibility of the applicant to notify the local utility, telephone, and cable companies for the removal or relocation of utility poles where necessary. The City shall not accept first submittals without proof that the applicant has provided the improvement plans and documents showing all proposed work to the utility, telephone, and cable companies. All utility vaults in which lids cannot be sloped to match proposed finished grading, local utilities have 5% max slope, shall be located in sidewalk areas with pedestrian lids so the lid slope matches sidewalk cross slope.
52. The applicant shall contact and address all requirements of the United States Postal Service - Clovis Office for the location and type of mailboxes to be installed. The location of the facilities shall be approved by the City Engineer prior to approval of improvement plans or any construction.
53. The applicant shall contact and address Caltrans requirements.



54. The applicant shall address all conditions, and be responsible for obtaining encroachment permits from the City of Clovis for all work performed within the City's right-of-way and easements.
55. The applicant shall install all improvements within public right-of-way and easements in accordance with the City of Clovis standards, specifications, master plans, and record drawings in effect at the time of improvement plan approval.
56. The applicant shall provide and pay for any compaction tests in recompacted areas as a result of failure to pass an original compaction test. Original compaction tests shall be provided and paid for by the City and their locations designated by the City Engineer.
57. All new utility facilities located on-site, within alleys, or within the street right-of-way along the streets adjacent to this tract shall be undergrounded unless otherwise approved by the City Engineer.

#### Dedications and Street Improvements

58. The applicant shall provide right-of-way acquisition or dedicate free and clear of all encumbrances and/or improve the following streets to City standards. The street improvements shall be in accordance with the City's specific plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the type, location, and grades of existing improvements.
59. Alluvial Avenue - along development frontage, provide right-of-way acquisition for 42' (exist 20') south of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, landscaping, irrigation, permanent paving and overlay as necessary to match the existing permanent pavement, 3' paved swales, and all transitional paving as required.
60. Ash Avenue - along development frontage, provide right-of-way acquisition for 25' (exist 15') west of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, permanent paving and overlay as necessary to match the existing permanent pavement, 3' paved swales, and all transitional paving as required.
61. For gated developments, the applicant shall provide ample vehicle stacking area outside the travel lanes Alluvial Avenue that will allow vehicles to wait as vehicles are accessing the control panel to open the security gates. The applicant shall design a turn-a-round to allow vehicles that cannot enter the complex to return to the street without backing the vehicle up. The applicant shall provide the Solid Waste Division with remote controls that will allow access for all solid waste and recycling vehicles.

62. The applicant shall provide for a solid waste garbage covenant for lots 1, 2, 16-18, 31-33, 44 and 45.
63. The applicant shall relinquish all vehicular access to Alluvial and Ash Avenues for all the lots backing or siding onto these streets.
64. Applicant shall provide a dedication for a 10' public utility easement, where applicable, along all frontages or alternate widths approved by the utilities companies.
65. Applicant shall provide preliminary title report, legal description and drawings for all dedications required which are not on the site. All contact with owners, appraisers, etc. of the adjacent properties where dedication is needed shall be made only by the City. The City will prepare an estimate of acquisition costs including but not limited to appraised value, appraisal costs, legal costs, negotiation costs, and administrative costs. The applicant shall pay such estimated costs as soon as they are determined by the City.
66. The sideyard side of all corner lots shall have full width sidewalk except where planter strips or meandering sidewalk is proposed.
67. The applicant shall obtain "R Value" tests in quantity sufficient to represent all street areas, and have street structural sections designed by a registered civil engineer based on these "R Value" tests.
68. The applicant shall, at the ends of any permanent pavement abutting undeveloped property, install 2" x 6" redwood header boards that shall be placed prior to the street surfacing.
69. Standard barricades with reflectors shall be installed at ends of streets abutting undeveloped property and any other locations to be specified by the City Engineer

#### Sewer

70. The applicant shall identify and abandon all septic systems to City standards.
71. The applicant shall install sanitary sewer mains of the size and in the locations indicated below, prior to occupancy. The sewer improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.
  - Interior streets - install 8" mains.

72. The applicant shall install one (1) 4" sewer service house branch to each lot within the tentative tract.
73. The applicant shall notify all property owners annexed to the City and along streets where a new sewer main will be constructed to determine if they wish to be connected to City sewer. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that sewer connection fees are required if they choose to connect.

#### Water

74. The applicant shall identify and abandon all water wells to City standards.
75. The applicant shall install water mains of the sizes and in the locations indicated below, and provide an adequately looped water system prior to occupancy. The water improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.
- Alluvial Avenue - install 12" main between the west property line and Ash Avenue.
  - Ash Avenue - install 8" main between the project exit only and Chennault Avenue.
76. The applicant shall provide dedication of 15-foot wide utility easements for all on-site water mains, hydrants, blow-offs, and water meters not located in otherwise dedicated rights-of-way.
77. The applicant shall install a City standard water service to each lot of the proposed subdivision. Water services shall be grouped at property lines to accommodate automatic meter reading system, including installation of connecting conduit.
78. The applicant shall notify all property owners' annexed to the City and along streets where a new water main will be constructed to determine if they wish to be connected to City water. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that water connection fees are required if they choose to connect.
79. Prior to recording a final map of any phase, the applicant shall demonstrate to the satisfaction of the City Fire Chief and City Engineer that there is adequate water pressure to serve the units to be constructed. The applicant shall work with the City Engineer to determine the adequacy of water supply/pressure for the proposed development.

### Grading and Drainage

80. The applicant shall contact the Fresno Metropolitan Flood Control District (FMFCD) and address all requirements, pay all applicable fees required, obtain any required NPDES permit, and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution. Plans for these requirements shall be included in the previously required set of construction plans, and shall be submitted to and approved by FMFCD prior to the release of any development permits.
81. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Clovis Standard Drawing No. M-4 as modified by the City Council. Any retaining walls required on-site or in public right of way shall be masonry construction. All retaining walls shall be designed by a registered civil engineer.

### Irrigation and Landscaping Facilities

82. The applicant, as a portion of the required tract improvements, shall provide landscaping and irrigation as required herein. The landscaping and irrigation shall be installed in public right-of-way and the area reserved for landscaping. The irrigation and landscape improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Plans for the required landscaping and irrigation systems shall be prepared by an appropriately registered professional at the applicant's expense and shall be approved by the City of Clovis Planning and Development Services Department and Public Utilities Department prior to the beginning of construction or the recording of the final tract map, whichever occurs first. Landscape and irrigation facilities that the City Landscape Maintenance District shall maintain: the landscape strips along Alluvial Avenue. The landscape strip around the planned unit development may be maintained by a perpetual maintenance covenant.
83. All landscape improvements shall be installed, accepted for maintenance by the City prior to issuance of 40% of the Tract's building permits. If the landscape improvements are not constructed on the Outlot for any reason within two (2) years of the recordation of the final map of Tract, City shall have the right to request from surety and receive upon City's demand, sufficient funding to complete the construction of landscape improvements.
84. The owner shall request annexation to and provide a covenant for the Landscape Maintenance District. The property owner acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election will be required for the establishment of the initial

assessment. The assessment for each lot must be obtained from the City for the tax year following the recordation of the final map. The estimated annual assessment per average sized lot is \$214.76, which is subject to change prior to issuance of building permit or final tract map approval and is subject to an annual change in the range of the assessment in the amount of the Consumer Price Index, U.S. City Average, All Urban Consumers (CPI Index), plus two percent (2%). The owner/developer shall notify all potential lot buyers before they actually purchase a lot that this tract is a part of a Landscape Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The owner/developer shall supply all pertinent materials for the Landscape Maintenance District.

85. The applicant shall comply with the City of Clovis Water Efficient Landscape Requirements Ordinance.
86. The applicant shall contact and address all requirements of the Fresno Irrigation District (FID). This may include dedicating easements, piping or relocating any existing FID canals and ditches, replacing any existing irrigation piping, concrete lining or improving any existing canals, construction or reconstruction of any canals, culverts, and bridge crossings. Plans for these requirements and improvements shall be included as in the previously required set of construction plans, and shall be submitted to and approved by FID prior to the release of any development permits or recording of the final tract map. If a FID or private irrigation line is to be abandoned, the applicant shall provide waivers from all downstream users.
87. The applicant shall indicate on construction drawings the depth, location and type of material of any existing Fresno Irrigation District's irrigation line along the proposed or existing street rights-of-way or onsite. Any existing canals shall be piped. The material of the existing pipe shall be upgraded to the proper class of rubber gasket pipe at all locations unless otherwise approved by the City Engineer.
88. All existing agricultural irrigation systems either on-site or in public right of way, whether FID or privately owned, shall be identified prior to any construction activity on the site. Service to all downstream users of irrigation water shall be maintained at all times through preservation of existing facilities or, if the existing facilities are required to be relocated, the relocation and replacement of the existing facilities. It is the intent that downstream users not bear any burden as a result of development of the site. Therefore, the applicant shall pay all costs related to modification, relocation, or repair of any existing irrigation facilities resulting from or necessitated by the development of the site. The applicant shall identify on site plans and construction plans, all existing irrigation systems and their disposition (abandonment, repair, relocation, and/or piping). The applicant shall consult with the Fresno Irrigation District for any additional requirements for lines to be abandoned, relocated, or piped. The applicant shall

provide waivers from all users in order to abandon or modify any irrigation pipelines or for any service interruptions resulting from development activities.

89. The applicant shall provide a landscape and irrigation perpetual maintenance covenant recorded for landscaping installed in the public right-of-way behind the curb including easements that will not be maintained by the Clovis Landscape Maintenance District. A recordable covenant must be submitted to and approved by the City of Clovis City Engineer prior to final map approval.
90. The applicant shall provide a perimeter wall perpetual maintenance covenant on all properties that have a perimeter wall that is installed on private property. A recordable covenant must be submitted to and approved by the City of Clovis City Engineer prior to final map approval.

#### Miscellaneous

91. The applicant shall install street lights on metal poles to local utility provider's standards at the locations designated by the City Engineer. Street light locations shall be shown on the utility plans submitted with the final map for approval. Street lights along the major streets shall be owned and maintained by local utility providers. Proof of local utility provider's approval shall be provided.
92. The applicant shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City Standard ST-32 prior to final acceptance of the project. Monumentation shall include all section corners, all street centerline intersection points, angle points and beginning and end of curves (E.C.'s & B.C.'s). The applicant/contractor shall furnish brass caps. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Brass caps required for installation of new monuments or replacement of existing monuments shall be provided by the contractor/applicant and approved by City prior to installation. Within five days after the final setting of all monuments has been completed, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.
93. A deferment, modification, or waiver of any engineering conditions will require the express written approval of the City Engineer.
94. The conditions given herein are for the entire development. Additional requirements for individual phases may be necessary pending review by the City Engineer.

**Administration Department Conditions**

(John Holt, Department Representative – (559) 324-2111)

95. Prior to approval, recordation or filing of an annexation, final map, or site plan, the property covered by the project shall be included within or annexed to a Community Facilities District (CFD), established by the City for the provision of public facilities and services, for which proceedings have been consummated, and shall be subject to the special tax approved with the formation or annexation to the CFD. The CFD applies only to residential projects.
96. The applicant and the property owner acknowledge and agree that if the project were not part of a CFD, the City might lack the financial resources to operate facilities and provide public services, such as police protection, fire protection, emergency medical services, park and recreation services, street maintenance and public transit. Absent the requirement for inclusion of the project within a CFD, the City might not be able to make the finding that the project is consistent with the General Plan and relevant specific plans and might not be able to make the findings supporting approval of the project as required by the Subdivision Map Act and the California Environmental Quality Act, and the City might be required to deny the application for the project.
97. The owner/developer shall notify all potential lot buyers prior to sale that this project is a part of a Community Facilities District and shall inform potential buyers of the special tax amount. Said notification shall be in a manner approved by the City. This requirement may be waived at the discretion of the City Council if, at the time of the approval, recordation or filing of the project, the City Council has determined that it is not necessary that the project be included in the CFD.
98. The applicants shall reimburse the City for any expense associated with the transition agreement for fire services with the Fresno County Fire Protection District that would apply to this proposal.

**GENERAL PLAN AMENDMENT GPA2017-06**  
**REZONE R2017-14**  
**TENTATIVE TRACT MAP TM6202**  
INITIAL STUDY AND MITIGATED NEGATIVE DECLARATION

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PREPARED BY:



**CITY *of* CLOVIS**

**PLANNING & DEVELOPMENT**

1033 FIFTH STREET • CLOVIS, CA 93612

Planning Division  
1033 Fifth Street  
Clovis, CA 93612

Project Manager:  
George González, Associate Planner  
559-324-2383  
[georgeg@cityofclovis.com](mailto:georgeg@cityofclovis.com)

**November 2017**

**ATTACHMENT 1**





**CITY of CLOVIS**  
**PLANNING & DEVELOPMENT**  
1033 FIFTH STREET • CLOVIS, CA 93612

For County Clerk Stamp

**NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION  
NOTICE OF PUBLIC HEARING  
NOTICE OF PUBLIC REVIEW OF A PROPOSED MITIGATED NEGATIVE DECLARATION**

**NOTICE IS HEREBY GIVEN** that on **Thursday, December 21, 2017, at 6:00 p.m.**, a public hearing will be conducted in the Council Chamber of the Clovis Civic Center, 1033 Fifth Street, Clovis, CA 93612. The Clovis Planning Commission will consider the following item:

Consider items associated with approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues. Cleo L. Tomlinson, Kenneth R. & Marilyn B. Springston Trs., owners; Wilson Premier Homes, Inc., applicant; Harbour & Associates, representative.

- a. GPA2017-06, A request to amend the General Plan and Herndon-Shepherd Specific Plan to re-designate from Low Density Residential (2.1 to 4.0 DU/AC) classification to Medium High Density Residential (7.1 to 15.0 DU/AC) classification.
- b. R2017-14, A request to approve a rezone from the R-1-7500 (Single Family Residential - 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District.
- c. TM6202, A request to approve a vesting tentative tract map for a 123-lot single-family planned residential development.

A Mitigated Negative Declaration has been completed for this project, pursuant to Section 15070 of CEQA. Recommendation of a proposed Mitigated Negative Declaration does not necessarily mean these projects will be approved. Hard copies and electronic copies of the proposed Mitigated Negative Declaration for this project may be reviewed and/or obtained at the City of Clovis Planning Division, 1033 Fifth Street, Clovis, California, Monday through Friday, between 8:00 a.m. and 3:00 p.m.

All interested parties are invited to comment in writing to the Planning Division by no later than 3:00 p.m. on December 21, 2017, and/or to appear at the hearing described above to present testimony in regard to the above listed requests. Questions regarding these items should be directed to Bryan Araki, City Planner at (559) 324-2346 or email at [bryana@cityofclovis.com](mailto:bryana@cityofclovis.com).

If you would like to view the Planning Commission Agenda and Staff Reports, please visit the City of Clovis Website at [www.cityofclovis.com](http://www.cityofclovis.com). Select "Planning Commission Agendas" from right side of the main page under "Frequently Visited." Reports will be available approximately 72 hours prior to the meeting time.

If you challenge a project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing.

Dwight D. Kroll, AICP, Planning and Development Services Director

PUBLISH: Wednesday, November 29, 2017, *The Business Journal*



**CITY of CLOVIS**  
**PLANNING & DEVELOPMENT**  
1033 FIFTH STREET • CLOVIS, CA 93612

**For County Clerk Stamp**

**DRAFT MITIGATED NEGATIVE DECLARATION**

**Proposed:** November 29, 2017

**Agency File No:** GPA2017-06, R2017-14 & TM6202

**Finding:** The City of Clovis has determined that the project described below will not have a significant effect on the environment and therefore the preparation of an Environmental Impact Report is not required.

**Lead Agency:** City of Clovis is the Lead Agency for this project.

**Project Title:** General Plan Amendment GPA2017-06, Rezone R2017-14 & Vesting Tentative Tract Map TM6202.

**Project Location:** South side of Alluvial Avenue, between Fowler and Armstrong Avenues in the City of Clovis, CA.

**Project Description:** Consider items associated with approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues. Cleo L. Tomlinson, Kenneth R. & Marilyn B. Springston Trs., owners; Wilson Premier Homes, Inc., applicant; Harbour & Associates, representative.

- a. GPA2017-06, A request to amend the General Plan and Herndon-Shepherd Specific Plan to re-designate from Low Density Residential (2.1 to 4.0 DU/AC) classification to Medium High Density Residential (7.1 to 15.0 DU/AC) classification.
- b. R2017-14, A request to approve a rezone from the R-1-7500 (Single Family Residential - 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District.
- c. TM6202, A request to approve a vesting tentative tract map for a 123-lot single-family planned residential development.

**Environmental Assessment:** The Initial Study for this project is available for review at the City of Clovis, Planning and Development Services Department, 1033 Fifth Street, Clovis, CA.

**Justification for Mitigated Negative Declaration:** The City of Clovis has completed the preparation of an Initial Study for the project described above. The Initial Study did not identify any potentially significant environmental effects that would result from the proposed activity. Accordingly, approval of a Mitigated Negative Declaration for the project is recommended. The City finds that the proposed activity can be adequately served by City public services. It will not have a negative aesthetic effect, will not affect any rare or endangered species of plant or animal or the habitat of such species, nor interfere with the movement of any resident or migratory fish or wildlife species. It will not adversely affect water quality, contaminate public water supplies, or cause substantial flooding, erosion, or siltation. It will not have a significant effect on air quality, climate change, transportation or circulation systems, noise, light and glare, and land use. No significant cumulative impacts will occur from this project.

Contact Person: George González, Associate Planner

Phone: (559) 324-2383

Signature: \_\_\_\_\_

Date: November 29, 2017

## INITIAL STUDY

### Introduction

This document is an Initial Study and Mitigated Negative Declaration (MND) prepared pursuant to the California Environmental Quality Act (CEQA), for the Project. This MND has been prepared in accordance with the California Environmental Quality Act (CEQA), Public Resources Code Sections 21000 *et seq.*, and the CEQA Guidelines Sections 15070(b), 15071(e).

### Documents Incorporated By Reference

This mitigated negative declaration utilizes information and incorporates information and analyses provided in the following documents pursuant to CEQA Guidelines Section 15150.

- **City of Clovis General Plan.** The 2014 Clovis General Plan provides a description of the project area setting, and sets forth a plan for the development of the general plan planning area, of which the current project area is part.
- **Program Environmental Impact Report prepared for the Clovis General Plan.** The General Plan Program EIR describes potential impacts of development of the project area consistent with the general plan land use map. Some of these impacts (e.g. runoff, aesthetics, etc.) are to be expected with any urban development, and are therefore applicable to the current project.
- **Findings and Statement of Overriding Considerations prepared for the adoption of the Clovis General Plan.** Adoption of the development plan contained in the General Plan is expected to result in certain unavoidable environmental impacts (Agriculture, Air Quality, Cultural Resources, Greenhouse Gas, Hydrology and Water, Noise and Vibration, Population and Housing, Transportation and Traffic, and Utility and Service Systems) that the City has determined are outweighed by the potential benefits of plan implementation. These impacts are applicable to the project at hand due to the fact that the proposal is consistent with the planned urbanization of the general plan planning area.
- **Herndon-Shepherd Specific Plan.** The Herndon-Shepherd Specific Plan provides a description of the project area setting, and sets forth a plan for the development of the specific plan planning area, of which the current project area is part.
- **Environmental Impact Report prepared for the Clovis Landfill Expansion and Permitting Project (Certified July 11, 2005, SCH No. 2002091105).** The EIR examined the potential impacts of a revision to the city's Solid Waste Facility Permit to expand filling operations and expand the land fill property boundaries.
- **Environmental Impact Report prepared for the Clovis Sewage Treatment /Water Reuse Facility Program (Certified July 18, 2005, SCH No. 2004061065).** The EIR examined the potential impacts from the construction and operation of the City's new sewage treatment/water reuse facility (ST/WRF) that would provide an alternative solution to its current sewage (wastewater) treatment services capabilities.
- **Clovis Municipal Code Title 5 (Public Welfare, Morals And Conduct) and Title 9 (Development Code).** This Code consists of all the regulatory, penal, and administrative laws of general application of the City of Clovis and specifically to development standards, property maintenance and nuisances, necessary for the protection of health and welfare, codified pursuant to the authority contained in Article 2 of Chapter 1 of Part 1 of Division 1 of Title 5 of the Government Code of the State of California.
- **California Health and Safety Code Section 7050.5.** This section states that in the event that human remains are discovered, there shall be no further disturbance of the site of any nearby area reasonably suspected to overlie adjacent remains until the coroner of the county in which the remains are discovered has been notified. If the remains are

determined to be Native American, guidelines of the Native American Heritage Commission shall be adhered to in the treatment and disposition of the remains.

- **Section 15064.5 of the CEQA Guidelines.** This section addresses the discovery of human remains, and the disturbance of potential archaeological, cultural, and historical resources. The requirements of Section 15064.5 with regard to the discovery of human remains are identical to the requirements of Health and Safety Code Section 7050.5.
- **City of Clovis 2017-2018 Budget.** The budget provides information about city services, and objectives, annual spending plan for the 2017-2018 fiscal year, debt obligations, and the five-year Community Investment Program.
- **City of Clovis Economic Development Strategy (Adopted July 14, 2014).** The City of Clovis Economic Development Strategy outlines the City's strategies for the retention, expansion, and attraction of industrial development, commercial development, and tourism.
- **City of Clovis 2010 Urban Water Management Plan.** The Clovis Urban Water Management Plan outlines the City's strategy to manage its water resources through both conservation and source development. The Plan was prepared in compliance with California Water Code Section 10620.
- **Fresno Metropolitan Flood Control District Storm Drainage and Flood Control Master Plan (Adopted January 2006).** The Fresno Metropolitan Flood Control District (FMFCD) is located in the north-central portion of Fresno County between the San Joaquin and Kings rivers. The FMFCD service area includes most of the Fresno-Clovis metropolitan area (excluding the community of Easton), and unincorporated lands to the east and northeast. The Storm Drainage and Flood Control Master Plan includes program planning, structure, service delivery, and financing, for both flood control and local drainage services. The flood control program relates to the control, containment, and safe disposal of storm waters that flow onto the valley floor from the eastern streams. The local drainage program relates to the collection and safe disposal of storm water runoff generated within the urban and rural watersheds.
- **Fresno Metropolitan Flood Control District Notice of Requirements,** November 20, 2017, An evaluation of the project impact on FMFCD facilities.
- **Fresno Metropolitan Flood Control District Letter,** November 21, 2017, A letter from the District stating that their facilities can accommodate the Project.
- **Staff Report on Burrowing Owl Mitigation (CDFG 1995).** This report provides CEQA Lead Agencies and Project proponents the context in which the Department of Fish and Game will review Project specific mitigation measures. The report also includes pre-approved mitigation measures which have been judged to be consistent with policies, standards and legal mandates of the State Legislature, the Fish and Game Commission, and the Department's public trust responsibilities.
- **San Joaquin Valley Air Pollution Control District, Regulation VIII - Fugitive PM10 Prohibitions.** The purpose of Regulation VIII (Fugitive PM10 Prohibitions) is to reduce ambient concentrations of fine particulate matter (PM10) by requiring actions to prevent, reduce or mitigate anthropogenic fugitive dust emissions. Regulation VIII is available for download at <http://www.valleyair.org/rules/1ruleslist.htm#reg8>. A printed copy may be obtained at the District's Central Region offices at 1990 E. Gettysburg Ave., Fresno, CA 93726.
- **Fresno Irrigation District Letter,** October 30, 2017, An evaluation of project impacts on Fresno Irrigation District facilities.
- **City of Clovis Wastewater Collection System Master Plan Modification Review,** October 20, 2017, An evaluation of impacts to the Master Sewer Collection System.
- **Water Assessment from Provost and Pritchard,** October 17, 2017, An evaluation of impacts related to water resources.
- **Biological Assessment from Argonaut Ecological Consulting, Inc.,** September 27, 2017, An evaluation of biological impacts.
- **Cultural Resource Assessment from Peak & Associates, Inc.,** dated September 27, 2017, An evaluation of cultural resources.

- **Air Quality & Greenhouse Gas Analysis Report from Mitchell Air Quality Consulting**, September 29, 2017, An evaluation of the impacts related to Air Quality & Green House Gas.
- **Fresno County Department of Public Health**, letter dated October 17, 2017, providing standards for health related impacts.
- **Traffic Impact Study** by Peters Engineering Group for TM6202, Dated November 16, 2017, An evaluation of potential difference in traffic generation between the existing general plan land use and the proposed land use.
- **Department of Transportation District 6 Letter**, October 24, 2017, An evaluation of state highway impacts.
- **San Joaquin Valley Air Pollution Control District Letter**, October 26, 2017, An evaluation of project impact to air quality.
- **Clovis Unified School District Letter**, October 16, 2017, An evaluation of project impact to school facilities.

Unless otherwise noted, documents incorporated by reference in this Initial Study are available for review at the Clovis Planning and Development Services Department located at 1033 Fifth Street, Clovis, CA 93612 during regular business hours.

### **Project Description**

The project consists of a request to approve a general plan amendment, rezone and vesting tentative tract map on approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues in the City of Clovis. The request includes acquisition of right-of-way along the corridor of Alluvial Avenue and providing connectivity to City services when available.

General Plan Amendment GPA2017-06 is requesting to amend the General Plan and Herndon-Shepherd Specific Plan to re-designate from Low Density Residential (2.1 to 4.0 DU/AC) classification to Medium High Density Residential (7.1 to 15.0 DU/AC) classification.

Rezone R2017-14 is rezoning approximately 9.6 acres from the R-1-7500 (Single Family Residential - 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District. Vesting Tentative Tract Map TM6202 includes a 123-lot single-family planned residential development with private streets.

The Project also includes demolition of structures, well and septic systems, grading, improvement of streets, and infrastructure to accommodate the tentative map.

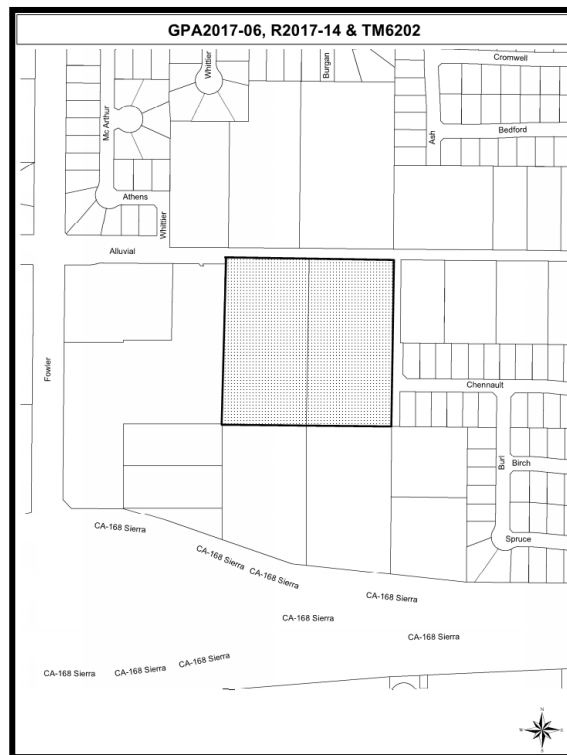
The Project will be completed in accordance with the California Building Code; City of Clovis Municipal Code; and 2017 City of Clovis Standards.

## Project Location

The proposed Project is located within the City of Clovis in the County of Fresno (see Figure 1). The proposed Project site is located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues (see Figure 2).



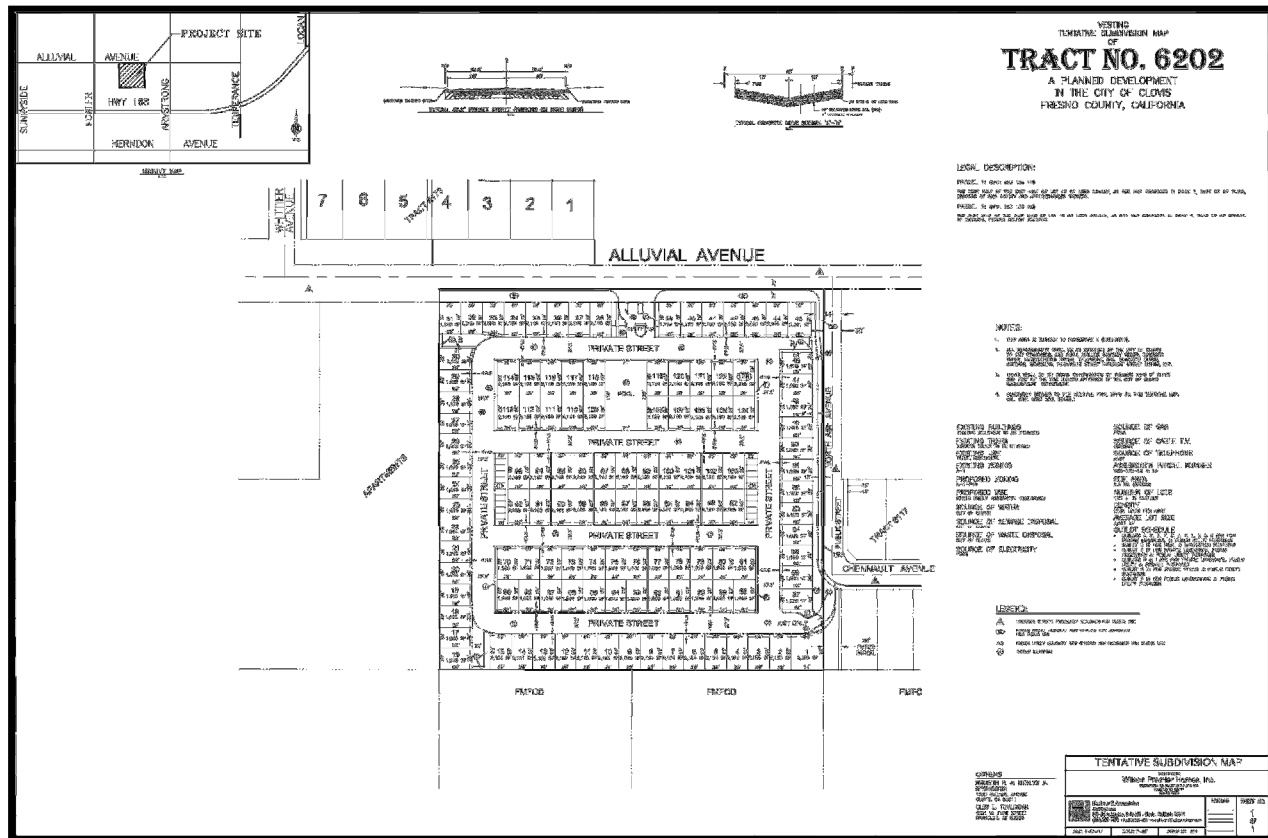
**Figure 1 - Regional Location**



**Figure 2 - Project Location**



**Figure 3** shows proposed site plan.



### Figure 3 - Project Site Plan

## Environmental Measures

Environmental measures are methods, measures, standard regulations, or practices that avoid, reduce, or minimize a project's adverse effects on various environmental resources. Based on the underlying authority, they may be applied before, during, or after construction of the Project.

The following standard environmental measures, which are drawn from City ordinances and other applicable regulations and agency practices, would be implemented as part of the Project and incorporated into the City's approval processes for specific individual projects in the future. The City would ensure that these measures are included in any Project construction specifications (for example, as conditions of approval of a tentative parcel or subdivision map), as appropriate. This has proven to be effective in reducing potential impacts by establishing policies, standard requirements that are applied ministerially to all applicable projects.

## Environmental Measure 1: Measures to Minimize Effects of Construction-Related Noise

The following construction noise control standards per the Clovis Municipal Code (Clovis Municipal Code Section 9.3.228.10 et seq.) will be required, which are proven effective in reducing and controlling noise generated from construction-related activities.

- Noise-generating construction activities, unless otherwise expressly provided by permit, construction activities are only permitted between the hours of 7:00 a.m. and 7:00 p.m. Monday through Friday and between 9:00 a.m. and 5:00 p.m. on Saturday and Sunday.

From June 1st through September 15th, permitted construction activity may commence after 6:00 a.m. Monday through Friday. Extended construction work hours must at all times be in strict compliance with the permit.

- Stationary equipment (e.g., generators) will not be located adjacent to any existing residences unless enclosed in a noise attenuating structure, subject to the approval of the Director.

#### Environmental Measure 2: Erosion Control Measures to Protect Water Quality

To minimize the mobilization of sediment to adjacent water bodies, the following erosion and sediment control measures will be included in the storm water pollution prevention plan (SWPPP), to be included in the construction specifications and Project performance specifications, based on standard City measures and standard dust-reduction measures for each development.

- Cover or apply nontoxic soil stabilizers to inactive construction areas (previously graded areas inactive for 10 days or more) that could contribute sediment to waterways.
- Enclose and cover exposed stockpiles of dirt or other loose, granular construction materials that could contribute sediment to waterways.
- Contain soil and filter runoff from disturbed areas by berms, vegetated filters, silt fencing, straw wattle, plastic sheeting, catch basins, or other means necessary to prevent the escape of sediment from the disturbed area.
- No earth or organic material shall be deposited or placed where it may be directly carried into a stream, marsh, slough, lagoon, or body of standing water.
- Prohibit the following types of materials from being rinsed or washed into the streets, shoulder areas, or gutters: concrete; solvents and adhesives; thinners; paints; fuels; sawdust; dirt; gasoline; asphalt and concrete saw slurry; heavily chlorinated water.
- Dewatering activities shall be conducted according to the provisions of the SWPPP. No dewatered materials shall be placed in local water bodies or in storm drains leading to such bodies without implementation of proper construction water quality control measures.

#### Environmental Measure 3: Dust Control Measures to Protect Air Quality

To control dust emissions generated during construction of future parcels, the following San Joaquin Valley Unified Air Pollution Control District (SJVAPCD) Regulation VIII Control Measures for construction emissions of PM10 are required to be implemented (SJVUAPCD Rule 8021). They include the following:

- Watering—for the purpose of dust control, carry-out, and tracking control—shall be conducted during construction in accordance with the City of Clovis's Storm Water Management Plan (SWMP) and the Project Storm Water Pollution Prevention Plan (SWPPP), if applicable.
- All disturbed areas, including storage piles, which are not being actively utilized for construction purposes, shall be effectively stabilized of dust emissions using water, chemical stabilizer/suppressant, covered with a tarp or other suitable cover or vegetative ground cover.
- All onsite unpaved roads and offsite unpaved access roads shall be effectively stabilized of dust emissions using water or chemical stabilizer/suppressant.
- All land clearing, grubbing, scraping, excavation, land leveling, grading, cut and fill, and demolition activities shall be effectively controlled of fugitive dust emissions utilizing application of water or by presoaking.
- With the demolition of buildings up to six stories in height, all exterior surfaces of the building shall be wetted during demolition.

- When materials are transported off site, all material shall be covered, or effectively wetted to limit visible dust emissions, and at least 2 feet of freeboard space from the top of the container shall be maintained.
- All operations shall limit or expeditiously remove the accumulation of mud or dirt from adjacent public streets at the end of each workday. (The use of dry rotary brushes is expressly prohibited except where preceded or accompanied by sufficient wetting to limit the visible dust emissions.) (Use of blower devices is expressly forbidden.)
- Following the addition of materials to, or the removal of materials from, the surface of outdoor storage piles, said piles shall be effectively stabilized of fugitive dust emissions utilizing sufficient water or chemical stabilizer/suppressant.

#### Environmental Measure 4: Measures to Control Construction-Related Emissions

To comply with guidance from the SJVAPCD, the City will incorporate the following measures into the construction specifications and Project performance specifications:

- The construction contractor will ensure that all diesel engines are shut off when not in use on the premises to reduce emissions from idling.
- The construction contractor will review and comply with SJVAPCD Rules 8011 to 8081 (Fugitive Dust), 4102 (Nuisance), 4601 (Architectural Coatings), and 4641 (Paving and Maintenance Activities). Current SJVAPCD rules can be found at <http://www.valleyair.org/rules/1ruleslist.htm>.
- The construction contractor will use off-road trucks that are equipped with on-road engines, when possible.
- The construction contractor will use light duty cars and trucks that use alternative fuel or are hybrids, if feasible.

#### Environmental Measure 5: Measures to Minimize Exposure of People and the Environment to Potentially Hazardous Materials

Construction of the Project could create a significant hazard to workers, the public, or the environment though the transport, use or disposal of hazardous materials. Small quantities of potentially toxic substances (such as diesel fuel and hydraulic fluids) would be used and disposed of at the site and transported to and from the site during construction. Accidental releases of small quantities of these substances could contaminate soils and degrade the quality of surface water and groundwater, resulting in a public safety hazard.

To minimize the exposure of people and the environment to potentially hazardous materials, the following measures will be included in the construction specifications and Project performance specifications for each parcel that includes the use of hazardous materials, based on the City's standard requirements that construction specifications include descriptions of the SWPPP, dust control measures, and traffic mobilization.

- *Develop and Implement Plans to Reduce Exposure of People and the Environment to Hazardous Conditions Caused by Construction Equipment.* The City/contractor shall demonstrate compliance with Cal OSHA as well as federal standards for the storage and handling of fuels, flammable materials, and common construction-related hazardous materials and for fire prevention. Cal OSHA requirements can be found in the California Labor Code, Division 5, and Chapter 2.5. Federal standards can be found in Occupational Safety and Health Administration Regulations, Standards—29 CFR. These standards are considered to be adequately protective such that significant impacts would not occur. Successful development and implementation of the proper storage and handling of

hazardous materials will be measured against the state and federal requirements as verified by the City of Clovis.

- *Develop and Implement a Hazardous Materials Business Plan in Accordance with the Requirements of the County of Fresno Environmental Health System Hazardous Materials Business Plan Program.* The City shall require contractors to develop and implement a Hazardous Materials Business Plan, if required, in accordance with the requirements of the County of Fresno Environmental Health System (EHS) Hazardous Materials Business Plan Program. The Hazardous Materials Business Plan shall be submitted to the County EHS and the City of Clovis Fire Department prior to construction activities and shall address public health and safety issues by providing safety measures, including release prevention measures; employee training, notification, and evacuation procedures; and adequate emergency response protocols and cleanup procedures. A copy of the Hazardous Materials Business Plan shall be maintained on-site, during site construction activities and as determined by the County EHS.
- *Immediately Contain Spills, Excavate Spill-Contaminated Soil, and Dispose at an Approved Facility.* In the event of a spill of hazardous materials in an amount reportable to the Clovis Fire Department (as established by fire department guidelines), the contractor shall immediately control the source of the leak, contain the spill and contact the Clovis Fire Department through the 9-1-1 emergency response number. If required by the fire department or other regulatory agencies, contaminated soils shall be excavated, treated and/or disposed of off-site at a facility approved to accept such soils.
- As applicable, each Project applicant shall demonstrate compliance with Cal-OSHA for the storage and handling of fuels, flammable materials, and common construction-related hazardous materials and for fire prevention. Cal-OSHA requirements can be found in the California Labor Code, Division 5, Chapter 2.5. Federal standards can be found in Occupational Safety and Health Administration Regulations, Standards—29 CFR.

#### Environmental Measure 6: Measures to Protect Undiscovered Cultural Resources

If buried cultural resources, such as chipped or ground stone, historic debris, building foundations, or human bone, are inadvertently discovered during ground-disturbing activities, the City shall require that work stop in that area and within 100 feet of the find until a qualified archaeologist can assess the significance of the find and, if necessary, develop appropriate treatment measures in consultation with the City of Clovis and other appropriate agencies.

If human remains of Native American origin are discovered during Project construction, it is necessary to comply with state laws relating to the disposition of Native American burials, which fall within the jurisdiction of the Native American Heritage Commission (Pub. Res. Code Sec. 5097). If any human remains are discovered or recognized in any location other than a dedicated cemetery, there will be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:

- The Fresno County coroner has been informed and has determined that no investigation of the cause of death is required; and if the remains are of Native American origin,
  - The descendants of the deceased Native Americans have made a recommendation to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98, or
  - The Native American Heritage Commission was unable to identify a descendant or the descendant failed to make a recommendation within 24 hours after being notified by the commission.

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100) and disturbance of Native American cemeteries is a felony (Section 7052). Section 7050.5 requires that construction or excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If the remains are determined to be Native American, the coroner must contact the California Native American Heritage Commission.

#### **Environmental Measure 7: Develop and Implement a Construction Traffic Control Plan**

If applicable, the construction contractor, in coordination with the City, will prepare a traffic control plan during the final stage of Project design. The purpose of the plan is to insure public safety, provide noise control and dust control. The plan shall be approved by the City of Clovis City Engineer and comply with City of Clovis local ordinances and standard policies.

- The construction traffic control plan will be provided to the City of Clovis for review and approval prior to the start of construction and implemented by construction contractor during all construction phases, and monitored by the City.

#### **Required Project Approvals**

In addition to the approval of the proposed Project by the City of Clovis, the following agency approvals may be required:

- San Joaquin Unified Air Pollution Control District
- Fresno Metropolitan Flood Control District

## ENVIRONMENTAL SETTING, IMPACTS AND MITIGATION MEASURES

### Introduction

This chapter provides an evaluation of the potential environmental impacts of the proposed Project, including the CEQA Mandatory Findings of Significance. There are 18 specific environmental topics evaluated in this chapter including:

- Aesthetics
- Agriculture and Forest Resources
- Air Quality
- Biological Resources
- Cultural Resources
- Geology/Soils
- Greenhouse Gas Emissions
- Hazards & Hazardous Materials
- Hydrology/Water Quality
- Land Use/Planning
- Mineral Resources
- Noise
- Population/Housing
- Public Services
- Recreation
- Transportation/Traffic
- Tribal Cultural Resources
- Utilities/Service Systems

For each issue area, one of four conclusions is made:

- **No Impact:** No project-related impact to the environment would occur with project development.
- **Less Than Significant Impact:** The proposed project would not result in a substantial and adverse change in the environment. This impact level does not require mitigation measures.
- **Less Than Significant with Mitigation Incorporated:** The proposed project would result in an environmental impact or effect that is potentially significant, but the incorporation of mitigation measure(s) would reduce the project-related impact to a less than significant level.
- **Potentially Significant Impact:** The proposed project would result in an environmental impact or effect that is potentially significant, and no mitigation can be identified that would reduce the impact to a less than significant level.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.1 Aesthetics</b> <i>Would the Project:</i>				
a. Have a substantial effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

The City of Clovis is located within the San Joaquin Valley. As a result, the Project site and surrounding areas are predominantly flat. The flat topography of the valley floor provides a horizontal panorama providing vistas of the valley. On clear days, the Sierra Nevada Mountains are visible to the east. Aside from the Sierra Nevada and nearby foothills, there are no outstanding focal points or views from the City.

## Impacts

The Project may result in significant aesthetic impacts if it substantially affects the view of a scenic corridor, vista, or view open to the public, causes substantial degradation of views from adjacent residences, or results in night lighting that shines into adjacent residences.

- The proposed Project will not obstruct federal, state or locally classified scenic areas, historic properties, community landmarks, or formally classified scenic resources such as a scenic highway, national scenic area, or state scenic area. The City of Clovis is located in a predominantly agricultural area at the base of the Sierra Nevada Mountain Range, which provides for aesthetically pleasing views and open spaces. The project site is currently a rural residential use. The Project site proposes an R-1 zoning which permits two-story development, consistent with that allowed in urban development zoning. As such, the implementation of the Project using current zoning standards, would result in a less than significant impact to scenic vistas.
- The Project is located in a predominately urban area. The development of this parcel with single-story and two-story development would have a less than significant impact on scenic resources.
- The project site has rural residential homes and various accessory structures. The implementation of the Project, consistent with the existing and proposed zoning would not substantially degrade the visual character or quality of the site and its surroundings.
- The Project will include on-site project and off-site street lighting, which would introduce a new source of light to the area. The lighting is necessary to provide enough illumination at night for security and traffic purposes. All lighting will be installed per City and PG&E standards. With the inclusion of the following Mitigation Measure, impacts in this category will be reduced to a less than significant impact.

### Mitigation Measure 3.1

The developer shall direct all on-site lighting downward and provide physical shields to prevent direct view of the light source from adjacent residential properties.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.2 Agriculture and forest resources</b> <i>Would the Project:</i>				
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220 (g)) or timberland (as defined in Public Resources Code section 4526)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.3 Air Quality</b> <i>Will the proposal:</i>				
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Violate any air quality standards or contribute to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



precursors)?				
d.	Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e.	Create objectionable odors?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

### SAN JOAQUIN VALLEY AIR BASIN

The City of Clovis (City) is in the central portion of the San Joaquin Valley Air Basin (SJVAB). SJVAB consists of eight counties: Fresno, Kern (western and central), Kings, Tulare, Madera, Merced, San Joaquin, and Stanislaus. Air pollution from significant activities in the SJVAB includes a variety of industrial-based sources as well as on- and off-road mobile sources. These sources, coupled with geographical and meteorological conditions unique to the area, stimulate the formation of unhealthy air.

The SJVAB is approximately 250 miles long and an average of 35 miles wide. It is bordered by the Sierra Nevada in the east, the Coast Ranges in the west, and the Tehachapi mountains in the south. There is a slight downward elevation gradient from Bakersfield in the southeast end (elevation 408 feet) to sea level at the northwest end where the valley opens to the San Francisco Bay at the Carquinez Straits. At its northern end is the Sacramento Valley, which comprises the northern half of California's Central Valley. The bowl-shaped topography inhibits movement of pollutants out of the valley (SJVAPCD 2012a).

### Climate

The SJVAB is in a Mediterranean climate zone and is influenced by a subtropical high-pressure cell most of the year. Mediterranean climates are characterized by sparse rainfall, which occurs mainly in winter. Summers are hot and dry. Summertime maximum temperatures often exceed 100°F in the valley.

The subtropical high-pressure cell is strongest during spring, summer, and fall and produces subsiding air, which can result in temperature inversions in the valley. A temperature inversion can act like a lid, inhibiting vertical mixing of the air mass at the surface. Any emissions of pollutants can be trapped below the inversion. Most of the surrounding mountains are above the normal height of summer inversions (1,500–3,000 feet).

Winter-time high pressure events can often last many weeks, with surface temperatures often lowering into the 30°F. During these events, fog can be present and inversions are extremely strong. These wintertime inversions can inhibit vertical mixing of pollutants to a few hundred feet (SJVAPCD 2012a).

### Ambient Air Quality Standards

The Clean Air Act (CAA) was passed in 1963 by the US Congress and has been amended several times. The 1970 Clean Air Act amendments strengthened previous legislation and laid the foundation for the regulatory scheme of the 1970s and 1980s. In 1977, Congress again added several provisions, including nonattainment requirements for areas not meeting National AAQS and the Prevention of Significant Deterioration program. The 1990 amendments represent the latest in a series of federal efforts to regulate the protection of air quality in the United States. The CAA allows states to adopt more stringent standards or to include other pollution species. The California Clean Air Act (CCAA), signed into law in 1988, requires all areas of the state to achieve and maintain the California AAQS by

the earliest practical date. The California AAQS tend to be more restrictive than the National AAQS, based on even greater health and welfare concerns.

These National and California AAQS are the levels of air quality considered to provide a margin of safety in the protection of the public health and welfare. They are designed to protect “sensitive receptors,” those most susceptible to further respiratory distress, such as asthmatics, the elderly, very young children, people already weakened by other disease or illness, and persons engaged in strenuous work or exercise. Healthy adults can tolerate occasional exposure to air pollutant concentrations considerably above these minimum standards before adverse effects are observed.

Both California and the federal government have established health-based AAQS for seven air pollutants. As shown in Table 5.3-1, *Ambient Air Quality Standards for Criteria Pollutants*, these pollutants are ozone (O<sub>3</sub>), nitrogen dioxide (NO<sub>2</sub>), carbon monoxide (CO), sulfur dioxide (SO<sub>2</sub>), coarse inhalable particulate matter (PM<sub>10</sub>), fine inhalable particulate matter (PM<sub>2.5</sub>), and lead (Pb). In addition, the state has set standards for sulfates, hydrogen sulfide, vinyl chloride, and visibility-reducing particles. These standards are designed to protect the health and welfare of the populace with a reasonable margin of safety.

**TABLE 3.4-1  
FEDERAL AND STATE AMBIENT AIR QUALITY STANDARDS**

<b>Pollutant</b>	<b>Averaging Time</b>	<b>Federal Primary Standard</b>	<b>State Standard</b>
Ozone	1-Hour	--	0.09 ppm
	8-Hour	0.075 ppm	0.07 ppm
Carbon Monoxide	8-Hour	9.0 ppm	9.0 ppm
	1-Hour	35.0 ppm	20.0 ppm
Nitrogen Dioxide	Annual	0.053 ppm	0.03 ppm
	1-Hour	0.100 ppm	0.18 ppm
Sulfur Dioxide	Annual	0.03 ppm	--
	24-Hour	0.14 ppm	0.04 ppm
	1-Hour	0.075 ppm	0.25 ppm
PM <sub>10</sub>	Annual	--	20 ug/m <sup>3</sup>
	24-Hour	150 ug/m <sup>3</sup>	50 ug/m <sup>3</sup>
PM <sub>2.5</sub>	Annual	15 ug/m <sup>3</sup>	12 ug/m <sup>3</sup>
	24-Hour	35 ug/m <sup>3</sup>	--
Lead	30-Day Avg.	--	1.5 ug/m <sup>3</sup>
	3-Month Avg.	1.5 ug/m <sup>3</sup>	--

Notes: ppm = parts per million; ug/m<sup>3</sup> = micrograms per cubic meter.

Source: California Air Resources Board, 2008. *Ambient Air Quality Standards* (4/01/08), <http://www.arb.ca.gov/aqs/aaqs2.pdf>.

In addition to the criteria pollutants discussed above, toxic air contaminants (TACs) are another group of pollutants of concern. TACs are injurious in small quantities and are regulated despite the absence of criteria documents. The identification, regulation and monitoring of TACs is relatively recent compared to that for criteria pollutants. Unlike criteria pollutants, TACs are regulated on the basis of risk rather than specification of safe levels of contamination.

## Attainment Status

The air quality management plans prepared by SJVAPCD provide the framework for SJVAB to achieve attainment of the state and federal AAQS through the SIP. Areas are classified as attainment or nonattainment areas for particular pollutants, depending on whether they meet the ambient air quality standards. Severity classifications for ozone nonattainment range in magnitude from marginal, moderate, and serious to severe and extreme.

At the federal level, the SJVAPCD is designated as extreme nonattainment for the 8-hour ozone standard, attainment for PM<sub>10</sub> and CO, and nonattainment for PM<sub>2.5</sub>. At the state level, the SJVAB is designated nonattainment for the 8-hour ozone, PM<sub>10</sub>, and PM<sub>2.5</sub> standards. The SJVAB has not attained the federal 1-hour ozone, although this standard was revoked in 2005.

## Impacts

The SJVUAPCD has established the following standards of significance (SJVUAPCD, 1998). A project is considered to have significant impacts on air quality if:

- 1) A project results in new direct or indirect emissions of ozone precursors (ROG or NO<sub>x</sub>) in excess of 10 tons per year.
- 2) Any project with the potential to frequently expose members of the public to objectionable odors will be deemed to have a significant impact.
- 3) Any project with the potential to expose sensitive receptors (including residential areas) or the general public to substantial levels of toxic air contaminants would be deemed to have a potentially significant impact.
- 4) A project produces a PM<sub>10</sub> emission of 15 tons per year (82 pounds per day).

While the SJVUAPCD CEQA guidance recognizes that PM<sub>10</sub> is a major air quality issue in the basin, it has to date not established numerical thresholds for significance for PM<sub>10</sub>. However, for the purposes of this analysis, a PM<sub>10</sub> emission of 15 tons per year (82 pounds per day) was used as a significance threshold. This emission is the SJVUAPCD threshold level at which new stationary sources requiring permits for the SJVUAPCD must provide emissions "offsets". This threshold of significance for PM<sub>10</sub> is consistent with the SJVUAPCD's ROG and NO<sub>x</sub> thresholds of ten tons per year which are also the offset thresholds established in SJVUAPCD Rule 2201 New and Modified Stationary Source Review Rule.

The SJVUAPCD significance threshold for construction dust impacts is based on the appropriateness of construction dust controls, including compliance with its Regulation VIII fugitive PM<sub>10</sub> Prohibitions. The SJVUAPCD guidelines provide feasible control measures for construction emission of PM<sub>10</sub> beyond that required by SJVUAPCD regulations. If the appropriate construction controls are to be implemented, then air pollutant emissions for construction activities would be considered less than significant.

- a. The Project site is located within the San Joaquin Valley Air Basin (SJVUAPCD), which is a "nonattainment" area for the federal and state ambient air quality standards for ozone and PM<sub>10</sub>. The Federal Clean Air Act and the California Clean Air Act require areas designated as nonattainment to reduce emissions until standards are met. The proposed Project would not obstruct implementation of an air quality plan; however, temporary air quality impacts could result from construction activities. The proposed Project would not create a significant impact over the current levels of ozone and PM<sub>10</sub> or result in a violation of any applicable air quality standard. The Project is not expected to conflict with the SJVUAPCD's attainment plans. The Project will be subject to the SJVUAPCD's Regulation VIII to reduce PM<sub>10</sub> emissions and subject to Environmental Measure 3: Dust Control Measures to Protect Air Quality. With the incorporation of these existing measures, the Project will have a less than significant impact.

- b. The proposed Project would result in short-term construction related emissions (dust, exhaust, etc.). The SJVAB currently exceeds existing air quality standards for ozone and the State Standard for PM<sub>10</sub>. However, as with all construction projects, the Project will be subject to the rules and regulations adopted by the SJVUAPCD to reduce emissions throughout the San Joaquin Valley and will be subject to Environmental Measure 4: Measures to Control Construction-Related Emissions. Therefore, the Project would create a less than significant impact with existing measures incorporated.
- c. See responses to 3.3a and b above.
- d. The existing sensitive receptors near the proposed Project include residences. The proposed Project may subject sensitive receptors to pollutant concentrations due to construction activities. The use of construction equipment would be temporary and all equipment is subject to permitting requirements of the SJVUAPCD. This impact is considered less than significant.
- e. Objectionable odors are possible during site preparation and construction. However, the odors are not expected to be persistent or have an adverse effect on residents or other sensitive receptors in the Project's vicinity. No objectionable odors are anticipated after constructions activities are complete; therefore, the Project is expected to have a less than significant impact.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.4 Biological Resources</b> <i>Will the proposal result in impacts to:</i>				
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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## Environmental Setting

The Project site is currently a rural residential use. The site is bounded by urban development to the west, north, east, and water basin to the south.

## Impacts

The Project would have a significant effect on the biological resources if it would:

- 1) Interfere substantially with the movement of any resident or migratory fish or wildlife species;
- 2) Substantially diminish habitat for fish, wildlife or plants; or
- 3) Substantially affect a rare, threatened, or endangered species of animal or plant or the habitat of the species.

*CEQA Guidelines Section 15380 further provides that a plant or animal species may be treated as “rare or endangered” even if not on one of the official lists if, for example, it is likely to become endangered in the foreseeable future. This includes listed species, rare species (both Federal and California), and species that could reasonably be construed as rare.*

- a. According to an assessment of the site performed by Argonaut Ecological Consulting, Inc., the study area does not support aquatic habitat, wetlands, or waters of the U.S. Additionally, no evidence of any raptor nest(s) was observed on the property. Impacts in this category may be mitigated to a less than significant level with the mitigation measure listed below.
- b. There is no riparian habitat or other sensitive natural communities identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or US Fish and Wildlife Service within the project area. Therefore, the proposed project would not have a substantial adverse effect on riparian or other sensitive natural habitat.
- c. The project would not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act, including, but not limited to, marsh, vernal pool, coastal, etc., through direct removal, filling, hydrological interruption, or other means.
- d. The project would not interfere with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites.
- e. The project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.
- f. The project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan.

## Mitigation Measure

- **Mitigation Measure 3.4a:** If any trees or shrubs are to be removed during the nesting season (Feb – Aug) then a preconstruction survey should be conducted within 30-15 days of commencement of construction. If vegetation removal occurs outside the nesting period then no preconstruction survey is needed.

The project is not expected to create any significant impacts to biological resources with the inclusion of a mitigation measure.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.5 Cultural Resources</b> <i>Will the proposal:</i>				
a. Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

Mitigation Measures in the Clovis General Plan Program Environmental Impact Report, requires evaluation of the site for archaeological, paleontological, and historical structure sensitivity. These mitigation measures, which identify archaeological and paleontological levels of sensitivity, list historically important sites identified by the Fresno County Library. The Project is not anticipated to impact any cultural resources; however, the Project could lead to the disturbance of undiscovered archaeological and paleontological resources. General Plan Conservation Element Goal 2, acts to preserve historical resources, and mitigation measures adopted in association with the General Plan PEIR help to reduce potential impacts to a less than significant level. The project was evaluated by Peak & Associates, Inc. who concluded that no archeological resources or historic properties exist on the property. However, if artifacts, bone, stone, or shell are discovered, an archeologist should be consulted for in field evaluation of the discovery.

Pursuant to requirements of SB18 and AB52, a notification was sent to the Native American Heritage Commission for review with local tribes for cultural significance.

## Impacts

The Project may have a significant impact on cultural resources if it causes substantial adverse changes in the significance of a historical or archaeological resource as set forth by the California Register of Historic Places and Section 106 of the National Historic Preservation Act; directly or indirectly destroys a unique paleontological resource or site or unique geologic feature; or disturbs any human remains, including those interred in formal cemeteries. A cultural study was performed by Peak & Associates, Inc. and concluded that there were no historic sites identified within the Project area.

- b. The proposed Project is not anticipated to cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5 of the CEQA Guidelines or directly or indirectly destroy a unique paleontological resource or site or unique geological features. There are no known archaeological or paleontological resources located in the areas of construction. These areas have been previously disturbed; however with ground disturbance there is chance

that previously undiscovered archaeological and/or paleontological resources could be uncovered. The Project is subject to Environmental Measure 6: Measures to Protect Undiscovered Cultural Resources. Therefore, impacts will be less than significant.

c&d. The site has not been identified as containing areas where human remains may be located. However, Public Resources Code PRC Section 5097.98, provides procedures in case of accidental finds. Should any human remains be discovered at any time, all work is to stop and the County Coroner must also be immediately notified pursuant to the State Health and Safety Code, Section 7050.5 and the State Public Resources Code, Section 5097.98. If the remains are determined to be Native American, guidelines of the Native American Heritage Commission shall be adhered to in the treatment and disposition of the remains.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.6 Geology and Soils</b> <i>Will the Project:</i>				
a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i). Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The General Plan EIR identified no geologic hazards or unstable soil conditions known to exist on the Project site. There are several known faults that exist close enough to the Project to cause potential damage to structures or individuals. The City of Clovis has adopted the California Building Code to

govern all construction within the City, further reducing potential impacts in this category by ensuring that development is designed to withstand seismic or other geologic hazards. Furthermore, the structure will be designed, approved and built to Office of Statewide Health Planning and Development (OSHDP) codes and standards.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.7 Greenhouse Gas Emissions</b> <i>Will the proposal:</i>				
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

Gases that trap heat in the atmosphere are referred to as greenhouse gases (GHGs) because they capture heat radiated from the sun as it is reflected back into the atmosphere, much like a greenhouse does. The accumulation of GHG's has been implicated as a driving force for global climate change. Definitions of climate change vary between and across regulatory authorities and the scientific community, but in general can be described as the changing of the earth's climate caused by natural fluctuations and anthropogenic activities which alter the composition of the global atmosphere.

Individual Projects contribute to the cumulative effects of climate change by emitting GHGs during construction and operational phases. The principal GHGs are carbon dioxide, methane, nitrous oxide, ozone, and water vapor. While the presence of the primary GHGs in the atmosphere are naturally occurring, carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), and nitrous oxide (N<sub>2</sub>O) are largely emitted from human activities, accelerating the rate at which these compounds occur within earth's atmosphere. Carbon dioxide is the "reference gas" for climate change, meaning that emissions of GHGs are typically reported in "carbon dioxide-equivalent" measures. Emissions of carbon dioxide are largely by-products of fossil fuel combustion, whereas methane results from off-gassing associated with agricultural practices and landfills. Other GHGs, with much greater heat-absorption potential than carbon dioxide, include hydrofluorocarbons, perfluorocarbons, and sulfur hexafluoride, and are generated in certain industrial processes.

There is international scientific consensus that human-caused increases in GHGs have and will continue to contribute to global warming, although there is uncertainty concerning the magnitude and rate of the warming. Potential global warming impacts in California may include, but are not limited to, loss in snow pack, sea level rise, more extreme heat days per year, more high ozone days, more large forest fires, and more drought years.<sup>1</sup> Secondary effects are likely to include a global rise in sea level, impacts to agriculture, changes in disease vectors, and changes in habitat and biodiversity.

In 2005, in recognition of California's vulnerability to the effects of climate change, Governor Schwarzenegger established Executive Order S-3-05, which sets forth a series of target dates by which statewide emission of greenhouse gases (GHG) would be progressively reduced, as follows: by 2010,

<sup>1</sup> California Air Resources Board (ARB), 2006, Climate Change website. (<http://www.arb.ca.gov/cc/120106workshop/intropres12106.pdf>).



reduce GHG emissions to 2000 levels; by 2020, reduce GHG emissions to 1990 levels; and by 2050, reduce GHG emissions to 80 percent below 1990 levels. In 2006, California passed the California Global Warming Solutions Act of 2006 (AB 32), which requires the California Air Resources Board (CARB) to design and implement emission limits, regulations, and other measures, such that feasible and cost-effective statewide GHG emissions are reduced to 1990 levels by 2020 (representing a 25 percent reduction in emissions).

In April 2009, the California Office of Planning and Research published proposed revisions to the California Environmental Quality Act to address GHG emissions. The amendments to CEQA indicate the following:

- Climate action plans and other greenhouse gas reduction plans can be used to determine whether a project has significant impacts, based upon its compliance with the plan.
- Local governments are encouraged to quantify the greenhouse gas emissions of proposed projects, noting that they have the freedom to select the models and methodologies that best meet their needs and circumstances. The section also recommends consideration of several qualitative factors that may be used in the determination of significance, such as the extent to which the given project complies with state, regional, or local GHG reduction plans and policies. OPR does not set or dictate specific thresholds of significance. Consistent with existing CEQA Guidelines, OPR encourages local governments to develop and publish their own thresholds of significance for GHG impacts assessment.
- When creating their own thresholds of significance, local governments may consider the thresholds of significance adopted or recommended by other public agencies, or recommended by experts.
- New amendments include guidelines for determining methods to mitigate the effects of greenhouse gas emissions in Appendix F of the CEQA Guidelines.
- OPR is clear to state that “to qualify as mitigation, specific measures from an existing plan must be identified and incorporated into the project; general compliance with a plan, by itself, is not mitigation.”
- OPR’s emphasizes the advantages of analyzing GHG impacts on an institutional, programmatic level. OPR therefore approves tiering of environmental analyses and highlights some benefits of such an approach.
- Environmental impact reports (EIRs) must specifically consider a project's energy use and energy efficiency potential.

On December 30, 2009, the Natural Resources Agency adopted the proposed amendments to the CEQA Guidelines in the California Code of Regulations.

In December 2009, the San Joaquin Valley Air Pollution Control District (SJVAPCD) adopted guidance for addressing GHG impacts in its *Guidance for Valley Land Use Agencies in Addressing GHG Impacts for New Projects Under CEQA*. The guidance relies on performance-based standards, otherwise known as Best Performance Standards (BPS), to assess significance of project-specific GHG emissions on global climate change during the environmental review process. Projects can reduce their GHG emission impacts to a less than significant level by implementing BPS. Projects can also demonstrate compliance with the requirements of AB 32 by demonstrating that their emissions achieve a 29% reduction below “business as usual” (BAU) levels. BAU is a projected GHG emissions inventory assuming no change in existing business practices and without considering implementation of any GHG emission reduction measures.

## Significance Criteria

The SJVAPCD's *Guidance for Valley Land Use Agencies in Addressing GHG Impacts for New Projects Under CEQA* provides initial screening criteria for climate change analyses, as well as draft guidance for the determination of significance.

The effects of project-specific GHG emissions are cumulative, and therefore climate change impacts are addressed as a cumulative, rather than a direct, impact. The guidance for determining significance of impacts has been developed from the requirements of AB 32. The guideline addresses the potential cumulative impacts that a project's GHG emissions could have on climate change. Since climate change is a global phenomenon, no direct impact would be identified for an individual land development project. The following criteria are used to evaluate whether a project would result in a significant impact for climate change impacts:

- Does the project comply with an adopted statewide, regional, or local plan for reduction or mitigation of GHG emissions? If no, then
- Does the project achieve 29% GHG reductions by using approved Best Performance Standards? If no, then
- Does the project achieve AB 32 targeted 29% GHG emission reductions compared with BAU?

Projects that meet one of these guidelines would have less than significant impact on the global climate.

Because BPS have not yet been adopted and identified for specific development projects, and because neither the ARB nor the City of Clovis has not yet adopted a plan for reduction of GHG with which the Project can demonstrate compliance, the goal of 29% below BAU for emissions of GHG has been used as a threshold of significance for this analysis.

An Air Quality and Greenhouse Gas Analysis Report was performed by Mitchell Air Quality Consulting, dated September 29, 2017. The evaluation concluded that the project is consistent with the goals of the ARB and impact is less than significant.

## Impacts

- a. A significance threshold of 29% below "business as usual" levels is considered to demonstrate that a project would be consistent with the goals of AB 32. An Air Quality and Greenhouse Gas Analysis Report was performed by Mitchell Air Quality Consulting. The report concludes that impacts related to conflicts with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases is less than significant.
- b. An Air Quality and Greenhouse Gas Analysis Report was prepared for the Project by Mitchell Air Quality Consulting. The evaluation addresses the potential for greenhouse gas emissions during construction and after full build out of the proposed Project.

GHG emissions were calculated for BAU conditions and for conditions with implementation of GHG emission reduction project design features proposed by the Project applicants. The report concludes that the proposed Project would not result in any direct impacts to the global climate, and cumulative impacts would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.8 Hazards and Hazardous Materials</b> <i>Will the Project:</i>				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The General Plan Environmental Safety Element Policies were adopted to reduce the potential safety risks associated with hazardous materials and urban development. The proposed Project does not involve activities related to the handling or transport of hazardous materials other than substances to be used during construction. The Project does not involve the construction or operation of hazardous material facilities.

Further, the Project site is not listed as part of the State of California's Hazardous Waste and Substances Site List. Field review by City staff did not identify any obvious signs of contamination.

## Impacts

- b. Construction activities that could involve the release of hazardous materials associated with the Project would include maintenance of on-site construction equipment, which could lead to minor fuel and oil spills. The use and handling of hazardous materials during construction activities would occur in accordance with applicable federal, state, and local laws. Therefore, these impacts are considered less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.9 Hydrology and Water Quality</b> <i>Will the proposal result in:</i>				
a. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Place within a 100-year flood hazard area structures that would impede or redirect	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

flood flows?				
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The Plan Area is within the drainages of three streams: Dry Creek, Dog Creek, and Redbank Slough. On the north, Dry Creek discharges into the Herndon Canal in the City of Fresno west of Clovis. South of Dry Creek, Dog Creek is a tributary of Redbank Slough, which discharges into Mill Ditch south of Clovis (USGS 2012). A network of storm drains in the City and the Plan Area discharges into 31 retention basins, most of which provide drainage for a one- to two-square-mile area. Most of the Plan Area east and northeast of the City is not in drainage areas served by retention basins. Those areas drain to streams that discharge into reservoirs, including Big Dry Creek Reservoir in the north-central part of the Plan Area and Redbank Creek Dam and Reservoir in the southeast part of the Plan Area. Fancher Creek Dam and Reservoir are near the east Plan Area boundary.

The Project is located within the Fresno Metropolitan Flood Control District (FMFCD) boundary, and subject to its standards and regulations. Detention and retention basins in the FMFCD's flood control system are sized to accommodate stormwater from each basin's drainage area in builtout condition. The current capacity standard for FMFCD basins is to contain runoff from six inches of rainfall during a ten-day period and to infiltrate about 75 to 80 percent of annual rainfall into the groundwater basin (Rourke 2014). Basins are highly effective at reducing average concentrations of a broad range of contaminants, including several polyaromatic hydrocarbons, total suspended solids, and most metals (FMFCD 2013). Pollutants are removed by filtration through soil, and thus don't reach the groundwater aquifer (FMFCD 2014). Basins are built to design criteria exceeding statewide Standard Urban Stormwater Mitigation Plan (SUSMP) standards (FMFCD 2013). The urban flood control system provides treatment for all types of development—not just the specific categories of development defined in a SUSMP—thus providing greater water quality protection for surface water and groundwater than does a SUSMP.

In addition to their flood control and water quality functions, many FMFCD basins are used for groundwater recharge with imported surface water during the dry season through contracts with the Fresno Irrigation District (FID) and the cities of Fresno and Clovis; such recharge totaled 29,575 acre feet during calendar year 2012 (FMFCD 2013).

The pipeline collection system in the urban flood control system is designed to convey the peak flow rate from a two-year storm.

Most drainage areas in the urban flood control system do not discharge to other water bodies, and drain mostly through infiltration into groundwater. When necessary, FMFCD can move water from a basin in one such drainage area to a second such basin by pumping water into a street and letting water flow in curb and gutter to a storm drain inlet in an adjoining drainage area (Rourke 2014). Two FMFCD drainage areas discharge directly to the San Joaquin River, and three to an irrigation canal, without storage in a basin. Six drainage areas containing basins discharge to the San Joaquin River, and another 39 basins discharge to canals (FMFCD 2013).

A proposed development that would construct more impervious area on its project site than the affected detention/retention basin is sized to accommodate is required to infiltrate some stormwater onsite, such as through an onsite detention basin or drainage swales (Rourke 2014).

The Big Dry Creek Reservoir has a total storage capacity of about 30 thousand acre-feet (taf) and controls up to 230-year flood flows. Fancher Creek Dam and Reservoir hold up to 9.7 taf and controls up to 200-year flood flows. Redbank Creek Dam and Reservoir hold up to 1 taf and controls up to 200-year flood flows.

## **Groundwater**

Clovis is underlain by the Kings Groundwater Basin that spans 1,530 square miles of central Fresno County and small areas of northern Kings and Tulare counties. Figure 5.9-4, Kings Groundwater Basin, shows that the basin is bounded on the north by the San Joaquin River, on the west by the Delta-Mendota and Westside Subbasins, the south by the Kings River South Fork and the Empire West Side Irrigation District, and on the east by the Sierra Nevada foothills. Depth to groundwater in 2016 ranged from 196.5 feet at the northwest City boundary to 69.5 feet at the southeast City boundary (Clovis 2016), 25 feet at the southeast SOI boundary, and about 20 feet at the eastern Plan Area boundary (FID 2013). The Kings Subbasin has been identified as critically overdrafted (Provost & Pritchard 2011).

In the Plan Area, groundwater levels are monitored by the City of Clovis and FID. The overall area has not experienced land subsidence due to groundwater pumping since the early 1900s (FID 2006). Subsidence occurs when underground water or natural resources (e.g., oil) are pumped to the extent that the ground elevation lowers. No significant land subsidence is known to have occurred in the last 50 years as a result of land development, water resources development, groundwater pumping, or oil drilling (FID 2006). The City has identified a localized area of subsidence of 0.6 feet in the vicinity of Minnewawa and Herndon Avenues within the last 14 years (Clovis 2016). Regional ground subsidence in the Plan Area was mapped as less than one foot by the US Geological Survey in 1999 (Galloway and Riley 1999). Groundwater levels in the San Joaquin Valley are forecast to hit an all-time low in 2014 (UCCHM 2014).

### **Groundwater Recharge**

New development in accordance with the General Plan Update would increase the amount of impervious surface in the Plan Area, potentially affecting the amount of surface water that filters into the groundwater supply. Groundwater levels are monitored in the Plan Area by the FID and the City of Clovis. As described in the 2015 City of Clovis Urban Water Management Plan (UWMP), groundwater recharge occurs both naturally and artificially throughout the City. The Kings Groundwater Basin area is recharged through a joint effort between the Cities of Clovis and Fresno and the FID (CDWR 2006). Approximately 8,400 acre-feet per year (afy) of water are intentionally recharged into the Kings Groundwater Basin by the City of Clovis, and approximately 7,700 afy of water naturally flow into groundwater in the City's boundaries (Clovis 2011).

The FMFCD urban stormwater drainage system would provide groundwater infiltration for runoff from developed land uses in detention basins in the drainage system service area. The process of expansion of the FMFCD urban storm drainage system is explained above under the analysis of the 2035 Scenario under Impact 5.9-1.

Projects pursuant to the proposed General Plan Update and developed outside of the FMFCD urban stormwater drainage system would be required to meet the requirements of NPDES regulations, including the implementation of BMPs to improve water retention and vegetation on project sites.

## Executive Order to Reduce Water Use

The new Clovis General Plan PEIR indicates that the City would have adequate water supply to meet the demand of planned development through the 2035 planning horizon. The current drought situation through mid-2014 was considered and addressed in the General Plan PEIR.

During the 2015 drought the Governor's April 1, 2015 executive order and the resulting State Water Resources Board regulations require that urban water users reduce water use by at least 25 percent (36 percent for the City of Clovis), and was implemented by the City of Clovis through a number of measures. These measures included:

- Establishment of mandatory reductions for all users and implementation of penalties for failure to comply
- Restriction of outdoor water use to two days per week
- Increased enforcement of water conservation rules
- Reducing water use on City landscaping by at least 36 percent below 2013 levels
- Relaxing enforcement of all neighborhood preservation ordinances that could require ongoing landscape irrigation
- Increased public outreach

During 2016 due to improved water conditions, the restrictions were relaxed by the State if the water supplier could self-certify adequate water supplies for the next three dry years. Clovis was able to meet this requirement and subsequently relaxed water conservation requirements for 2016.

It is noted that all landscaping associated with the Project will comply with applicable drought tolerant regulations including the City's adopted Water Efficient Landscape Ordinance. Since the residents within the Project are subject to and will comply with water use reduction requirements, the Project would not result in any significant adverse impacts related to water supply and quality or a substantial increase in the severity of the impacts identified in the Program EIR.

## **Impacts**

The proposed Project may result in significant impacts if it would violate any water quality standards or waste discharge requirements; substantially deplete groundwater supplies or interfere substantially with ground water recharge; substantially alter the existing drainage pattern if the site; substantially increase the rate or amount of surface runoff; exceed the existing or planned storm water drainage system; provide substantial additional sources of polluted runoff; degrade water quality; place housing or structures within a 100-year flood hazard area; expose people or structures to risks of flooding; and inundation from seiche, tsunami, or mudflow.

The General Plan Program Environmental Impact Report identified significant and unavoidable impacts for both the 2035 scenario and full build-out of the General Plan Area and statement of overriding considerations was adopted.

- a. Development of the Project site would be required to comply with all City of Clovis ordinances and standard practices which assure proper grading and storm water drainage into the approved storm water systems. The Project would also be required to comply with Fresno County Health Department requirements, FMFCD regulations, and all local, state, and federal regulations to prevent any violation of water quality standards or waste discharge requirements. This project would not violate any water quality standards or waste discharge requirements.
- b. The Project would not deplete groundwater supplies or interfere with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level due to the Project. The General Plan Program EIR identified a net decrease in ground water aquifer throughout the region, however, because the City's domestic water system

is primarily served through surface water via existing water entitlements, the loss of aquifer is less than significant. The City has developed a surface water treatment plant (opened in June, 2004) that reduces the need for pumped groundwater, and has also expanded the municipal groundwater recharge facility. The Projects impacts to groundwater are less than significant.

- c. The Project would not alter the existing drainage pattern of the site or area through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site. Therefore, impacts are less than significant.
- d. The Project would not alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on or off-site. Therefore, impacts are less than significant.
- e, f. The proposed Project would add insignificant amounts of new impervious surfaces. These new surfaces would not significantly change absorption rates or drainage patterns that would result in a significant impact. Construction-related activities could result in degradation to water quality. Construction activities typically involve machines that have the potential to leak hazardous materials that may include oil and gasoline.
- g. The Project would not place housing within a 100-year flood hazard area as mapped on the latest federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. The Fresno Metropolitan Flood Control District has policies in place to address projects within a 100-year flood hazard area. The FMFCD has noted that this project is not located in a 100-year flood area.
- h. The Project would not place within a 100-year flood hazard area structures that would impede or redirect flood flows. The Fresno Metropolitan Flood Control District has policies in place to address projects within a 100-year flood hazard area. The FMFCD has noted that this project is not located in a 100-year flood area.
- i. The Project would not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.10 Land Use and Planning</b> <i>Will the proposal:</i>				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the General Plan, Herndon-Shepherd Specific Plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The Project is consistent with the land use policies of the City, including the Clovis General Plan and Zoning Ordinance; therefore impacts in this category are avoided.



	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.11 Mineral Resources</b> <i>Will the proposal:</i>				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.12 Noise</b> <i>Will the proposal result in:</i>				
a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The ambient noise environment in the immediate Project vicinity is defined primarily by local traffic, animals, residents and natural noise associated with a rural residential environment. The Clovis Development Code (Section 9.22.080) sets forth land use compatibility criteria for various community noise levels.

## Impacts

- a. The construction of the proposed Project may result in temporary construction-related noise impacts. Construction noise would be short-term in nature and only occur for a limited duration. These impacts have been addressed in the General Plan and with the Clovis Municipal Code restrictions on hours of construction, temporary noise would be less than significant.
- b. Potential groundborne vibration or groundborne noise levels would most likely occur as part of construction activities associated with the Project. The construction activities would be temporary in nature and no persons would be exposed for extended periods of time. Therefore, impacts associated with exposure to, or generation of, groundborne vibration or noises are considered to be less than significant.
- c. The proposed Project could result in a permanent increase in the ambient noise levels due to increased traffic, population and equipment related to single-family development, but the impacts are less than significant.
- d. A temporary increase in ambient noise levels would occur in association with construction activities. However, construction noise would be short-term in nature and only occur for a limited duration. Therefore, impacts are considered less than significant.
- e. The proposed Project site is not located within an airport land use plan area. The proposed Project site is approximately 4.71 miles northeast of the Fresno Yosemite International Airport. The project site sits outside of the 60-65 CNEL noise contour of the airport. Therefore, the Project would not expose people to excessive airport or airstrip noise.
- f. The Project is not located within the vicinity of a private airstrip.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.13 Population and Housing</b> <i>Would the Project:</i>				
a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

The proposed Project will generate or result in increased population in the area. The project includes a 123-lot single-family planned residential development. The number of new residents in the area would equal approximately 332 residents.

## Impacts

- a. The Project could add 123 units to the area equating to approximately 332 new residents. It is anticipated that this development would introduce a number of new citizens to the City of Clovis, however it is considered to be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.14 Public Services</b> <i>Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</i>				
a. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

The Project would not result in a significant increased demand for public services. The Project is consistent with the Clovis General Plan and associated utility planning documents; therefore impacts in this category are not anticipated to be significant.

## Impacts

- a. The Project would have a less than significant increase in demand for fire protection services. In the event that a fire occurs during construction, the Clovis Fire Department would respond. However, no additional personnel or equipment would be needed as a result of the Project. Therefore, impacts to fire services are considered less than significant.
- b. The proposed project would not result in substantial adverse physical impacts associated with the provision of police protection. This Project will be located within the City of Clovis and police protection services will be provided by the City of Clovis Police Department. No significant impacts to police services are anticipated as a result of this project.
- c. The Project site is located within the Clovis Unified School District. The Clovis Unified School District levies a per square foot school facilities fee to help defray the impact of residential development. The project is subject to the fees in place at the time fee certificates are obtained. The school facility fee paid by the developer to the school district reduces any potential impact to a less than significant level.
- d. Development of this site with 123 single-family homes will introduce new residents to the community. The Parks and Recreation Element of the General Plan requires a specific ratio of park area to residents. A park impact fee is required for each new unit and is then used to construct community parks to meet these goals. The impacts in this category are less than significant since all units built in this Project will contribute to the park funds.

- e. The Project would have a less than significant impacts on other public facilities.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.15 Recreation</b> <i>Will the proposal:</i>				
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

The project includes a 123-lot single-family planned residential development.

## Impacts

- a. The proposed Project would not create new demand for any type of recreational facilities that were no already identified in the parks and recreation Element of the General Plan. The General Plan requires that all development contribute a proportionate share toward the development of parks throughout the community. The Project would have a less than significant impact to recreation.
- b. The Herndon-Shepherd Specific Plan requires a minimum of a one acre mini-park be dedicated and improved within this quarter section where Vesting Tentative Tract Map TM6202 is being proposed. The developer will be required to contribute a proportionate share towards the acquisition and development of the neighborhood park. The Project would have a less than significant impact to recreation.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.16 Transportation/Circulation</b> <i>Will the proposal result in:</i>				
a. Exceed the capacity of the existing circulation system, based on an applicable measure of effectiveness (as designed in a general plan policy, ordinance, etc.), taking into account all relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Result in a change in traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Environmental Setting

Roadways are the primary existing transportation facilities in the vicinity of the Project area. Although, non-automobile travel does occur in the area, separate facilities for transit, bicycles, or pedestrians are limited. The General Plan classifies major streets in the area as well as designates where bike lanes and pedestrian paths will occur.

## Impacts

- The site is currently a rural residential and agricultural use. The Project proposal includes a 123-unit single-family planned residential development. New traffic will be introduced to the area as a result of the Project. However, impacts are considered less than significant.
- The current and proposed improvements with the project can accommodate the additional traffic, and that impacts are considered less than significant.
- The proposed Project may result in a temporary change in traffic patterns due to construction; however, the Project will be required to comply with Section 7.15 Traffic Control, Public Convenience, and Safety of the Clovis Standard Specification and Standard Drawings will reduce impacts to a less than significant level.
- The City Engineer states that the location of drive access points are adequate in addressing the City Standards and has determined that impacts in this category are less than significant.
- The Project will not result in inadequate emergency access. The Project will be required to comply with Section 7.15 Traffic Control, Public Convenience, and Safety of the Clovis Standard Specification and Standard Drawings, which requires contractors to keep emergency services informed of the location and progress of work.
- The Project will not conflict with adopted policies, plans, or programs supporting alternative transportation.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.17 Tribal Cultural Resources</b> <i>Would the project cause a substantial adverse change in the significance of a Tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape sacred place, or object with cultural value to a California Native American tribe, and that is:</i>				
a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Section 5024.1 for the purposes of this paragraph, the lead agency shall consider the significance of the resource to a California Native American Tribe?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

On September 25, 2014, Governor Jerry Brown signed Assembly Bill AB52, which intends to protect a new class of resource under CEQA. This new class is Tribal Cultural Resources and provides an avenue to identify Tribal Cultural resources through a consultation process, similar to SB18. However, unlike SB18, where consultation is required for all General Plan and Specific Plan Amendments, AB52, applies to all projects where a Notice of Determination is filed. Furthermore, the consultation process is required to be complete prior to filing a Notice of Intent.

## Impacts

- a. A cultural resource assessment was prepared by Peak & Associates, Inc. (submitted September 27, 2017), for the project area. The analysis concluded that the Project is not listed in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k).
- b. Per AB52, the Project was mailed to all Tribes listed on the Native American Heritage contact list, dated October 4, 2017. Tribes were provided an opportunity to request consultation. The City did receive one comment. The General Plan EIR includes existing measures which provide procedures in the case where resources are discovered. Therefore, impacts in this category are considered less than significant.

<b>3.18 Utilities and Service Systems</b> <i>Will the proposal:</i>	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Result in a determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

Pacific Gas & Electric (PG&E) provides electricity and natural gas services in the City of Clovis. AT&T/SBC provides telephone service to the City.

The City's water supply sources include groundwater drawn from the Kings Sub-basin of the San Joaquin Valley Groundwater Basin and treated surface water from the Fresno Irrigation District (MID). Surface water is treated at the City of Clovis Surface Water Treatment Facility.

The City of Clovis provides sewer collection service to its residents and businesses. Treatment of wastewater occurs at the Fresno-Clovis Regional Wastewater Treatment Plant (RWTP). The Fresno-Clovis RWTP is operated and maintained by the City of Fresno and operates under a waste discharge requirement issued by the Central Valley Regional Water Quality Control Board. Additionally, the City of Clovis has completed a 2.8 mgd wastewater treatment/water reuse facility, which will service the City's new growth areas.

The Fresno Metropolitan Flood Control District (FMFCD) has the responsibility for storm water management within the Fresno-Clovis metropolitan area of the Project site. Stormwater runoff that is generated by land development is controlled through a system of pipelines and storm drainage detention basins.

## Impacts

- a. The wastewater impacts were evaluated in accordance with the Waste Water master Plan. The City Engineer concludes that the Project will not exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board. Impacts are considered less than significant.
- b. The Project will not directly result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.
- c. The Project may result in the construction of new storm water drainage facilities. The Fresno Metropolitan Flood Control District has policies for this type of project. According to a letter from the FMFCD dated November 21, 2017, the district can accommodate the proposed project.
- d. The Project will not require new or expanded entitlements and resources. The site is also within the Fresno Irrigation District and will turn over the water rights to the City of Clovis upon development.
- e. The Project will not require a determination by a wastewater treatment provider (see item b above).
- f. According to the Solid Waste Division, the Project will contribute to the landfill, however, the impacts are less than significant.
- g. The Project will comply with federal, state, and local statutes as well as regulations related to solid waste by the City of Clovis.

	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3.19 Mandatory Findings of Significance</b>				
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Environmental Setting

The project includes a 123-lot single-family planned residential development located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues, in the City of Clovis.



## **Impacts**

- a. Based on the analysis provided in Initial Study, the Project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal.
- b. Based on the analysis provided in this Initial Study, the project would not result in any significant cumulative impacts relative to other current projects, or the effects of probable future projects.
- c. Based on the analysis provided in Initial Study, the project will not have environmental effects that will cause substantial adverse effects on human beings.

## **CUMULATIVE IMPACTS**

This section addresses the Project's potential to contribute to cumulative impacts in the region. CEQA Guidelines Section 15355 defines cumulative impacts as "two or more individual effects that, when considered together, are considerable or which compound or increase other environmental impacts." The individual effects may be changes resulting from a single project or separate projects. The cumulative impact from several projects is the change in the environment that results from the incremental impact of the Project when added to other closely related past, present, and reasonably foreseeable future projects. Cumulative impacts can result from individually minor yet collectively significant projects taking place over a period of time.

The cumulative setting for the proposed Project is the build-out of the City of Clovis General Plan which was adopted in 2014. The City has processed several General Plan Amendments since 2014, all of which were included in the Project's analysis related to water, sewer, traffic, air quality, and greenhouse gas impacts.

## **Aesthetics**

The proposed Project is not expected to result in significant cumulative visual resource impacts with mitigation. Street lighting for the area could add additional light pollution to the area. A mitigation measure to shield lighting and/or utilize additional spacing to reduce the potential is included in the conditions of approval and mitigation measures.

## **Agriculture and Forest Resources**

The proposed Project would not substantially contribute to the conversion of agricultural land or forest land to urban or other uses. There are no forest lands in the adjacent to or in the immediate vicinity. The Project area is not classified as Prime Farmland or Farmland of Statewide Importance, therefore, the Project would result in a less than significant cumulative agricultural or forest resources impact.

## **Air Quality**

Implementation of the Project could result in cumulative short-term construction air quality impacts associated with increased emissions. The Project would not result in cumulative air quality impacts to the region. Existing measures are incorporated to address Air Quality Standards during construction. The Project would result in less than significant cumulative air quality impacts.

## **Biological Resources**

The Project could result in significant impacts to nesting migratory and nongame birds without mitigation. The Project would have a less than significant impact to cumulative biological resources with a mitigation measure incorporated.

## **Cultural Resources**

The proposed Project is not anticipated to contribute to any potential impacts related to cultural and/or paleontological impacts. Any impacts would be site specific and would not contribute to cumulative impacts. Therefore, the Project would have a less than significant impact to cumulative cultural resources.

## **Geology and Soils**

Project impacts associated with geology and soils would be site-specific and implementation of the Project would not contribute to cumulative seismic hazards. Therefore, the Project would create no impact to cumulative geophysical conditions.

## **Greenhouse Gas Emissions**

As discussed under Section 3. Greenhouse Gas Emissions, implementation of the proposed Project would contribute to GHG emissions, which is inherently a cumulative issue. The emissions from construction would be short-term (during construction) as a result of various fossil fuel-based construction equipment. Since these impacts are short-term and the contributions to GHG emissions would be minor when compared to the State's GHG emissions target of 427 MMTCO<sub>2</sub>-eq by 2020, the construction related greenhouse gas emissions of this Project would be considered a less than significant cumulative impact.

The operational emissions from the Project would be as the result of indirect emissions from electricity usage of the well pump, emissions resulting from the occasional operation of the emergency back-up diesel generator when the power fails, and emissions from maintenance vehicles. These emissions would not be substantial and are considered less than significant. The Project's related GHG emissions would not contribute significantly to global climate change and would not impede the State's ability to meet its greenhouse gas reduction targets under AB 32.

## **Hazards & Hazardous Materials**

The proposed Project is not expected to have significant impacts as the result of hazards or hazardous materials; therefore, the Project is expected to have a less than significant impact to cumulative hazards and hazardous materials impacts.

## **Hydrology/Water Quality**

The proposed Project would not contribute to cumulative surface water quality impacts associated with construction and operational activities. As described in Section 3.3 Hydrology/Water Quality, The proposed Project would not substantially alter the direction of groundwater flows, or result in a substantial change in the quantity of groundwater. The Project would have a less than significant impact to cumulative water conditions.

## **Land Use Planning & Population/Housing**

With the implementation of the mitigation measure identified in Sections 3.1 (Aesthetics), land use impacts would be less than significant. The Project will not have significant impacts to housing or population. The proposed Project is not expected to result in substantial cumulative impacts to land use planning, population or housing.

## **Mineral Resources**

The proposed Project is expected to have no impact to any site-specific mineral resources; therefore, the Project is expected to have a less than significant impact to cumulative mineral resource impacts.

## **Noise**

As described in Section 3.9 Noise, the Project could result in increased construction noise as well as long-term traffic noise impacts. These impacts are less than significant and would not contribute to any cumulative impacts creating a level of significance.

## **Public Services**

The proposed Project creates additional homes and residents but as identified in the initial study, would not result in significant impacts to public services. The Project would have less than significant to cumulative public services conditions.

## **Recreation**

The proposed Project creates additional homes and residents but as identified in the initial study, would not result in significant impacts to recreation. The proposed Project would not result in significant impacts to recreation uses and/or resources. Thus, a less than significant impact to recreation is anticipated.

## **Transportation/Circulation**

The proposed Project would not contribute to short-term or long-term traffic congestion impacts. The Project is not expected to impact cumulative transportation/circulation conditions. Therefore, the Project would have a less than significant impact on cumulative transportation and circulation conditions.

## **Tribal Cultural**

Tribal Cultural resources are site specific. The proposed Project would not cause a substantial adverse change in the significance on a cumulative Tribal cultural resource.

## **Utilities and Service Systems**

The proposed Project would have a less than significant cumulative impact on utility and service system demands.

## Environmental Factors Potentially Affected

The environmental factors checked below would be potentially affected by this Project, as indicated by the checklist and corresponding discussion in this Initial Study.

The environmental factors checked below would be potentially affected by this Project. None of these factors represents a “Potentially Significant Impact” as indicated by this Initial Study.

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Aesthetics                         | <input checked="" type="checkbox"/> Agriculture and Forest Resources | <input checked="" type="checkbox"/> Air Quality                 |
| <input checked="" type="checkbox"/> Biological Resources               | <input checked="" type="checkbox"/> Cultural Resources               | <input type="checkbox"/> Geology/Soils                          |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions           | <input checked="" type="checkbox"/> Hazards & Haz Materials          | <input checked="" type="checkbox"/> Hydrology / Water Quality   |
| <input checked="" type="checkbox"/> Land Use / Planning                | <input type="checkbox"/> Mineral Resources                           | <input checked="" type="checkbox"/> Noise                       |
| <input checked="" type="checkbox"/> Population / Housing               | <input checked="" type="checkbox"/> Public Services                  | <input checked="" type="checkbox"/> Recreation                  |
| <input checked="" type="checkbox"/> Transportation/Traffic             | <input checked="" type="checkbox"/> Tribal Cultural                  | <input checked="" type="checkbox"/> Utilities / Service Systems |
| <input checked="" type="checkbox"/> Mandatory Findings of Significance |  |   |

## Determination Findings

The potential impacts identified in this Initial Study are considered to be less than significant since they will cease upon completion of construction, or do not exceed a threshold of significance. Therefore, a Mitigated Negative Declaration is the appropriate level of documentation for this project.

According to the analysis in this Initial Study, based on substantial evidence in the public record, the City of Clovis finds:

- This Initial Study, prepared pursuant to CEQA Section 15063, has identified potentially significant environmental effects that would result from the project.
- The City has reviewed the proposed project impacts and has determined the following mitigation measures will address the identified impacts and reduce impacts to the level required by applicable standards:
  - **3.1-d** The developer shall direct all lighting downward and provide physical shields to prevent direct view of the light source from adjacent residential properties.
  - **3.4a:** If any trees or shrubs are to be removed during the nesting season (Feb – Aug) then a preconstruction survey should be conducted within 30-15 days of commencement of construction. If vegetation removal occurs outside the nesting period then no preconstruction survey is needed.
- The City finds that the cumulative impacts of this project are less than significant as described in Section 4.0 (Cumulative Impacts). As such, this project would not generate significant cumulative impacts.
- Feasible mitigation measures have been incorporated to revise the project before the Mitigated Negative Declaration and Initial Study is released for public review pursuant to CEQA Section 15070 in order to avoid or mitigate the identified effects to a point where clearly no significant effects on the environment will occur.
- The City finds that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described above have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

- As required by CEQA Section 21081.6 et seq., a mitigation monitoring program (Section 6.0) will be adopted by incorporating mitigation measures into the project plan (CEQA Section 21081.6(b)).
- There is no substantial evidence in light of the whole record before the public agency that the project, as revised, may have a significant effect on the environment (CEQA Section 21064.5(2)).
- Based on the above-referenced Initial Study and feasible mitigation measures incorporated to revise the proposed project in order to avoid the effects or mitigate the effects to the point where clearly no significant effect on the environment will occur, staff finds that a Mitigated Negative Declaration should be adopted pursuant to CEQA Section 15070 for the proposed project.

Signature \_\_\_\_\_ Date: November 29, 2017  
George González, Associate Planner

*Applicant's Concurrence*

In accordance with Section 15070 (b) (1) of the CEQA Guidelines, we hereby consent to the incorporation of the identified mitigation measures which are also contained in Section 6.0 of this document.

Signature \_\_\_\_\_ Date: \_\_\_\_\_

## EXHIBIT B

### **City of Clovis Mitigation Monitoring and Reporting Program General Plan Amendment GPA2017-06, Rezone R2017-14 & Vesting Tentative Tract Map TM6202 Dated November 29, 2017**

This Mitigation Monitoring and Reporting Program (MMRP) has been prepared pursuant to Section 21081.6 of the California Public Resources Code, which requires public agencies to “adopt a reporting and monitoring program for the changes made to the project or conditions of project approval, adopted in order to mitigate or avoid significant effects on the environment.” A MMRP is required for the proposed project because the Mitigated Negative Declaration has identified significant adverse impacts, and measures have been identified to mitigate those impacts.

The MMRP, as outlined in the following table, describes mitigation timing, monitoring responsibilities, and compliance verification responsibility for all mitigation measures identified in this Mitigated Negative Declaration.

The City of Clovis will be the primary agency, but not the only agency responsible for implementing the mitigation measures. The MMRP is presented in tabular form on the following pages. The components of the MMRP are described briefly below:

- **Mitigation Measures:** The mitigation measures are taken from the Mitigated Negative Declaration, in the same order that they appear in the Mitigated Negative Declaration.
- **Mitigation Timing:** Identifies at which stage of the project mitigation must be completed.
- **Monitoring Responsibility:** Identifies the department within the City responsible for mitigation monitoring.
- **Compliance Verification Responsibility:** Identifies the department of the City or other State agency responsible for verifying compliance with the mitigation. In some cases, verification will include contact with responsible state and federal agencies.

Proposed Mitigation	Summary of Measure	Monitoring Responsibility	Timing	Verification (Date and Initials)
<b>3.1 Aesthetics</b>				
3.1-d	The developer shall direct all lighting downward and provide physical shields to prevent direct view of the light source from adjacent residential properties.	City of Clovis Planning	<i>Prior to Permits and During Construction</i>	
<b>3.4 Biological</b>				
3.4a	If any trees or shrubs are to be removed during the nesting season (Feb – Aug) then a preconstruction survey should be conducted within 30-15 days of commencement of construction. If vegetation removal occurs outside the nesting period then no preconstruction survey is needed.	City of Clovis Planning	<i>Prior to Permits and During Construction</i>	

## **DRAFT RESOLUTIONS**

**ATTACHMENT 2**



**DRAFT  
RESOLUTION 17-\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLOVIS APPROVING  
A MITIGATED NEGATIVE DECLARATION FOR GENERAL PLAN AMENDMENT GPA2017-  
06, REZONE R2017-14 AND VESTING TENTATIVE TRACT MAP TM6202, PURSUANT TO  
CEQA GUIDELINES**

**WHEREAS**, the project proponent, Wilson Premier Homes, Inc., 7550 North Palm Avenue, Suite 102, Fresno, CA 93711, has submitted various files including a General Plan Amendment GPA2017-06, Rezone R2017-14 and Vesting Tentative Tract Map TM6202 for property located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues, in the City of Clovis; and

**WHEREAS**, the City of Clovis ("City") caused to be prepared an Initial Study (hereinafter incorporated by reference) in November 2017, for the Project to evaluate potentially significant adverse environmental impacts and on the basis of that study it was determined that no significant environmental impacts would result from this Project with mitigation measures included; and

**WHEREAS**, on the basis of this Initial Study, a Mitigated Negative Declaration has been prepared, circulated, and made available for public comment pursuant to the California Environmental Quality Act ("CEQA"), Public Resources Code, section 21000, et seq., and Guidelines for implementation of CEQA, 14 California Code of Regulations, sections 15000, et seq.; and

**WHEREAS**, the Planning Commission has independently reviewed, evaluated, and considered the Initial Study, Mitigated Negative Declaration and all comments, written and oral, received from persons who reviewed the Mitigated Negative Declaration, or otherwise commented on the Project.

**NOW, THEREFORE, the Planning Commission of the City of Clovis resolves as follows:**

1. Adopts the foregoing recitals as true and correct.
2. Finds that the Initial Study and Mitigated Negative Declaration for the Project are adequate and have been completed in compliance with CEQA and the CEQA Guidelines.
3. Finds and declares that the Initial Study and Mitigated Negative Declaration were presented to the Planning Commission and that the Planning Commission has independently reviewed, evaluated, and considered the Initial Study, Mitigated Negative Declaration and all comments, written and oral, received from persons who reviewed the Initial Study and Mitigated Negative Declaration, or otherwise commented on the Project prior to approving the Project and recommends the adoption of a Mitigated Negative Declaration for this project.
4. Approves and adopts the Mitigation Monitoring Program set forth in Exhibit B, including the mitigation measures identified therein and as described in the Mitigated Negative Declaration.

5. Directs that the record of these proceedings be contained in the Department of Planning and Development Services located at 1033 Fifth Street, Clovis, California 93612, and that the custodian of the record be the City Planner or other person designated by the Planning and Development Services Director.
6. The Planning and Development Services Director, or his/her designee, is authorized to file a Notice of Determination for the Project in accordance with CEQA and to pay any fees required for such filing.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the Planning Commission of the City of Clovis held on December 21, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

CLOVIS PLANNING COMMISSION RESOLUTION NO. 17-\_\_\_\_

Date: December 21, 2017

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Paul Hinkle, Chair

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Dwight Kroll, AICP, Secretary

## EXHIBIT “B”

### Mitigation Monitoring and Reporting Program

Proposed Mitigation	Summary of Measure	Monitoring Responsibility	Timing	Verification (Date and Initials)
<b>3.1 Aesthetics</b>				
<b>3.1-d</b>	The developer shall direct all lighting downward and provide physical shields to prevent direct view of the light source from adjacent residential properties.	City of Clovis Planning Division	<i>Prior to Permit and During construction</i>	
<b>3.4 Biological</b>				
<b>3.4-a</b>	If any trees or shrubs are to be removed during the nesting season (Feb – Aug) then a preconstruction survey should be conducted within 30-15 days of commencement of construction. If vegetation removal occurs outside the nesting period then no preconstruction survey is needed.	City of Clovis Planning Division	<i>Prior to Permits and During Construction</i>	

**DRAFT  
RESOLUTION 17-\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLOVIS APPROVING A  
GENERAL PLAN AMENDMENT AS PART OF THE FIRST GENERAL PLAN AMENDMENT CYCLE  
OF 2018, INCLUDING GENERAL PLAN AMENDMENT GPA2017-06 AMENDING THE LAND USE  
ELEMENT FOR APPROXIMATELY 9.6 ACRES LOCATED ON THE SOUTH SIDE OF ALLUVIAL  
AVENUE, BETWEEN FOWLER AND ARMSTRONG AVENUES**

**WHEREAS**, Wilson Premier Homes, Inc., 7550 North Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a General Plan Amendment GPA2017-06; and

**WHEREAS**, The Applicant submitted an application for a General Plan Amendment to amend the General Plan and Herndon-Shepherd Specific Plan to change the land use designation from Low Density Residential (2.1 – 4.0 DU/Ac) to Medium High Density Residential (7.1 – 15.0 DU/Ac), for approximately 9.6 acres of property located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues, in the City of Clovis, California; and

**WHEREAS**, the proposed General Plan Amendment GPA2017-06, was assessed under the provisions of the California Environmental Quality Act (CEQA) and the potential effects on the environment were considered by the Planning Commission, together with comments received and public comments, and the entire public record was reviewed; and

**WHEREAS**, staff does recommend adoption of a Mitigated Negative Declaration for GPA2017-06; and

**WHEREAS**, a public notice was sent out to area residents within 800 feet of said property boundaries twenty-one days prior to said hearing; and

**WHEREAS**, a duly noticed hearing was held on December 21, 2017; and

**WHEREAS**, on December 21, 2017, the Planning Commission considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings relating to General Plan Amendment GPA2017-06 which are maintained at the offices of the City of Clovis Department of Planning and Development Services; and

**WHEREAS**, after hearing evidence gathered by itself and on its behalf and after making the following findings, namely:

- a. The proposed amendment is internally consistent with the goals, policies, and actions of the General Plan; and
- b. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City; and
- c. If applicable, the parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested/anticipated project.
- d. There is a compelling reason for the amendment.

**NOW, THEREFORE, BE IT RESOLVED** that the Clovis Planning Commission does recommend approval of General Plan Amendment GPA2017-06.

\* \* \* \* \*

The foregoing resolution was approved by the Clovis Planning Commission at its regular meeting on December 21, 2017, upon a motion by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

PLANNING COMMISSION RESOLUTION NO. 17-\_\_\_\_\_

DATED: December 21, 2017

\_\_\_\_\_  
Paul Hinkle, Chair

ATTEST:

\_\_\_\_\_  
Dwight Kroll, AICP, Secretary

**DRAFT  
RESOLUTION 17-\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLOVIS RECOMMENDING  
APPROVAL TO REZONE APPROXIMATELY 9.6 ACRES FROM THE R-1-7500 (SINGLE-FAMILY  
RESIDENTIAL – 7,500 SQ. FT.) ZONE DISTRICT TO THE R-1-PRD (PLANNED RESIDENTIAL  
DEVELOPMENT) ZONE DISTRICT FOR PROPERTY LOCATED ON THE SOUTH SIDE OF  
ALLUVIAL AVENUE, BETWEEN FOWLER AND ARMSTRONG AVENUES**

**LEGAL DESCRIPTION:**

See the attached Exhibit “One.”

**WHEREAS**, Wilson Premier Homes, Inc., 7550 North Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a Rezone R2017-14; and

**WHEREAS**, this is a request to rezone approximately 9.6 acres from the R-1-7500 (Single-Family Residential – 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District for property located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues, in the City of Clovis, California; and

**WHEREAS**, the Commission does approve a Mitigated Negative Declaration pursuant to CEQA guidelines.

**WHEREAS**, a public notice was sent out to area residents within 800 feet of said property boundaries twenty-one days prior to said hearing; and

**WHEREAS**, the Rezoning is in keeping with the intent and purpose of the Zoning Ordinance; and

**WHEREAS**, after hearing evidence gathered by itself and on its behalf and after making the following findings, namely;

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

**NOW, THEREFORE, BE IT RESOLVED** that the Clovis Planning Commission does recommend approval of Rezone R2017-14.

\* \* \* \* \*

The foregoing resolution was approved by the Clovis Planning Commission at its regular meeting on December 21, 2017, upon a motion by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

PLANNING COMMISSION RESOLUTION NO. 17-\_\_\_\_\_

DATED: December 21, 2017

\_\_\_\_\_  
Paul Hinkle, Chair

ATTEST:

\_\_\_\_\_  
Dwight Kroll, AICP, Secretary

**DRAFT  
RESOLUTION 17-\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLOVIS APPROVING A VESTING TENTATIVE TRACT MAP FOR A 123-LOT SINGLE-FAMILY PLANNED RESIDENTIAL DEVELOPMENT ON 9.6 ACRES OF PROPERTY LOCATED ON THE SOUTH SIDE OF ALLUVIAL AVENUE, BETWEEN FOWLER AND ARMSTRONG AVENUES**

**WHEREAS**, Wilson Premier Homes, Inc., 7550 North Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a Vesting Tentative Tract Map TM6202; and

**WHEREAS**, Vesting Tentative Tract Map TM6202, was filed on August 28, 2017, and was presented to the Clovis Planning Commission for approval in accordance with the Subdivision Map Act of the Government of the State of California and Title 9, Chapter 2, of the Municipal Code and the City of Clovis; and

**WHEREAS**, a public notice was sent out to area residents within 800 feet of said property boundaries twenty-one days prior to said hearing; and

**WHEREAS**, a duly noticed hearing was held on December 21, 2017; and

**WHEREAS**, after hearing evidence gathered by itself and on its behalf and after making the following findings, namely:

- a. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan;
- b. The site is physically suitable for the type and proposed density of development;
- c. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
- d. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems;
- e. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision;
- f. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;
- g. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and



- h. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

**WHEREAS**, the Planning Commission has given careful consideration to this map on December 21, 2017, and does approve a Mitigated Negative Declaration for the project.

**NOW, THEREFORE, BE IT RESOLVED** that Vesting Tentative Tract Map TM6202, attached and labeled Exhibit "B," be and is hereby approved, subject to the attached conditions labeled Exhibit "A-1."

\* \* \* \* \*

The foregoing resolution was approved by the Clovis Planning Commission at its regular meeting on December 21, 2017, upon a motion by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

PLANNING COMMISSION RESOLUTION NO. 17-\_\_\_\_\_

DATED: December 21, 2017

\_\_\_\_\_  
Paul Hinkle, Chair

ATTEST:

\_\_\_\_\_  
Dwight Kroll, AICP, Secretary

**APPLICANT'S JUSTIFICATION FOR GPA2017-06**

**ATTACHMENT 3**

**Wilson Homes, Inc.**  
**General Plan Amendment Justification Tentative Tract No. 6202**  
**November 20, 2017**

**Applicant:** Wilson Homes, Inc.  
Mr. Leo Wilson  
7550 N. Palm Avenue, Suite 102  
Fresno, CA 93711

**Property Owner:** Kenneth R. & Marilyn B. Springton  
1980 E. Alluvial Ave.  
Clovis, CA.  
  
Cleo L. Tomlinson  
4531 W. Flint St.  
Chandler, AZ  
95226

**Representative:** Dirk Poeschel Land Development Services, Inc.  
923 Van Ness Ave., Suite No. 200  
Fresno, CA 93721

**APN:** 563-135-03/04

**Current Zoning:** R-1 7500

**Area:** 9.60 gross acres

**Plan Area:** Herndon Shepherd Specific Plan

**REQUEST**

The applicant, Wilson Homes, Inc. proposes to change the City of Clovis General Plan designation from Low Density Residential (2 to 4 units/per acre) to Medium High Density Residential (7.1 to 15 units/per acre) for a 9.60 gross acre parcel located at the south side of E. Alluvial and east N. Fowler Avenues. The site will be zoned R-1-PRD to allow the Wilson Homes, Inc. *Elev8ions* project which is currently successfully marketed in Clovis. The site is within the City of Clovis.

The applicant has submitted Tentative Tract No. 6202, prepared by Harbour & Associates of Clovis to the city which proposes development of 123 single-family lots.

## **JUSTIFICATION**

The proposed General Plan Amendment should be granted based on the reasons provided below. The *Elev8ions* product addresses the buyer who makes a conscious life style decision for an “entry level” or “move down” product and desires a small lot with the benefits of ownership and minimal maintenance costs. Please see the attached Tentative Subdivision Map No. 6202.

The existing Low Density Residential designation would allow a theoretical maximum of 38 single family homes (9.6 acres X 4 units =38 homes). The proposed modification to allow a Medium High Density Residential land use designation on the subject site would allow a *theoretical* maximum of 144 single family homes. (9.6 acres X 15 units =144 homes). As illustrated on Tentative Subdivision Map No. 6193 proposes 123 single family lots.

The proposed project will develop at 12.81 units to the acre. As illustrated on the proposed tentative map, the project will construct the required city sidewalk system on Alluvial Ave. to facilitate interconnectivity of uses.

The project will be gated to shift compliance issues from the public to the private sector. The project will be managed by a home owner’s association in accordance with common interest real estate developments.

## **Herndon Shepherd Specific Plan**

### **3.2 LAND USE OBJECTIVES**

#### **3.2.1 Residential (applicable)**

- **Provide a viable mix of residential .....uses consistent with the capabilities of the city and other agencies to provide services.**

The proposed project will provide housing and lifestyle opportunities for a focused market segment. The *Elev8ions* product addresses the buyer who makes a conscious life style decision for an “entry level” or “move down” product and desires a small lot with the benefits of ownership and minimal maintenance costs.

- **Provide an attractive quality residential environment with a variety of lifestyles**

The proposed project is constructed in the Fresno Clovis area in a mixture of neighborhoods which speaks to its ability to be attractive and compatible with surrounding residential uses. The product, as are all Wilson Homes, Inc. projects, are well designed and constructed of quality materials.

The *Elev8ions* product addresses the buyer who makes a conscious life style decision for an “entry level” or “move down” product and desires a small lot with the benefits of ownership and minimal maintenance costs.

As described above, the proposed product type focuses on meeting a specific market segment which contributes to the diversity of housing sizes and types while still

delivering the decade's long tradition of a quality Wilson Home. Market research and product sales history accumulated by the developer indicates that the project has a wide appeal to a varying age group and economic and demographic diversity.

- **Provide residential densities based on natural land characteristics and public facilities and infrastructure.**

No information exists to suggest urban services cannot be provided the proposed project. The proposed change can be adequately served by public facilities and will not negatively impact service on existing development or the ability to service future development. In fact, all the information available suggests that a slight increase in residential densities has a positive downward influence on service delivery costs.

- **Recognize 1) importance of land uses to the quality of life and the environment; 2) the duties as well as the right of land ownership; and, the role the city to regularly use of land resources for the benefit of future generations.**

The proposed project seeks to create greater service delivery efficiencies, consume less fossil fuels which improves the quality of life and air quality. Studies and testimony for regarding the Clovis General Plan Update confirmed that moderate density increases reduce service delivery costs of municipalities particularly police, fire services expenses allowing Clovis to remain a fiscally vibrant community for current and future generations. The aforementioned studies also indicate the downward pressure on costs to public infrastructure such as sewer, water and other similar services with such density increases.

Fresno COG's Fresno County Blueprint promotes new regional development patterns to combat the loss of prime agricultural land, improve air quality, reduce traffic congestion, and provide more affordable housing. For new residential development, the Blueprint establishes an *average* density goal of 9.0 housing units per acre for Fresno and Clovis. As part of California's AB 32 effort to address climate change, SB 375 will fund new transportation investments to those communities who comply with regional plans that the California Air Resources Board certifies meet total vehicle miles traveled reduction targets.

Taken together, the Fresno County Blueprint and SB 375 have necessitated new development patterns, including among other things more compact, higher density mixed-use development. Studies show that among other benefits, slightly higher densities increase public transit ridership and expand non-motorized travel that also help implement SB375's goal of reducing vehicle-miles-travelled and improving regional air quality.

Below please see the summary of infrastructure and service delivery costs as identified in the United States Environmental Protection Agency dated December 2012 report entitled *SMART GROWTH AND ECONOMIC SUCCESS: BENEFITS FOR REAL ESTATE*

*DEVELOPERS, INVESTORS AND LOCAL GOVERNMENTS.* The aforementioned report summarizes financial advantages to the public and private sector due to reasonable increases in residential densities.

### **3.2.2 Housing (applicable)**

- **Establish residential areas which provide a sense of neighborhood pride and identity within the larger Clovis community.**

The *Elev8ions* products allow for the opportunity will of ownership. All Wilson homes projects seek to create a sense of identity with the larger Clovis community by quality design and interconnectivity.

- **Promote diverse high-quality housing products, types and price ranges organized to create a harmonious and compatible neighborhood.**

The *Elev8ions* product was specifically designed for the Clovis market and has subsequently become well received in the Fresno Metropolitan area. It provides an opportunity for homeownership and higher densities which reduces purchase prices. Great care is given to create a sense of harmony and compatibility with existing neighborhoods through project design and landscaping.

- **Encourage variety in subdivisions especially in the design of streets and street landscapes the location of parks and recreation areas and the placement of homes on lots.**

As mentioned above, the proposed project provides an opportunity for homeownership at higher densities not previously available. The project open space is centrally located to enhance use and provide an attractive entry feature.

- **Manage development of land within and adjacent to existing neighborhoods to avoid potentially adverse impacts on the living environment.**

The project has been built in various neighborhoods within the Fresno Clovis area and has found to be quite compatible.

## **City of Clovis General Plan Policies**

### **Compatible with Specific Plan Layout and Design Directives**

As with all Wilson Homes, Inc. projects, the proposed development will be built with high quality homes incorporating a variety of attractive housing types and designs.

### **The project represents a reasonable increase in residential density**

The proposed project is located within the Herndon Shepherd Specific Plan area. That plan was adopted in 1988 and included a total of 100 acres of multifamily residential uses for the 5,764

acres within the plan area. While basic goals of the *Clovis way of life* remain paramount, other factors such as housing affordability, greater statutory requirements for density and empirical information that substantiates generally higher densities provide substantial public and private benefits the community.

The proposed project conceived some 20 years *after* the Herndon Shepherd Specific plan adoption creatively provides relatively affordable, market rate housing at traditional multifamily densities in a detached, single family product with ownership benefits.

The proposed density assists in achieving target densities established in the City of Clovis General Plan. The density is also consistent with adjacent municipalities who also recognize the advantages of reasonable increases in residential densities. Said density is justified for other reasons described below.

**The project represents an opportunity for greater efficiencies in the delivery of municipal services.**

A variety of studies including testimony during the recent City of Clovis General Plan Update indicate that moderate density increases reduce service delivery costs of municipalities particularly police, fire services expenses. The aforementioned studies also suggest the downward pressure on costs to public infrastructure such as sewer, water and other similar services.

Fresno COG's Fresno County Blueprint promotes new regional development patterns to combat the loss of prime agricultural land, improve air quality, reduce traffic congestion, and provide more affordable housing. For new residential development, the Blueprint establishes an *average* density goal of 9.0 housing units per acre for Fresno and Clovis. As part of California's AB 32 effort to address climate change, SB 375 will fund new transportation investments to those communities who comply with regional plans that the California Air Resources Board certifies meet total vehicle miles traveled reduction targets.

Taken together, the Fresno County Blueprint and SB 375 have necessitated new development patterns, including among other things more compact, higher density mixed-use development. Studies show that among other benefits, slightly higher densities increase public transit ridership and expand non-motorized travel that also help implement SB375's goal of reducing vehicle-miles-travelled and improving regional air quality.

Below please see the summary of infrastructure and service delivery costs as identified in the United States Environmental Protection Agency dated December 2012 report entitled *SMART GROWTH AND ECONOMIC SUCCESS: BENEFITS FOR REAL ESTATE DEVELOPERS, INVESTORS AND LOCAL GOVERNMENTS*. The aforementioned report summarizes financial advantages to the public and private sector due to reasonable increases in residential densities

## **City of Clovis General Plan Amendment Criteria**

**Policy 6.1 Amendment criteria. The City Council may approve amendments to the General Plan when the City Council is satisfied that the following conditions are met:**

**A. The proposed change is and will be fiscally neutral or positive.**

The proposed change can be adequately served by public facilities and will not negatively impact service on existing development or the ability to service future development. In fact, all the information available suggests that an increase in residential densities has a positive downward influence on service delivery costs.

**Policy 6.2 Smart Growth. The city is committed to the following Smart Growth goals.**

**A. Create a range of housing opportunities and choices.**

As described above, the proposed project offers a distinct housing product that appeals to a focused market base.

**B. Create walkable neighborhoods.**

The project will provide pedestrian linkage to enhance walk ability and reduce the reliance on fossil fueled transportation sources to schools, business and commercial uses.

**C. Encourage community and stakeholder collaboration.**

The project developer has committed to an appropriate outreach to the community to define the project characteristics and related compatibility.

**D. Foster distinctive, attractive communities with a strong sense of place.**

The project developer has a long history of developing attractive communities with a strong identity. This Wilson Homes Inc. project will not be an exception to historic high quality and design standards by integrating the project with its surroundings and linking with the area's proposed open space areas that will create an attractive and distinctive project.

**E. Make development decisions predictable, fair, and cost-effective.**

The proposed project will install a variety of public improvements and pay a variety of fees and mitigation measures often not acknowledged but are described below:

**1. School Fees of \$769,776 to Clovis Unified School District**

- a. **Elevations-1,463 sq. ft. average size**  
123 units x 1,463 sq. ft. = 182,409 sq. ft. x \$4.22 per sq. ft. = \$769,766

**2. Regional Mitigation Fees of \$327,426**

- a. **Regional Transportation Mitigation Fee** 123 units X \$1,662/units = **\$204,426**
- b. **San Joaquin Unified Air Pollution Control Air District-** \$1,000/unit x 123 units x \$1,000/unit = **\$123,000**



### **3. Clovis Community Facility District Public Safety Annual Assessments \$27,921**

123 x \$227/unit = **\$27,921** per year for Clovis Public Safety (fire/police)

#### **F. Provide a mix of land uses.**

The proposed project supports and implements the general plan goal by creating a mix of densities and housing types. As mentioned above, one of the project proponent's principle concepts is to blend residential, recreational open space and lifestyle opportunities in one master planned project.

#### **G. Preserve open space, farmland, natural beauty, and critical environmental areas.**

Increased densities such as proposed reduce pressure to convert productive agricultural land from production and preserve natural open space.

#### **H. Provide a variety of transportation choices.**

As mentioned above, the project will a pedestrian linkage to enhance walk ability and reduce the reliance on fossil fueled transportation sources.

#### **I. Strengthen and direct development toward existing communities.**

The project increases densities which reduces pressure to convert ag land.

#### **J. Take advantage of compact building design.**

The project proposes to construct homes that exceed energy efficiency standards. In addition, the proposed residences have evolved to be more efficient and still meet market demand.

#### **K. Enhance the economic vitality of the region.**

Demand for the proposed such housing is an indicator of an economically healthy community. Infill development, as proposed, will provide "roof tops" to be served by the planned urban commercial areas.

#### **L. Support actions that encourage environmental resource management.**

The proposed project seeks to create greater service delivery efficiencies, consume less fossil fuels which improves the quality of life and air quality. The proposed ample open and the church site provide important quality of life spiritual components.

#### **Conclusion**

For the reasons detailed above, Wilson Homes, Inc. respectfully requests support of the proposed project.

# SMART GROWTH AND ECONOMIC SUCCESS: BENEFITS FOR REAL ESTATE DEVELOPERS, INVESTORS, BUSINESSES, AND LOCAL GOVERNMENTS

United States Environmental Protection Agency, Office of Sustainable Communities Smart Growth Program December 2012 [www.epa.gov/smartgrowth](http://www.epa.gov/smartgrowth)

## **B. Infrastructure and Service Delivery Cost Savings**

Extensive research has found that compact development patterns, higher density, mixed uses, and other characteristics of smart growth development can reduce the costs of providing public infrastructure and delivering services. Many communities with conventional low-density, single-use development patterns are financially burdened by the cost of maintaining, and ultimately replacing, their existing infrastructure given the tax revenue this development generates. Smart growth strategies can help create vibrant and diverse communities in which public infrastructure investments yield returns that cover long-term financial obligations. Several examples illustrate how smart growth strategies can reduce short- and long-term costs of development for local governments:

- An analysis of alternative growth scenarios for the Salt Lake City region showed that the region's modeled growth strategy, which included transportation investments, zoning changes, land preservation policies, and water conservation incentives, could save \$4.5 billion over 20 years in transportation, water, sewer, and utility infrastructure compared to the baseline scenario based on existing plans and trends
- The Maryland Department of Planning estimated the amount of road infrastructure needed between 2010 and 2030 under both the current (as of 2010) statewide growth pattern and a Smart Growth scenario. The department estimated that the current growth scenario would require about 2.5 times more new road infrastructure than the smart growth scenario, at a cost of \$29 billion.<sup>17</sup>
- An infrastructure cost model analyzing base case and smart growth alternative development patterns in Sacramento, California, found that the smart growth alternative would save \$14 billion. Savings came from reduced service costs for water, sewer, roads, flood control, drainage, and other utilities and from fewer land purchases needed to mitigate the loss of farms and wildlife habitat.
- A study in Rhode Island found that the state could save more than \$1.4 billion over 20 years if its next 20,000 housing units were built in a compact configuration instead of a low-density, large-lot, scattered pattern of development. The study showed savings on roads, schools, and utilities and calculated the benefits of conserving farms and forest lands.

- A comparison of the coverage areas and relative costs of fire protection service between two neighborhoods in Charlotte, North Carolina, found that a fire station in a neighborhood with a well-connected street pattern typical of smart growth development covered 4.5 times more addresses at a much lower annual per capita cost than a station in a less connected area (\$159 versus \$740).
- A cost-simulation model found that increasing lot size can affect the cost of providing water and sewer service, as can increasing distance from existing water and wastewater treatment plants. Annual costs for water and sewer service for households on small lots less than half a mile from an existing water and wastewater treatment plant are less than 25 percent of the costs for households on large lots four to five miles from an existing treatment plant.

Developers also benefit from infrastructure efficiencies in smart growth projects. Higher densities and compact development patterns that require shorter utility runs and less roadway area can translate to significant cost savings on the construction of utilities and streets, costs often paid by developers.

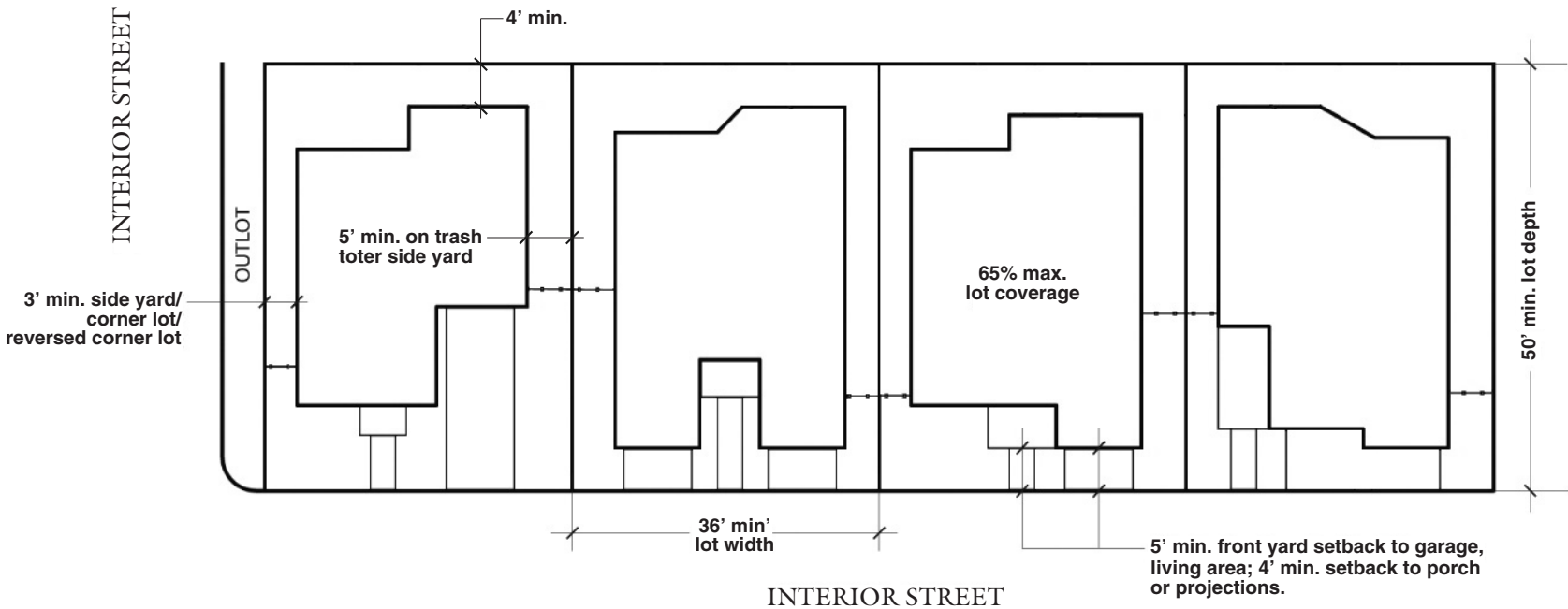
A case-study comparison examined the infrastructure costs of traditional neighborhood development versus conventional suburban development. The study considered variables that drive infrastructure costs, including lot size, product type, residential density, thoroughfare cross section, and thoroughfare network pattern, to quantify and compare the impact on the total infrastructure cost. The study found that infrastructure costs for traditional neighborhood development scenarios were consistently less than conventional suburban development scenarios, ranging from 32 percent to 47 percent less, with the traditional neighborhood development cost savings based principally on density. Lower-density conventional suburban development also has greater land acquisition costs compared to a compact traditional neighborhood development accommodating the same number of homes.

c:\users\dirk poeschel\autotask workplace\current clients\wilson ttm-6202 17-45\correspondence\wilson ttm 6202 justification.docx

TRACT 6202

Residential Land Use Development Standards

LAND USE	DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		
	STANDARD	NOTES
DESIGNATION		
Zone District	R-1-PRD	
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential
Dwelling Units	123	
BUILDING INTENSITY		
Minimum Lot Area	1,800 sq ft	
Minimum Lot Width	36'	
Minimum Lot Depth	50'	
Maximum Coverage	65%	
Maximum Height	35'	
Curved, Cul-de-sac or Corner Lot	36' min/50' min	For street frontage/For lot depth
BUILDING SETBACKS		
All setbacks measured from PL.		
Front Yard	5' min/4' min	To garage, living area/porch or projections
Side Yard	5' min/3' min	5' min garage side/3' min other side
Corner/Reversed Corner	3' min	
Rear Yard	4' min	
GARAGES/STREETS/PARKING		
Garages	1-car 2-car	10'x16' min 20'x20' min or tandem 10'x38' min
Streets (Interior)	36' wide	Curb-to-curb
Parking	1.5 spaces/unit min	1 covered space per unit min
ACCESSORY USES		
General list of requirements and restrictions.		
Walls/Fences	6' min - 8' high max	
Trellises	12' high max	
Pools and Spas	3' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.
Equipment	Pool, spa and fountain equipment allowed in side yard setback.	
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.
Accessory Buildings		



NOTE: Construction of more than two of the same plan type in a row or more than three 2-car garage models in a row (excepting tandem garage units) shall be addressed through the Residential Site Plan Review process.

The imagery conveys samples of the architectural character intended for these neighborhoods.

NOT TO SCALE

## **CORRESPONDENCE**

**ATTACHMENT 5**



October 16, 2017

Joyce Roach  
Planning and Development Services Dept.  
1033 Fifth St.  
Clovis, CA 93612

SUBJECT: GPA2017-06, APN 563-153-03 & 04  
TM-6202

Dear Ms. Roach:

The purpose of this letter is to provide school district information relative to the above-referenced subdivision and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the subdivider/owner and the State Department of Real Estate.

In regards to this project with GPA2017-06 the district has concern regarding the re-designation of the land located on the south side of Alluvial avenue, east of Fowler Avenue. Currently this project site has a designation of Low Density Residential (2.1 to 4.0 DU/AC), the district does not feel confident in the ability to accommodate students associated with a re-designation to Medium High Density Residential (7.1 to 15.0 DU/AC). The district would like to bring this concern to the attention of the planning department and owner/subdivider.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Century Elementary*  
Address: *965 N Sunnyside Ave Clovis CA 93611-2061*  
Telephone: *(559) 327-8400*  
Capacity: *842*  
Enrollment: *640 (CBEDS enrollment 2016-17 school year)*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

**Governing Board**

Sandra A. Budd  
Christopher Casado  
Steven G. Fogg, M.D.  
Brian D. Heryford  
Ginny L. Hovseplan  
Elizabeth J. Sandoval  
Jim Van Volkinburg, D.D.S.

**Administration**

Elmear O'Farrell, Ed.D.  
*Superintendent*  
Don Ulrich, Ed.D.  
*Deputy Superintendent*  
Norm Anderson  
*Associate Superintendent*  
Barry S. Jager, Jr.  
*Associate Superintendent*  
Michael Johnston  
*Associate Superintendent*



2. Intermediate School Information:

School Name: *Alta Sierra Intermediate*  
Address: *380 W Teague Ave Clovis CA 93619-8332*  
Telephone: *(559) 327-3500*  
Capacity: *1500*  
Enrollment: *1406 (CBEDS enrollment 2016-17 school year)*

3. High School Information:

School Name: *Buchanan High School*  
Address: *1560 N Minnewawa Ave Clovis CA 93619-7600*  
Telephone: *(559) 327-3000*  
Capacity: *3000*  
Enrollment: *2699 (CBEDS enrollment 2016-17 school year)*

3. Bus transportation is currently provided for grades K-6 students residing further than one mile from school and for grades 7-12 students residing further than two and one-half miles from school. Transportation will be available for students attending the above-identified elementary, intermediate and high schools in accordance with District standards in effect at the time of enrollment.
4. The District currently levies a school facilities fee of \$4.63 per square foot (as of July 1, 2017) for residential development. The fee is adjusted periodically in accordance with law. New development on the subject property will be subject to the fee in place at the time fee certificates are obtained.

The District hereby requests that the information in this letter be provided by the owner/subdivider to all prospective purchasers of property within the project.

Thank you for the opportunity to comment on the project. Please contact me if you have any questions regarding this letter.

Sincerely,



Michael Johnston  
Associate Superintendent  
Administrative Services



# County of Fresno

## DEPARTMENT OF PUBLIC HEALTH

David Pomaville, Director  
Dr. Ken Bird, Health Officer

October 17, 2017

LU0019117  
2604

George Gonzalez, Associate Planner  
City of Clovis  
Planning and Development Services Department  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Gonzalez:

PROJECT NUMBER: **GPA2017-06, R2017-14, TM6202**

**GPA2017-06**, A request to amend the General Plan to redesignate approximately 9.6 acres of land located on the south side of Alluvial Avenue, east of Fowler Avenue from Low Density Residential (2.1 to 4.0 DU/Ac) to Medium High Density Residential (7.1 to 15.0 DU/Ac). **R2017-14**, A request to approve a rezone of approximately 9.6 acres of land located on the south side of Alluvial Avenue, east of Fowler Avenue, from the R-1 Zone District to the R-1-PRD Zone District. **TM6202**, A request to approve a tentative tract map for a 123-lot single-family residential development for land located on the south side of Alluvial Avenue, east of Fowler Avenue.

**APN: 563-135-03, -04**

**ADDRESS: South side of Alluvial Avenue, East of Fowler Avenue**

### Recommended Conditions of Approval:

- Construction permits for the proposed development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the proposed development should be subject to assurance that the City of Clovis community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- The proposed construction project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.
- Prior to the issuance of building permits, the applicant shall submit complete pool facility plans and specifications to the Fresno County Department of Public Health, Environmental Health Division, for review and approval. Contact the Recreational Health Program at (559) 600-3357 for more information.

***Promotion, preservation and protection of the community's health***

1221 Fulton Mall / P. O. Box 11867, Fresno, CA 93775

(559) 600-3271 • FAX (559) 600-7629

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- Prior to operation, the applicant shall apply for and obtain a permit to operate a public swimming pool from the Fresno County Department of Public Health, Environmental Health Division. A permit, once issued, is nontransferable. Contact the Recreational Health Program at (559) 600-3357 for more information.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- If any underground storage tank(s) are found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

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REVIEWED BY:

Kevin Tsuda, R.E.H.S.  
Environmental Health Specialist II

(559) 600-3271

---

kt

cc: Aaron Baruti- Environmental Health Division (CT. 55.12)  
Lorren Smith- Representative ([lorrens@harbour-engineering.com](mailto:lorrens@harbour-engineering.com))  
Jeff Harris- Applicant ([jharris@wilsondevelopment.com](mailto:jharris@wilsondevelopment.com))



FRESNO METROPOLITAN FLOOD CONTROL DISTRICT

File 210.434  
210.45 "6202"  
400.11  
550.10 "7D"

November 21, 2017

Mr. George Gonzalez, MPA, Associate Planner  
City of Clovis  
Department of Planning & Development Services  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Gonzalez,

**Rezone Application No. R2017-14**  
**General Plan Amendment GPA 2017-06**  
**Drainage Area "7D"**

The proposed rezone lies within the District's Drainage Area "7D". The existing Master Plan system has been designed for runoff from a medium density residential land use at this location and proposed rezone (R-1-C PRD) is similar to the R-3 type land use. However, based on information submitted at this time, the District's system can accommodate the proposed rezone. Lot coverage must be provided to the District prior to submittal of improvement plans for this project and should the density of the project be commensurate with a density higher than medium high density residential, mitigation may be required.

Please contact us if you need further information at (559) 456-3292.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Robert Villalobos', written over a horizontal line.

Robert Villalobos  
Design Technician III

RV/lrl

k:\letters\rezone letters\clovis\2017\2017-014.gpa2017-06(7d)(rv).docx



October 26, 2017

George Gonzalez  
City of Clovis  
Planning and Development Services  
1033 Fifth Street  
Clovis, CA 93612

**Project: GPA2017-06, R2017-14, and TM6202**

**District CEQA Reference No: 20171124**

Dear Mr. Gonzalez:

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the project referenced above consisting of the following:

- GPA2017-06: a request to amend the General Plan to re-designate 9.6 acres of land from Low Density Residential to Medium High Density Residential.
- R2017-14: a request to approve a rezone of approximately 9.6 acres of land from the R-1 Zone District to the R-1 PRD Zone District.
- TM6202: a request to approve a tentative tract map for a 123-lot single family residential development.

The project is located on the south side of Alluvial Avenue, east of Fowler Avenue, in Clovis, CA. The District offers the following comments:

1. Significance Impact for Criteria Pollutants – The project specific emissions of criteria pollutants are not expected to exceed District significance thresholds of 10 tons/year NOx, 10 tons/year ROG, and 15 tons/year PM10. Therefore, the District concludes that Project specific criteria pollutant emissions would have no significant adverse impact on air quality.
2. District Rule 9510 (Indirect Source Review) - At full build-out, the project will be equal to or exceed 50 residential dwelling units. Therefore, the District concludes that the project is subject to District Rule 9510.

**Seyed Sadredin**  
Executive Director/Air Pollution Control Officer

---

**Northern Region**  
4800 Enterprise Way  
Modesto, CA 95356-8718  
Tel: (209) 557-6400 FAX: (209) 557-6475

**Central Region (Main Office)**  
1990 E. Gettysburg Avenue  
Fresno, CA 93726-0244  
Tel: (559) 230-6000 FAX: (559) 230-6061  
  
[www.valleyair.org](http://www.valleyair.org)    [www.healthyliving.com](http://www.healthyliving.com)

**Southern Region**  
34946 Flyover Court  
Bakersfield, CA 93308-9725  
Tel: 661-392-5500 FAX: 661-392-5585

District Rule 9510 is intended to mitigate a project's impact on air quality through project design elements or by payment of applicable off-site mitigation fees. Any applicant subject to District Rule 9510 is required to submit an Air Impact Assessment (AIA) application to the District no later than applying for final discretionary approval, and to pay any applicable off-site mitigation fees. If approval of the subject project constitutes the last discretionary approval by your agency, the District recommends that demonstration of compliance with District Rule 9510, including payment of all applicable fees, be made a condition of project approval. Information about how to comply with District Rule 9510 can be found online at: <http://www.valleyair.org/ISR/ISRHome.htm>. The AIA application form can be found online at: <http://www.valleyair.org/ISR/ISRFormsAndApplications.htm>.

3. District Rule 4002 (National Emissions Standards for Hazardous Air Pollutants) - In the event an existing building will be renovated, partially demolished or removed, the project may be subject to District Rule 4002. This rule requires a thorough inspection for asbestos to be conducted before any regulated facility is demolished or renovated. Information on how to comply with District Rule 4002 can be found online at: <http://www.valleyair.org/busind/comply/asbestosbultn.htm>.
4. Nuisance Odors - The project should be evaluated to determine the likelihood that the project would result in nuisance odors. Nuisance orders are subjective, thus the District has not established thresholds of significance for nuisance odors. Nuisance odors may be assessed qualitatively taking into consideration of project design elements and proximity to off-site receptors that potentially would be exposed objectionable odors.
5. Regulation VIII (Fugitive PM10 Prohibitions) - The project will be subject to Regulation VIII. The project proponent is required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to commencing any earthmoving activities as described in District Rule 8021 – *Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities*. Information on how to comply with Regulation VIII can be found online at: [http://www.valleyair.org/busind/comply/PM10/compliance\\_PM10.htm](http://www.valleyair.org/busind/comply/PM10/compliance_PM10.htm)
6. Other District Rules and Regulations - The above list of rules is neither exhaustive nor exclusive. For example, the project may be subject to the following District rules, including: Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations). To identify other District rules or regulations that apply to this project or to obtain information on the District's permit requirements, such as an Authority to Construct (ATC), the project proponent is strongly encouraged to contact the District's Small Business Assistance Office at (559) 230-5888 or e-mail [SBA@valleyair.org](mailto:SBA@valleyair.org). Current District rules can be found online at the District's website at: [www.valleyair.org/rules/1ruleslist.htm](http://www.valleyair.org/rules/1ruleslist.htm).

7. Potential Air Quality Improvement Measures - The District encourages the following air quality improvement measures to further reduce project related emissions from construction and operation. A complete list of potential air quality improvement measures can be found online at:

<http://www.valleyair.org/ceqaconnected/aqimeasures.aspx>.

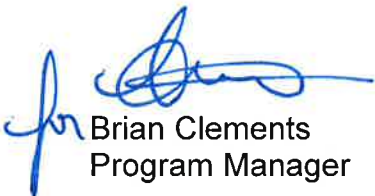
- a. Cleaner Off-Road Construction Equipment – This measure is to utilize off-road construction fleets that can achieve fleet average emissions equal to or cleaner than the Tier II emission standards. This can be achieved through any combination of uncontrolled engines and engines complying with Tier II and above engine standards.
- b. Improve Walkability Design – This measure is to improve design elements to enhance walkability and connectivity. Improved street network characteristics within a neighborhood include street accessibility, usually measured in terms of average block size, proportion of four-way intersections, or number of intersections per square mile. Design is also measured in terms of sidewalk coverage, building setbacks, street widths, pedestrian crossings, presence of street trees, and a host of other physical variables that differentiate pedestrian-oriented environments from auto-oriented environments.
- c. Improve Destination Accessibility – This measure is to locate the project in an area with high accessibility to destinations. Destination accessibility is measured in terms of the number of jobs or other attractions reachable within a given travel time, which tends to be highest at central locations and lowest at peripheral ones. The location of the project also increases the potential for pedestrians to walk and bike to these destinations and therefore reduces the (vehicle miles traveled) VMT.
- d. Increase Transit Accessibility – This measure is to locate the project with high density near transit which will facilitate the use of transit by people traveling to or from the Project site. The use of transit results in a mode shift and therefore reduced VMT. A project with a residential/commercial center designed around a rail or bus station, is called a transit-oriented development (TOD). The project description should include, at a minimum, the following design features:
  - A transit station/stop with high-quality, high-frequency bus service located within a 5-10 minute walk (or roughly ¼ mile from stop to edge of development), and/or
  - A rail station located within a 20 minute walk (or roughly ½ mile from station to edge of development)
  - Fast, frequent, and reliable transit service connecting to a high percentage of regional destinations
  - Neighborhood designed for walking and cycling

- e. Voluntary Emission Reduction Agreement (VERA) - Design elements, mitigation measures, and compliance with District rules and regulations may not be sufficient to reduce project-related impacts on air quality to a less than significant level. In such situation, project proponents may enter into a Voluntary Emission Reduction Agreement (VERA) with the District to reduce the project related impact on air quality to a less than significant level. A VERA is a mitigation measure by which the project proponent provides pound-for pound mitigation of air emissions increases through a process that funds and implements emission reduction projects. A VERA can be implemented to address impacts from both construction and operational phases of a project.

The District recommends that a copy of the District's comment letter be provided to the project proponent. District staff is available to meet with you and/or the applicant to further discuss the regulatory requirements that are associated with this project. If you have any questions or require further information, please call Sharla Yang at (559) 230-5934 or e-mail [sharla.yang@valleyair.org](mailto:sharla.yang@valleyair.org). When calling or emailing the District, please reference District CEQA number 20171124.

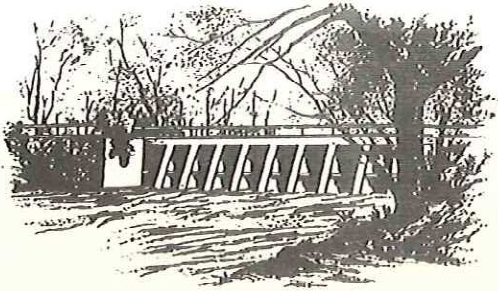
Sincerely,

Arnaud Marjollet  
Director of Permit Services



Brian Clements  
Program Manager

AM: sy



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208

October 30, 2017

George Gonzalez  
Planning and Development Services Department  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

RE: Tentative Tract Map No. 6202  
S/E Alluvial and Fowler avenues

Dear Mr. Gonzalez:

The Fresno Irrigation District (FID) has reviewed the Tentative Tract Map No. 6206 for which the applicant request approval for a 123 lot single family planned residential development. This request is being processed concurrently with GPA2017-06 and R2017-14, APN: 563-135-03 and 04. FID has the following comments:

1. This site was previously reviewed and commented on by FID on August 29, 2017 as Development Review Committee Application No. 2017-41. Those comments and conditions still apply and a copy is attached for your reference.

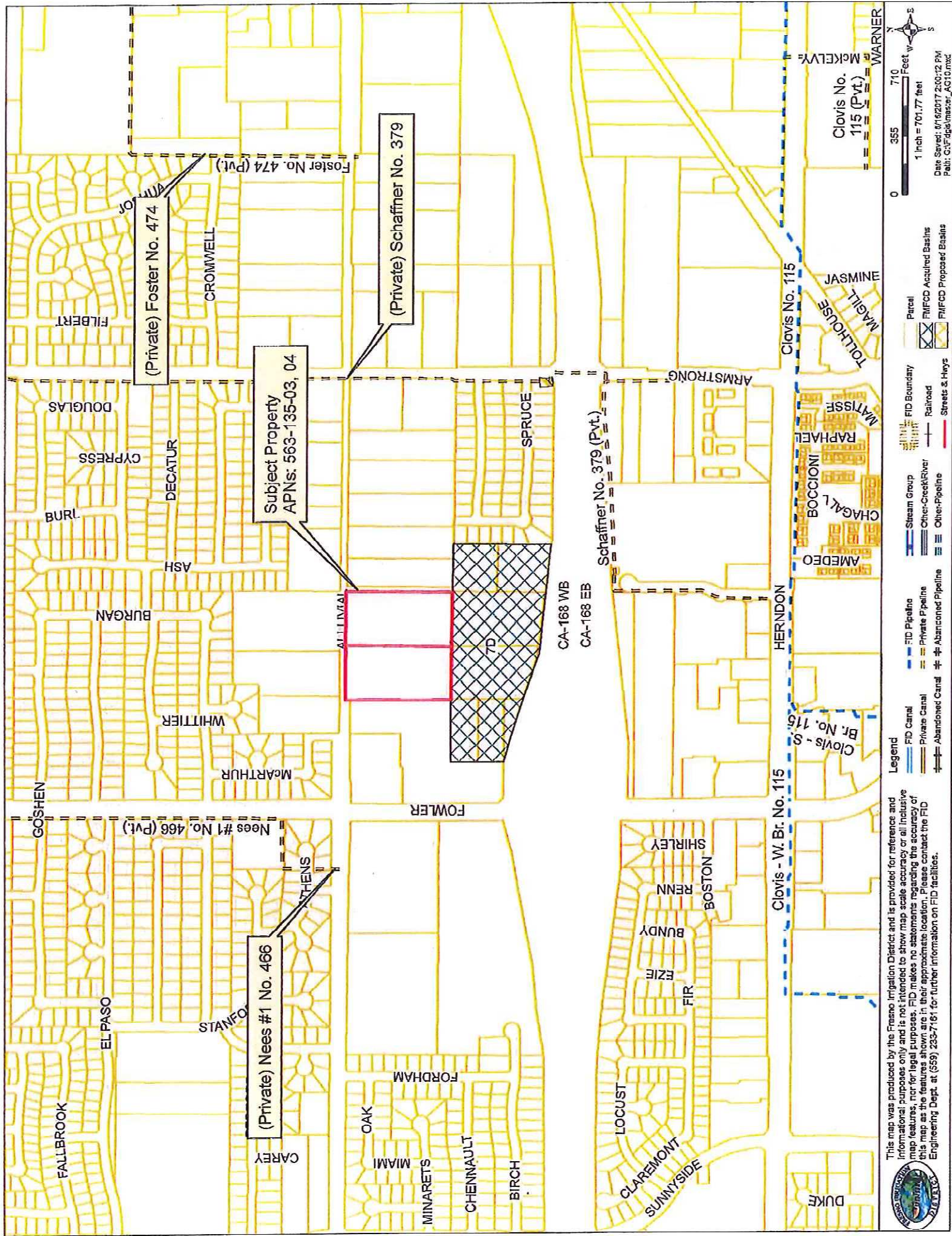
Thank you for submitting the this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or [jlandrith@fresnoirrigation.com](mailto:jlandrith@fresnoirrigation.com).

Sincerely,

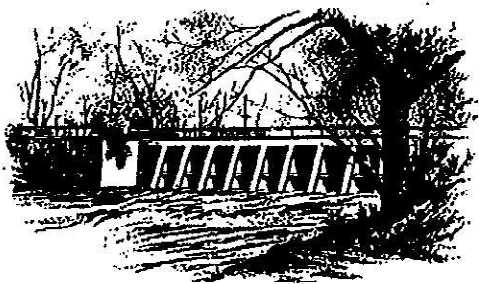
Laurence Kimura, P.E.  
Chief Engineer

Attachment









YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93726-2208

August 29, 2017

Lily Cha  
Planning Division  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

RE: Development Review Committee Application No. 2017-41  
S/E Alluvial and Fowler avenues

Dear Ms. Cha:

The Fresno Irrigation District (FID) has reviewed the Development Review Committee Application No. 2017-41 for which the applicant proposes a single family residential development, APNs: 563-135-03, 04. FID has the following comments:

1. FID does not own, operate, or maintain any facilities located on the subject property, as shown on the attached FID exhibit map.
2. For informational purposes, a Private pipeline known as the Nees #1 No. 466 runs southerly and crosses Alluvial Avenue approximately 1,000 feet west of the subject property, as shown on the attached FID exhibit map. FID records indicate that this pipeline may currently be inactive.
3. For informational purposes, a Private pipeline known as the Schaffner No. 379 runs southerly along the west side of Armstrong Avenue and crosses Alluvial Avenue approximately 1,300 feet east of the subject property, as shown on the attached FID exhibit map. FID records indicate that this pipeline is currently active and should be treated as such. FID can supply the City with a list of known users upon request.
4. The proposed land use (or change in land use) should be such that the need for water is minimized and/or reduced so that groundwater impacts to the proposed project area and any surrounding areas are eliminated. The "demand" side of water consumed needs to be evaluated or scrutinized as much as the "supply" side of the water supply. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a significant increase in dependence on groundwater, this deficit will increase. FID recommends the City of Clovis require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.

G:\Agencies\Clovis\DRC Meetings\2017-41.doc

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.  
CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

5. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Clovis and FID service area. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.
6. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Clovis are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Clovis should consider the impacts of the development on the City's ability to comply with requirements of SGMA.

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or [clundeen@fresnoirrigation.com](mailto:clundeen@fresnoirrigation.com).

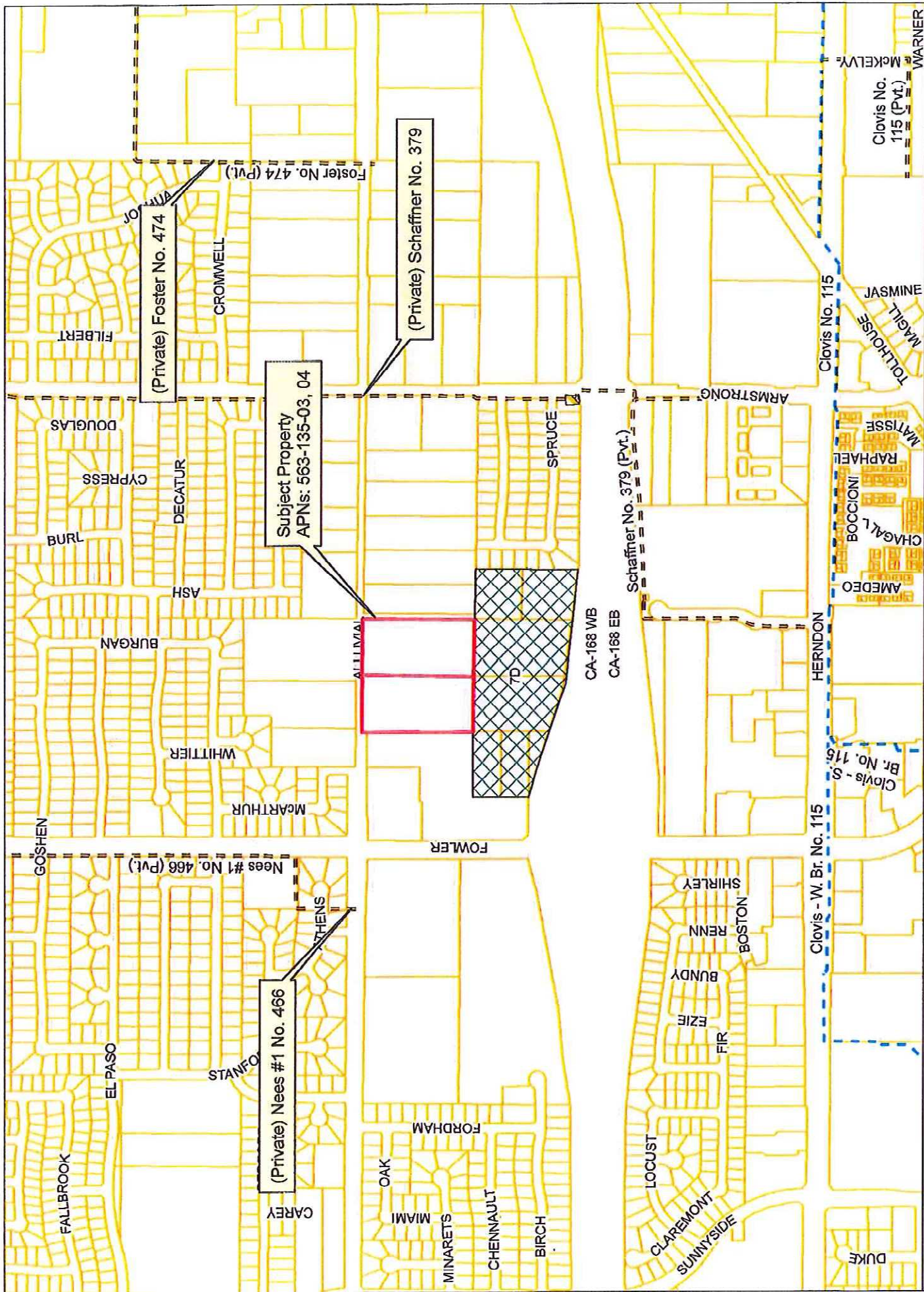
Sincerely,



Laurence Kimura, P.E.  
Chief Engineer

Attachment





This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.



#### Legend

- FID Canal
- FID Pipeline
- Abandoned Canal
- Private Canal
- Private Pipeline
- Abandoned Pipeline
- Other-Creek/River
- Other-Pipeline
- Stream Group
- FID Boundary
- Railroad
- Streets & Highways
- Parcel
- FMFCD Acquired Basins
- FMFCD Proposed Basins

0 355 710 Feet  
1 inch = 701.77 feet  
Date Saved: 5/15/2017 2:00:12 PM  
Path: G:\FID\GIS\map\AS 0.mxd



**DEPARTMENT OF TRANSPORTATION****DISTRICT 6**

1352 WEST OLIVE AVENUE  
P.O. BOX 12616  
FRESNO, CA 93778-2616  
PHONE (559) 445-5868  
FAX (559) 445-5875  
TTY 711  
www.dot.ca.gov



*Making Conservation a  
California way of life.*

October 24, 2017

FRE-168-7.813  
GPA2017-06, R2017-14, TM6202  
Wilson Premier Subdivision

Mr. George Gonzalez  
Associate Planner  
City of Clovis  
1033 Fifth Street  
Clovis, California 93612

Dear Mr. Gonzalez:

We have completed our review of the request for a 123-lot single-family residential development with 15 unit out lot, Tract Map (TM 6202). The project is located on the southern side of Alluvial Avenue at the eastern side of Fowler Avenue. Caltrans offers the following comments:

It is anticipated that trips generated from this project would impact SR 168 due to its proximity. Given the proposed development's location, project trips are likely to impact SR 168 at Fowler Avenue where there is an identified future improvement. The improvement involves adding a right lane for the southbound approach to the westbound on-ramp (estimated cost \$330,000). Without this improvement, Caltrans expects vehicle queuing to become problematic along Fowler Avenue.

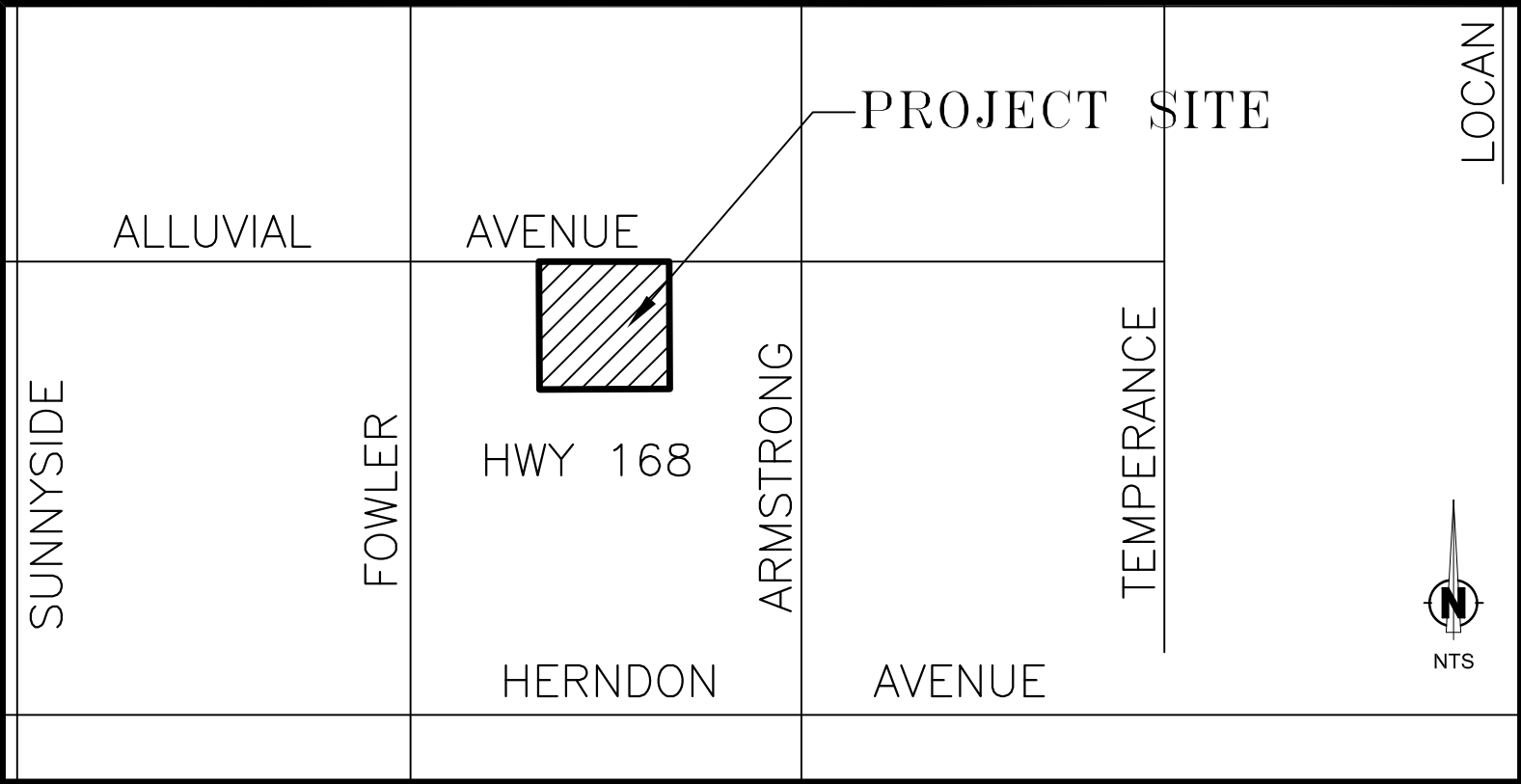
Caltrans continues to recommend that the City of Clovis establish a traffic impact fee program, with identified future improvements, to capture a fair-share mitigation from new developments. In the absence of an all-inclusive fee program the State Highway Systems in Clovis may not be able to sustain the thriving economy and quality of life which residents now enjoy.

If you have any questions please contact me at (559) 488-7307.

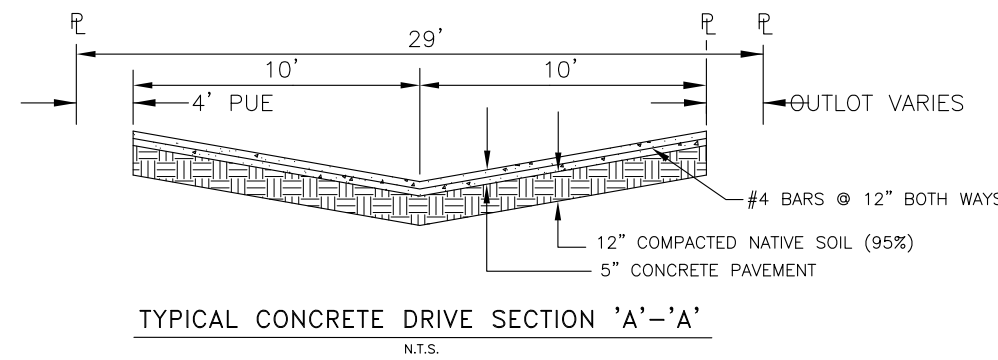
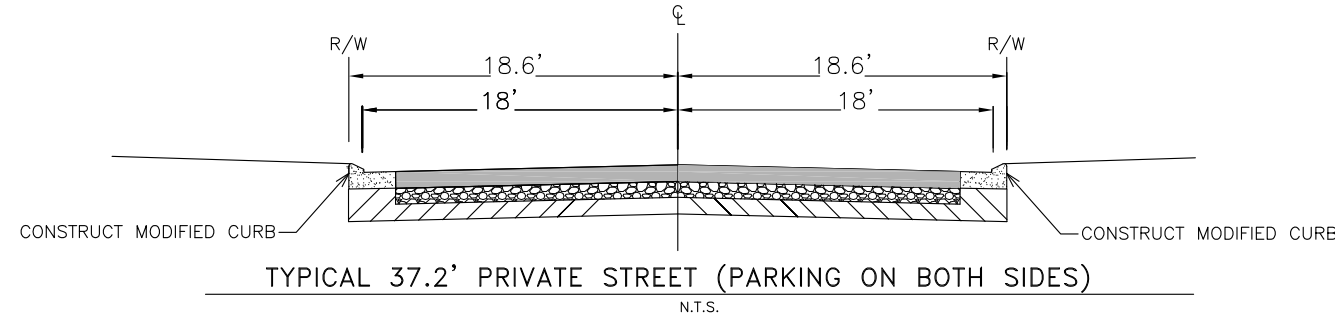
Sincerely,

A handwritten signature in blue ink, appearing to read "J. Gentry", with a stylized flourish at the end.

JAMAICA GENTRY  
Transportation Planner  
Planning North Branch



VICINITY MAP  
N.T.S.



VESTING  
TENTATIVE SUBDIVISION MAP  
OF  
**TRACT NO. 6202**  
A PLANNED DEVELOPMENT  
IN THE CITY OF CLOVIS  
FRESNO COUNTY, CALIFORNIA

LEGAL DESCRIPTION:

PARCEL 1: (APN: 563-135-19)

THE WEST HALF OF THE EAST HALF OF LOT 13 OF NEES COLONY, AS PER MAP RECORDED IN BOOK 2, PAGE 57 OF PLATS, RECORDS OF SAID COUNTY AND APPURTENANCES THERETO.

PARCEL 2: (APN: 563-135-20)

THE EAST HALF OF THE EAST HALF OF LOT 13 OF NEES COLONY, AS PER MAP RECORDED IN BOOK 2, PAGE 57 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS.

NOTES:

- THIS AREA IS SUBJECT TO FLOODZONE X (UNSHADED).
- ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS TO CITY STANDARDS, AND SHALL INCLUDE: SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVEMENT STREET LIGHTS, ETC.
- THERE SHALL BE NO GRADE DIFFERENTIALS OF GREATER THAN 6" WITHIN 200 FEET OF THE SITE UNLESS APPROVED BY THE CITY OF CLOVIS DEVELOPMENT DEPARTMENT.
- SUBDIVIDER INTENDS TO FILE MULTIPLE FINAL MAPS ON THIS TENTATIVE MAP. CAL. GOV. CODE SEC. 66456.1

EXISTING BUILDINGS

EXISTING BUILDINGS TO BE REMOVED

EXISTING TREES

EXISTING TREES TO BE REMOVED

EXISTING USE

RURAL RESIDENTIAL

EXISTING ZONING

A-1

PROPOSED ZONING

R-1-PRD

PROPOSED USE

SINGLE FAMILY RESIDENTIAL SUBDIVISION

SOURCE OF WATER

CITY OF CLOVIS

SOURCE OF SEWAGE DISPOSAL

CITY OF CLOVIS

SOURCE OF WASTE DISPOSAL

CITY OF CLOVIS

SOURCE OF ELECTRICITY

PG&E

SOURCE OF GAS

PG&E

SOURCE OF CABLE T.V.

COMCAST

SOURCE OF TELEPHONE

AT&T

ASSESSOR'S PARCEL NUMBER

563-135-19 & 20

SITE AREA

9.6 AC. (GROSS)

NUMBER OF LOTS

123 + 15 OUTLOTS

DENSITY

12.81 UNITS PER ACRE

AVERAGE LOT SIZE

2,092 SF

OUTLOT SCHEDULE

- OUTLOTS A, B, E, F, G, J, K, L, M & N ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
- OUTLOT C IS FOR POOL & RECREATION PURPOSES
- OUTLOT D IS FOR PRIVATE LANDSCAPE, PUBLIC PEDESTRIAN & PUBLIC UTILITY PURPOSES.
- OUTLOTS H & I ARE FOR PRIVATE LANDSCAPE, PUBLIC UTILITY & PARKING PURPOSES
- OUTLOT O IS FOR PRIVATE STREET & PUBLIC UTILITY PURPOSES
- OUTLOT P IS FOR PUBLIC LANDSCAPING & PUBLIC UTILITY PURPOSES

LEGEND:

- INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
- PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- OUTLOT IDENTIFIER

OWNERS

KENNETH R. & MERILYN B. SPRINGSTON  
1930 ALLUVIAL AVENUE  
CLOVIS, CA 93611

CLEO L. TOMLINSON  
4531 W. FLINT STREET  
CHANDLER, AZ 85226

TENTATIVE SUBDIVISION MAP

SUBDIVIDER  
Wilson Premier Homes, Inc.

1500 NORTH PALM AVENUE SUITE 102  
FRESNO, CA 93711  
559-224-1550



Harbour & Associates  
Civil Engineers  
388 Clovis Avenue, Suite 300 • Clovis, California 93612  
(559) 325-7676 • Fax (559) 325-7688 • e-mail: htorres@harbour-engineering.com

DATE: 8-25-17

SCALE: 1"=60'

DRAWN BY: KPA

REVISIONS

11-21-17

SHEET NO.

1

OF

1

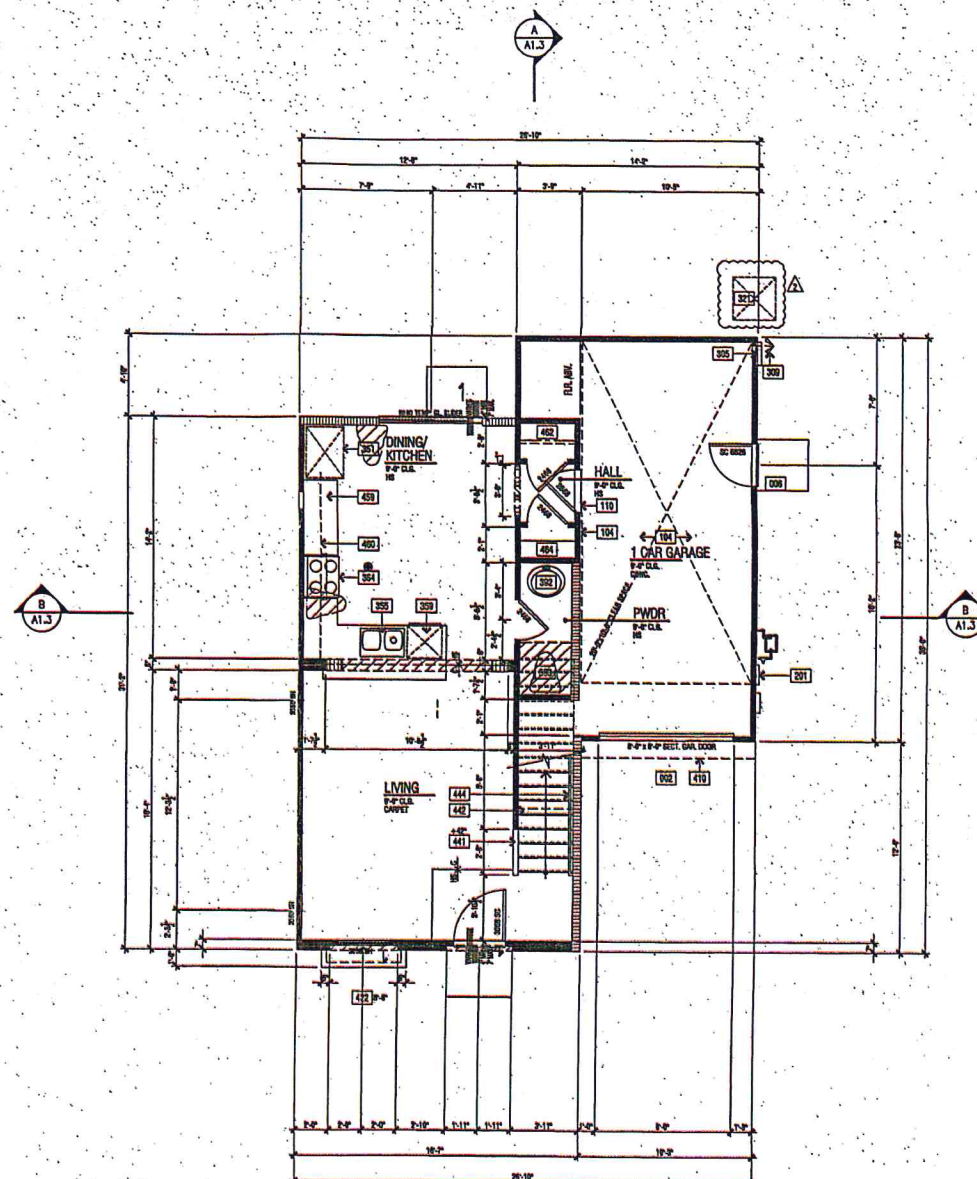
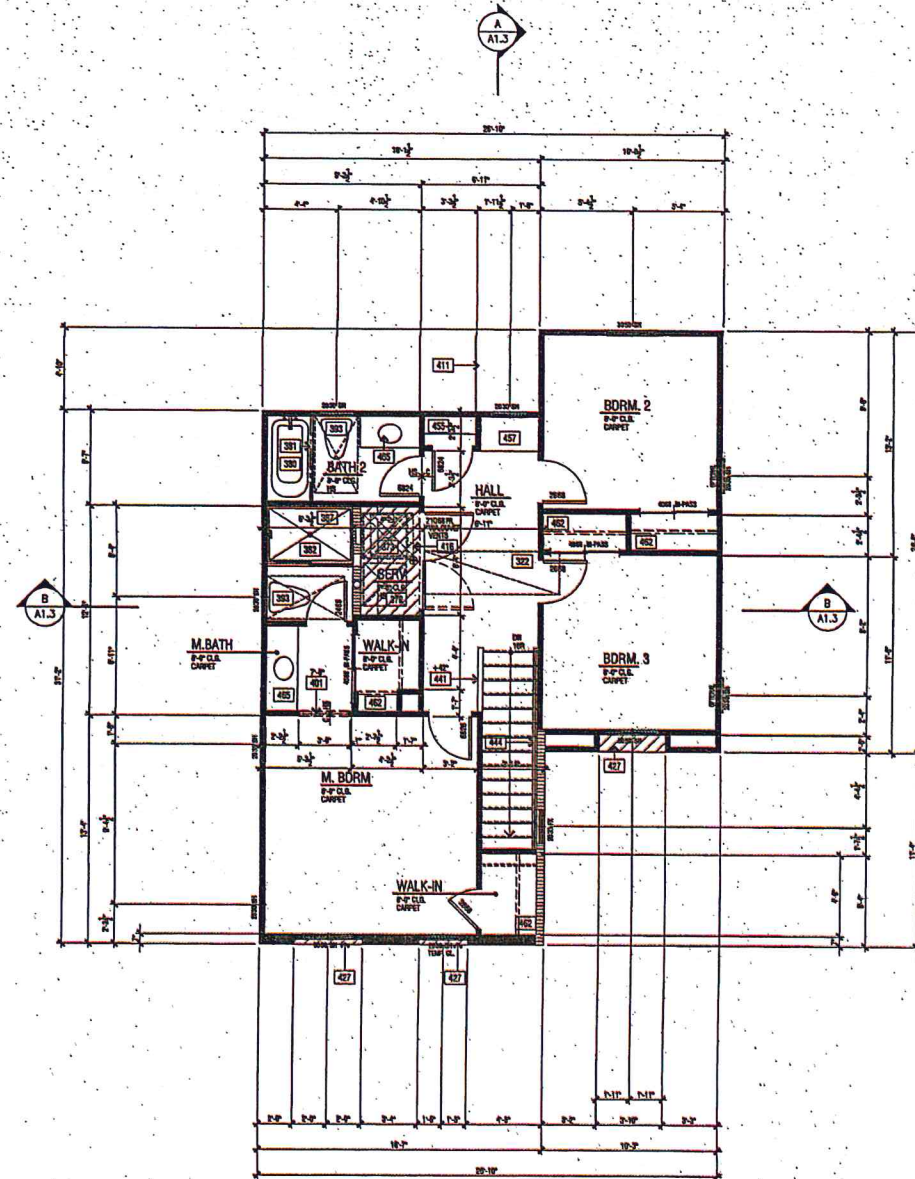
W.D. #17-012

D-905

## **FLOOR & ELEVATION PLANS**

**EXHIBIT C**





FLOOR PLAN KEY NOTES	
Number	NOTE
001	CONCRETE SLAB (SEE STRUCTURAL DRAWINGS)
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
006	CONCRETE STUCCO - 3/8" THICK AND 2" WIDER THAN THE DOOR OPENING - 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
010	CONCRETE PATIO (BY OTHERS)
101	GARAGE AND/OR CARPORT SHALL BE SEPARATED FROM THE RESIDENCE BY ITS ATTIC BY MEANS OF A MIN. 1/2" O.P. RD., OR EQUIVALENT, APPLIED TO THE EXTERIOR WALLS OF THE GARAGE AND/OR CARPORT.
102	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ALL SURTIS PROTECTED ON THE ENCLOSED SIDE BY A MIN. 1/2" O.P. RD., OR EQUIVALENT, APPLIED TO THE EXTERIOR WALLS OF THE GARAGE AND/OR CARPORT.
104	GARAGE AND/OR CARPORT WITH HANGABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY A MIN. 5/8" TYPE "X" G.P. BD., OR STRUCTURES SUPPORTING THE FLOOR SLAB, ASSEMBLY USED FOR SEPARATION OF THE GARAGE AND/OR CARPORT FROM THE RESIDENCE.
110	PROVIDE SLOD WOOD DOOR, OR SLOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1-3/4" THICK, OR 20 MINUTE FIRE RATED DOOR. DOORS SHALL BE SET CLOSING AND SELF LATCHING PER CBC SECTION 10302.2.
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
305	WASTABLE WATER HEATER - MODEL 10000 (PUBS.) - INSTALL PER MANUFACTURER'S INSTRUCTIONS
309	TEMPERATURE AND PRESSURE RELIEF VALVE - DISCHARGE LINE TO THE OUTSIDE OUTSIDE PER CBC SECTION 603
312	WATER HEATER GAS APPLIANCE - HEIGHT PER PLAN - INSTALL PER MANUFACTURER'S INSTRUCTIONS, BY HEATILATOR MODEL NO482 AND 281-88-2002
321	AIR CONDITIONING CONDENSER LOCATION
325	SWITCH - AIR UNIT (W/ALTR. MOTOR)
334	3" DIA. SL. DRYER VENT WITH APPROVED LIFT TRAP - VENT TO OUTSIDE
338	3" DIA. SL. DRYER VENT WITH APPROVED LIFT TRAP - VENT THROUGH ROOF
342	RETURN AIR GRILL - SEE MECHANICAL
344	WHOLE HOUSE EXHAUST FAN PER 2010 CBC. REF. TO ATTACHED "SUMMARY OF THE 2010 ENERGY CODE AS-RAE LAB REQUIREMENTS"
362	REFRIGERATOR SPACE WITH RECESSED GASKET WATER BASK
365	W/TH GARBAGE DISPOSER
367	UTILITY SINK
369	DISHWASHER - ENERGY STAR
394	30" COOKTOP & EXHAUST HOOD WITH FAN AND LIGHT. EXHAUST VENT TO OUTSIDE
397	30" OVEN
398	30" OVER THE COUNTER MICROWAVE OVERHUNG COMBO
372	WASHER W/TH W/TH RECESSED WATER BOX AND DRL. W/TH GRATTY PAN
373	DRYER SPACE
374	STACKED WASHER / DRYER
377	TUB - 42" X 72"
380	TUB / SHOWER - 32"X70" MODEL 263037 - BELCAYT SURFACE - BY AQUATON
382	SHOWER/STUCCO SHOWER DOOR ENCLOSURE
383	TUB ACCESS PANEL
386	SHOWER - PREFABRICATED SLAT - 32"X70"X70" MODEL 1600078 - GELCO
387	SHOWER - BY OTHERS
389	SHOWER - LASCOS MODEL # 1602078
390	SHOWER SEAT - SLOPE 1/4" MINIMUM TO DRAIN
400	PEDISTAL SINK
403	TOILET - PROVIDE MINIMUM 54" X 30" CLEAR FLOOR AREA IN FRONT OF TOILET
407	SOAP BOWL
410	INTERIOR SIGHTING DROPPED CEILING; HEIGHT PER PLAN
411	LINE OF FLOOR ELEVATION
412	LINE OF FLOOR ELEVATION
413	OPEN TO ABOVE
418	OPEN TO BELOW
419	30"X30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
419	12"X30" 1-HOUR ATTIC ACCESS-DIMENSIONS CLEAR
421	STUCCO CEILING: HEIGHT PER PLAN
422	STUCCO BORTH: HEIGHT PER PLAN
423	STUCCO BORTH OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
441	6"X 6" B.S. SHELF/PLUMB LAMB - WIDTH AND HEIGHT PER PLAN
442	2X POST PANEL - SIZE PER PLAN
444	+3/4" - +3/8" HANDRAIL (SEE DETAIL 1005)
445	+4" GUARD RAIL (SEE DETAIL 1005)
448	PANTRY WITH WIRE SHELVING
449	DECK
458	LINER (UPPER & LOWER)
459	LINER (LOW ONLY)
468	WIRE SHELF
469	BASE CABINET
470	UPPER CABINET
482	WIRE SHELF AND POLE
484	WIRE SHELF (ON SHELVES)
485	VANITY
510	STUCCO OVER 1" RIGID FOAM OVER 1" RIGID FOAM WALL - HEIGHT PER PLAN

[illegible]

FLOOR AREA TABLE	PLAN 1212A
LOWER FLOOR PLAN	490 SQ. FT.
UPPER FLOOR PLAN	722 SQ. FT.
TOTAL:	1,212 SQ. FT.
GARAGE	288 SQ. FT.

SCALE: 1/4" = 1'-0"

PLAN 1212

# ELEV8IONS III

**ALL VOICES  
CLOVIS, CALIFORNIA**

**WILSON HOMES**  
**FRESNO, CALIFORNIA**

**WILSON HOMES**  
**FRESNO, CALIFORNIA**

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 BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, OR  
 ANYTHING IS ATTEMPTED TO BE DONE THEREIN WITHOUT THE  
 WRITTEN PERMISSION OF WILLIAM HEZMALMULCH ARCHITECTS, INC.  
 IN THE EVENT OF UNAUTHORIZED RELEASE OF  
 THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL BE  
 WILLIAM HEZMALMULCH ARCHITECTS, INC. HAZLESLAND, PA

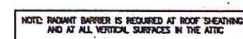
NO.	DATE	DESCRIPTION
1	8-5-14	AS BUILTS

PROJECT MANAGER: MM  
 DESIGNER: BR  
 ARCHITECT: MM  
 CHECKED BY: MM  
 DATE: 8-5-14  
 1ST BLOCK DEPT. SUBMITTAL: \_\_\_\_\_  
 ISSUED FOR CONSTRUCTION: \_\_\_\_\_  
 JOB NUMBER: 2013272  
 CAD FILE NAME: A101

DATE: 08-06-14  
 SHEET: A1.1

2013272 - 08-06-14





ROOF PITCH AREA	8	17:00	SQ. FT.	CALCULATOR FACTOR:	1/150
		344	SQ. IN.		
LOW VENTILATION METHOD	TOTAL	16	62	TOTAL PROVIDER	98
HIGH VENTILATION METHOD B	SIZE	PIPE AREA	QUANTITY	PIPE VENT AREA	
CROWNED VENT - 8" DIA.	8"	50	SQ. IN. 4	201	SQ. IN.
			TOTAL	201	SQ. IN.
			TOTAL PROVIDER	304	SQ. IN.



SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE: A		ELEVATION STYLE: SPANISH			
ROOF MATERIAL	STANDARD ROOF DETAIL, U.S.D.	FUSHA - U.S.D.	RAVPE - U.S.D.	OVERHANG DETAIL - U.S.D.	
				EAVE	RIDGE
CONCRETE 'S' TILE	1 D1 D	2X6	2X6	1'-0"	TIGHT

[illegible]

ROOF PLAN KEY NOTES	
NAME	NOTE
802	ROOFING - CONCRETE - LOW PROFILE "S" TILE BY EAGLE ROOFING ECG ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
824	ROOF VENT - CHIMNEY 20" EXPOSED CL DADO VENT (20" x 16" MIN. AREA)




ELEVATION KEY NOTES	
Number	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 6" MR. HIGH BUILDING ADDRESS CHARACTERISTICS PLACED SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
203	COACH LIFT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
519	CERAMIC TILE ACCENT
520	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC® ENE-1194 ST TYPE I OR II PORTLAND CEMENT W/OUT SPAT OR GUARD ESR-1506 BY STUCCO
525	STUCCO OVER RIGID FOAM LINER - FORM SHAPE PER ELEVATION (SEE SIDE SHEET)
530	DECORATIVE FOAM ACCENT
690	DECORATIVE METAL SHELF - PROVIDE SOLID BACKING AND MINIMUM 1/2" ELASTOMERIC GREET WATERPROOFING AT ALL MOUNTING POINTS / PENETRATIONS
701	GL FLASHING
701	GL LOUVER VENT - RECTANGULAR (B/SIDE PER ELEVATION)
719	2 LAYERS OF GRADE 75 BUILDING PAPER IS REQUIRED TO BE INSTALLED UNDER SHAPED



TRACT NUMBER	PROJECT TYPE
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**WILSON HOMES**  
**FRESNO, CALIFORNIA**

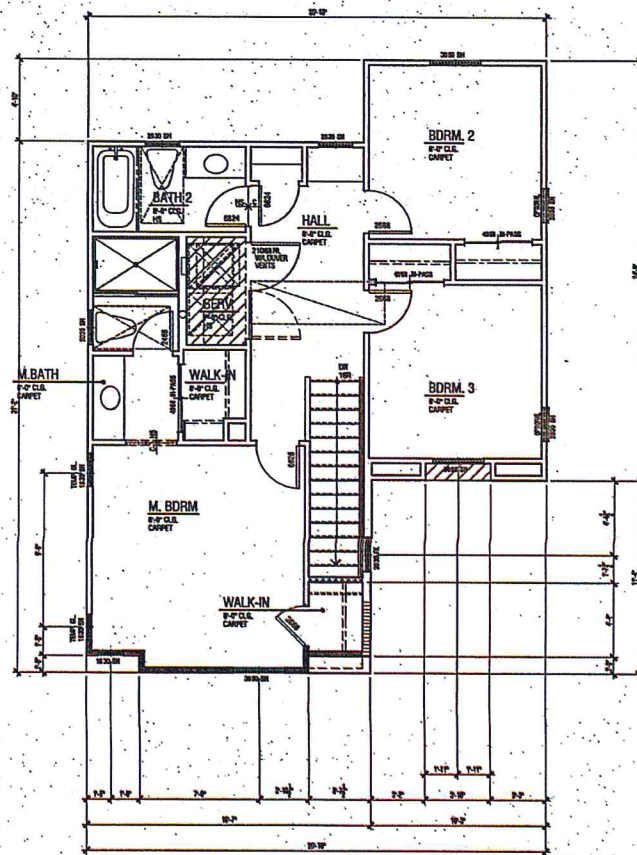
NO.	DATE	DESCRIPTION																
A	8-6-14	FIAS BUILTS																
																		
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DESIGNER :	BN																	
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REVIEWED BY :																		
1ST BLDG. DEPT. SUBMITTAL :																		
ISSUED FOR CONSTRUCTION :																		
JOB NUMBER :	2013272																	
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DATE:		SHEET:																
08-06-14		A1.4																

Developing  
ELEVATIONS - PLAN 1212A

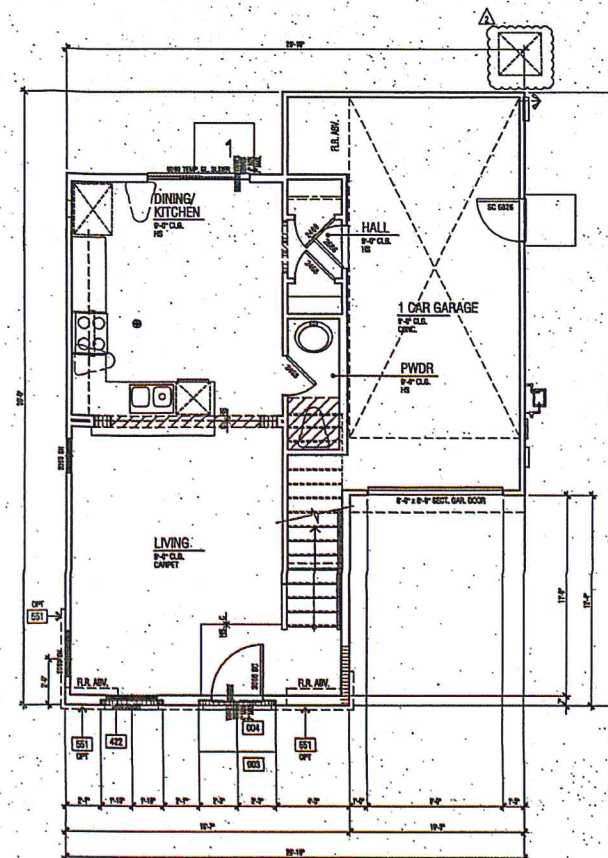
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





UPPER FLOOR PLAN 1212C



LOWER FLOOR PLAN 1212C

FLOOR PLAN KEY NOTES	
NAME	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
421	STUCCO CEILING - HEIGHT PER PLAN
422	STUCCO SOFFIT - HEIGHT PER PLAN
545	TWIN SET BRICK VENEER BY ENDICOTT BRICK - ASTM C-1088 - INSTALL PER MANUFACTURER'S INSTRUCTIONS
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE (CCC-ES ESR-1364) - INSTALL PER MANUFACTURER'S INSTRUCTIONS

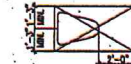
**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
2830 REED HILL AVENUE SUITE 200 SANTA ANA CA 92705-5551  
949 250 0887 www.hezmalhalch.com fax 949 250 1520



TRACT NUMBER  
PROJECT TYPE

FLOOR AREA TABLE	PLAN 1212C
LOWER FLOOR PLAN	490 SQ. FT.
UPPER FLOOR PLAN	715 SQ. FT.
TOTAL	1,205 SQ. FT.
GARAGE	288 SQ. FT.

REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL



ADDENDA FLOOR PLAN NOTES

NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.  
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.  
REFER TO BASE PLAN SHEET A1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.



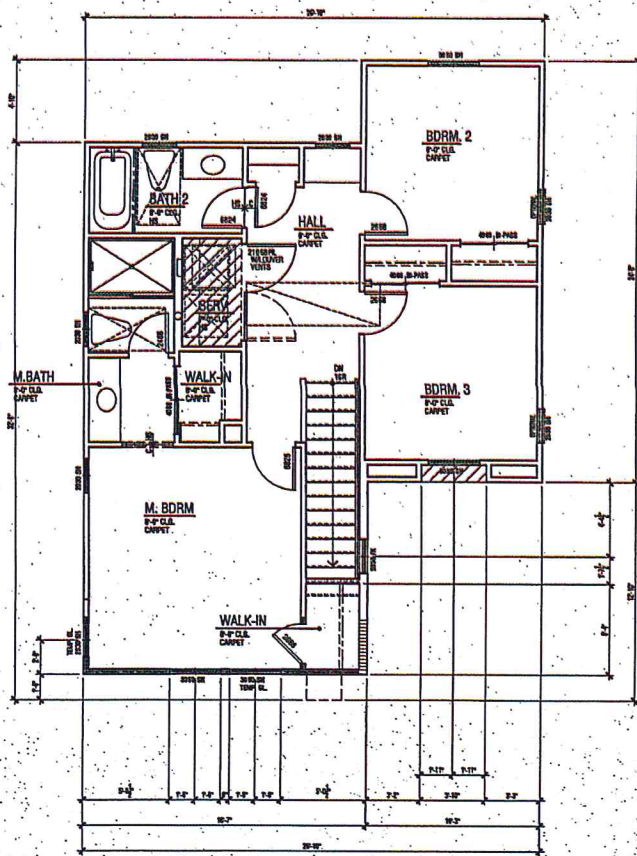
INTERIOR ELEVATION KEY

FLOOR PLAN NOTES

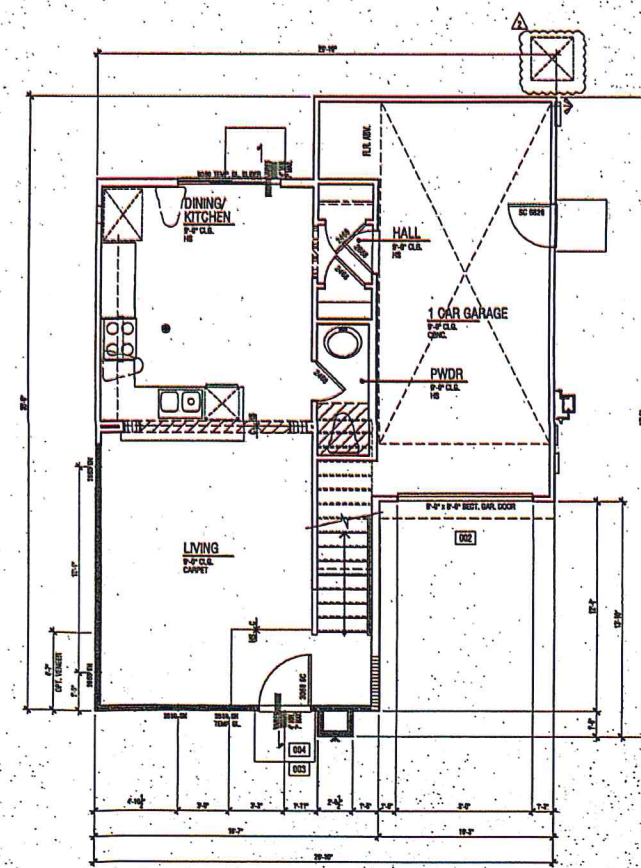
1. ATTICE: ACCESS PER CMC 1907, DRAFTSTOPS PER CMC 1904.10 AND VENTILATION PER CMC 1904.11 & 1904.12.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CMC 705 & 705A.
3. FINISH OF FLOORS PER CMC 1904.11.
4. GLAZING PER CMC 1904.11, 1904.11.1 & 1904.11.2.
5. FACTORY-BUILT PREPARED AND CHIMNEYS PER CMC 1904A, 1904B, 1904C AND 1904D.
6. COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
7. COMBUSTION AIR TO WATER HEATER PER CMC SECTION 1904A.
8. UNWINDING, AIR DUCTS PER CMC SECTION 1904.
9. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 1904.
10. MANDATORY REINSPECTION FOR APPLIANCE PER CMC SECTION 1904.11.
11. THE WALL HEIGHT IS NOT TO EXCEED 8' FROM THE BOTTOM OF THE CLEAR OPENING IN GLAZED DOORS. 1904.11.1 & 1904.11.2.
12. THE WALL HEIGHT IS NOT TO EXCEED 8' FROM THE BOTTOM OF THE CLEAR OPENING ABOVE THE FINISHED FLOOR AND MORE THAN 2" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR. MUST BE PROTECTED BY A GLASS OR HAVE FINED GLASS. THE GLASS MUST NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 1904.11.1 & 1904.11.2.
13. A SHEETROCK WALLING INSPECTION IS REQUIRED. 1904.11.1 & 1904.11.2.
14. GLAZING IN A HORIZONTAL LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 1904.11.1 & 1904.11.2.
15. PROVIDE A 4" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE PREPARED 1904.11.1 & 1904.11.2.
16. VERTICAL CLEARANCE ABOVE THE EXTERIOR TO COMBUSTIBLES IS 8" UNPROTECTED, OR 4" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 1904.11.1 & 1904.11.2.
17. A SHEETROCK WALLING INSPECTION IS REQUIRED. 1904.11.1 & 1904.11.2.
18. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS EXPOSED TO WATER OR ARE ARE CONSIDERED TO BE MATERIALS AFFECTED BY WATER. WITH THE USE OF FINE CEMENT, FINE MORTAR, REINFORCED GROUT OR GLASS MATT EXTERIOR BACKING TO BE USED IN THESE LOCATIONS. 1904.11.1 & 1904.11.2.
19. THE THREE CAR GARAGE IS NON-COMBUSTIBLE AND THE REQUIRED SIDEWIND DETACHES MAY NOT BE RELIED. 1904.11.1 & 1904.11.2.
20. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 1904.11.1 & 1904.11.2.

FLOOR AREA TABLE	PLAN 1212B
LOWER FLOOR PLAN	722 SQ. FT.
UPPER FLOOR PLAN	1,212 SQ. FT.
TOTAL	1,934 SQ. FT.
GARAGE	288 SQ. FT.

SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN 1212B



LOWER FLOOR PLAN 1212B

PLAN 1212  
ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

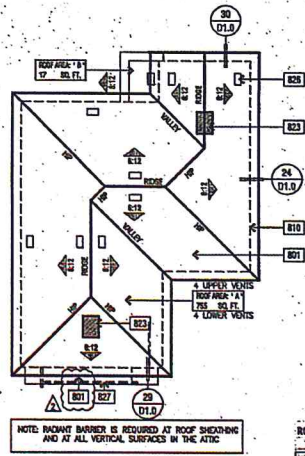
REVISIONS

NO.	DATE	DESCRIPTION
1	8-6-14	AS BUILTS

PROJECT MANAGER:	MM
DESIGNER:	SH
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2013272
CAD FILE NAME:	A105
DATE:	08-06-14
SHEET:	A1.5

2013272 - 08-06-14

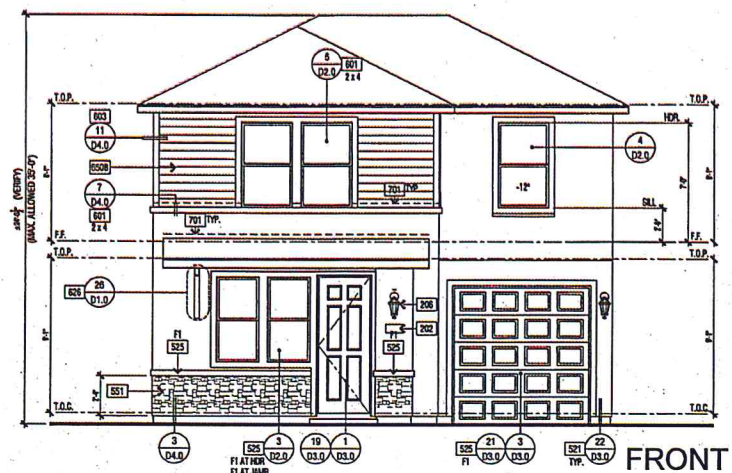
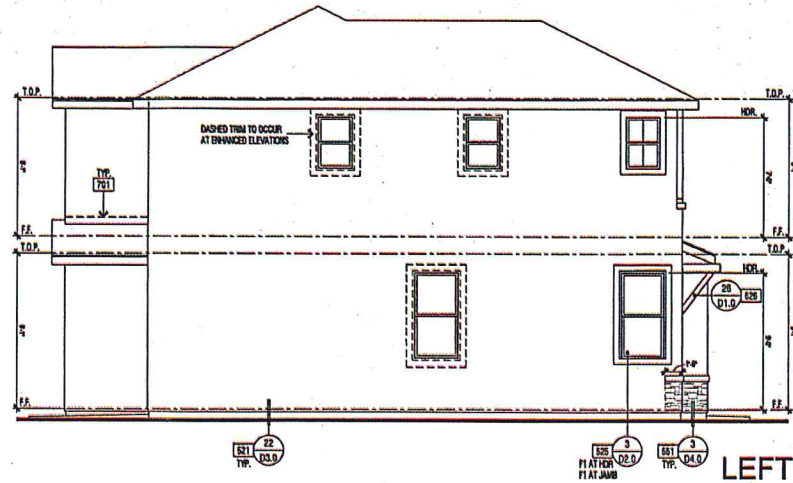
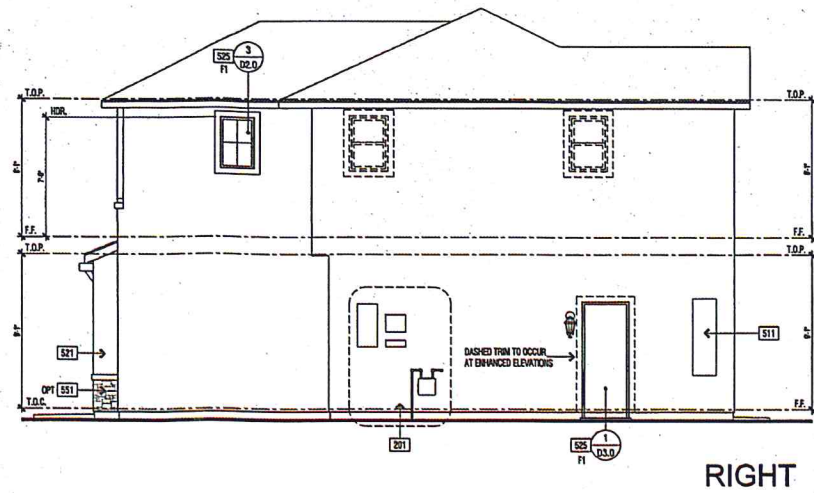
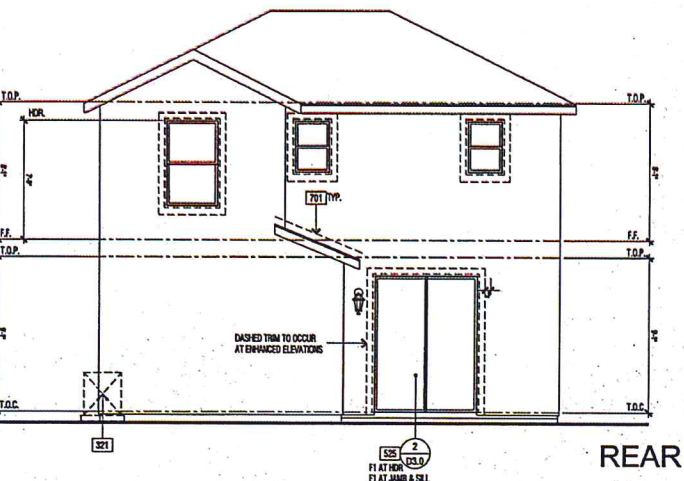




## ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	B	ELEVATION STYLE	CRAFTSMAN
ROOF MATERIAL		STANDARD ROOF DETAIL U.S.D.	ROOF U.S.D.
CONCRETE 'FLAT' TILE	4	2X6	2X6
1" x 6" ROOFING	4	1'-0"	1'-0"
ROOF PLAN NOTES			
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.			
1. SEE GENERAL NOTES FOR ROOF NOTES.			
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.			
3. ATIC ACCESS FOR ONE SECTION ONLY.			
4. PROVIDE ATIC & EGRESS VENTILATION PER CBC SECTION 110.10. PER CBC SECTION 110.10. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VOLUME OF THE VENTED SPACE. CONSIDER THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VOLUME OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:			
a. IN CLIMATE ZONES 1-4 AND 1A, A CLASS 1 OR A CLASS 2 VENTILATOR IS INSTALLED ON THE ROOF WITHIN 18" OF THE CEILING.			
b. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED AT THE UPPER PORTION OF THE ATIC OR VENTILATOR SPACES. VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY ONE OR MORE VENTS, WHERE THE LOCATION OF WALL OR ROOF FINISHES INTERFERES WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.			
ROOF PLAN KEY NOTES			
Notes	NOTE		
801	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING ICCP ESR 1300		
810	LINE OF WALL BELOW		
812	STUCCO CEILING		
814	WOOD SOFFIT		
823	MIN. 22"x20" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS		
828	ROOF VENT - 'HYPER' XL SERIES' CROWNED VENT (ICC # NER-0650A)		
827	ALUMINUM CONTINUOUS EGRESS VENT		



ELEVATION KEY NOTES	NOTE
221	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER: 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICCP ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SPAT 'R' GUARD ESR-1566 BY 'START R' FOAM
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D3.0)
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS
601	WOOD TRIM - SIZE PER ELEVATION
605	WOOD CORNER TRIM - SIZE PER DETAIL
608	OUTLOOKER ASSEMBLY - WOOD (SIZE/SHAPE PER ELEVATION)
6508	PEER CEMENT LAP SIDING - 5/16" THICK 'HARDPLANK' BY JAMESHARDE ICC-ES ESR 485 (OR EQUIVALENT). FINISH SELECT CEDAR/MILL EXPOSURE 8" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
701	G.I. FLASHING
761	ROOFING - CONCRETE - 'FLAT' TILE
761	TYP. 2 LAYERS OF OF GRADE 17 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R703.63

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2830 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5503  
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TRACT NUMBER  
PROJECT TYPE

PLAN 1212  
ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

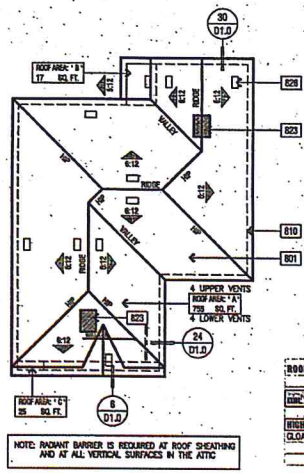
ELEVATIONS - PLAN 1212B

REVISIONS		
NO.	DATE	DESCRIPTION
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100	8-6-14	PIPING BUILTS

SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





ROOF ATTIC AREA	1555.00	SQ. FT.	CALCULATION FACTOR	1/150
MINIMUM VENTILATION REQUIRED	10.37	SQ. FT.	TOTAL PROVIDED	10.37
ROOF ATTIC AREA	1555.00	SQ. FT.	CALCULATION FACTOR	1/150
MINIMUM VENTILATION REQUIRED	10.37	SQ. FT.	TOTAL PROVIDED	10.37
ROOF ATTIC AREA	1555.00	SQ. FT.	CALCULATION FACTOR	1/150
MINIMUM VENTILATION REQUIRED	10.37	SQ. FT.	TOTAL PROVIDED	10.37
ROOF ATTIC AREA	1555.00	SQ. FT.	CALCULATION FACTOR	1/150
MINIMUM VENTILATION REQUIRED	10.37	SQ. FT.	TOTAL PROVIDED	10.37

**ROOF PLAN** SCALE: 1/8" = 1'-0"

SECTION NUMBER	C	SECTION TYPE	COTTAGE
ROOF MATERIAL	CONCRETE "FLAT" TILE	STANDARD ROOF	2X6
OVERHANG DIM. - LVL.	8"	OVERHANG DIM. - LVL.	8"

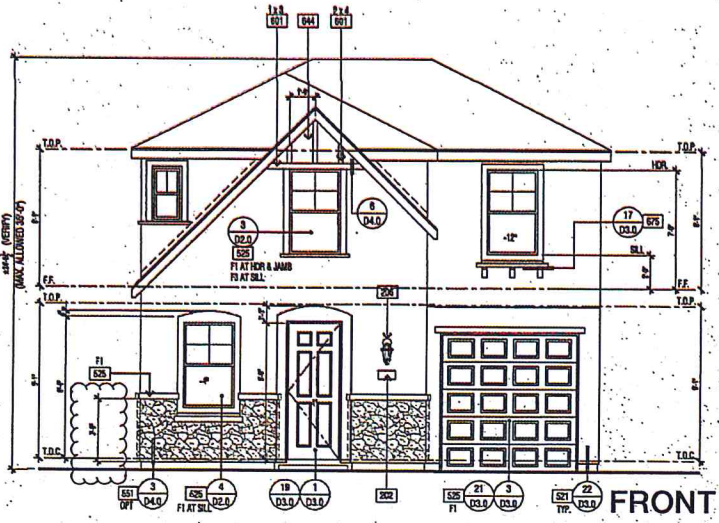
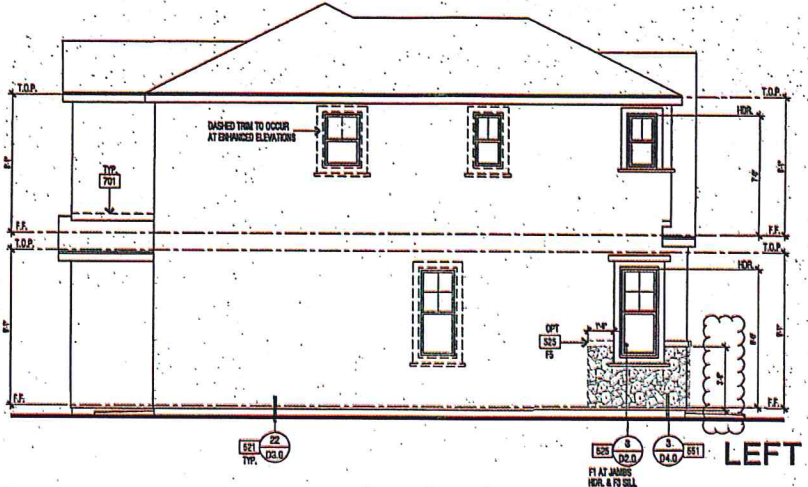
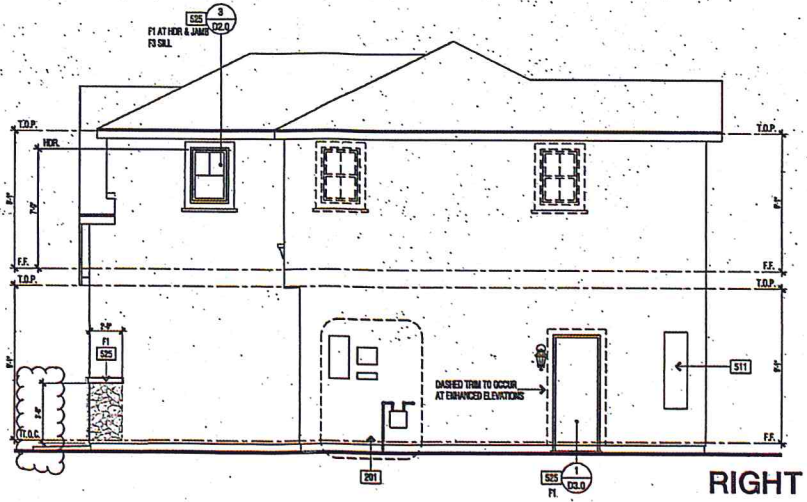
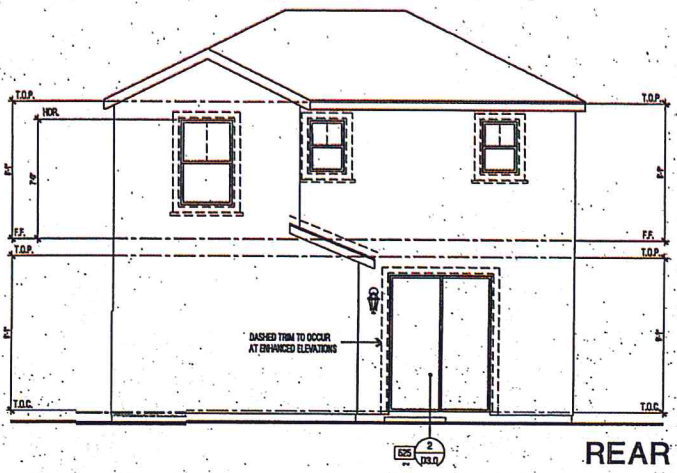
**ROOF PLAN NOTES**

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPACE AVAILABILITY SHALL BE MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS FOR ONE SECTION ONLY.
- PROVIDE ATTIC & EIGHTY VENTILATION PER CBC SECTION 110.10. PER CBC SECTION 110.10, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
  - BY CLEANER EXITS 14 AND 14.1 A CLASS 1 OR 2 VENTILATOR IS INSTALLED ON THE WIND-UP-WIND DOWN SIDE OF THE CEILING.
  - AT LEAST 40 PERCENT AND NOT MORE THAN 60 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET FROM THE RAFTER SPACE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COMPLETES WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET FROM BELOW THE ROOF OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

**ROOF PLAN KEY NOTES**

Name	NOTE
R01	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICCP ESR-1000.
R10	LINE OF WALL BELOW.
R11	STUCCO CEILING.
R12	STUCCO SOFFIT.
R23	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS.
R28	ROOF VENT - OUTRIG "XL SERIES" CLOAKED VENT (ICC # HEP-6650A).



FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**ELEVATION KEY NOTES.**

Name	NOTE
E01	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
E02	ADDRESS NUMBER - 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
E03	COACH LIGHT LOCATION.
E04	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICCP ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SPAT 1/2" GUARD ESR-1599 BY START R ISAM.
E11	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS.
E12	STUCCO OVER RISID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4).
E13	MANUFACTURED ADHESIVE STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
E14	WOOD TRIM - SIZE PER ELEVATION.
E15	WOOD FASCIA.
E16	WOOD DARGE BOARD.
E17	FIBER CEMENT SHEATHING.
E18	FIBER CEMENT VERTICAL SIDING - 5/8" THICK "HARDPLANK" (OR EQUIVALENT). FINISH: SELECT CEDAR/MILL (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS).
E19	FIBER CEMENT LAP SIDING - 5/8" THICK "HARDPLANK" BY JAMESHARDIE ICC-ES ESR-455 (OR EQUIVALENT). FINISH: SELECT CEDAR/MILL. EXPOSURE 5" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS).
E20	DECORATIVE WOOD SHELF - PROVIDE SOLID BACKING AND MINIMUM 12"x12" ELASTOMERIC SHEET WATERPROOFING AT ALL MOUNTING POINTS/PENETRATIONS.
E21	GL. FLASHINGS.
E22	ROOFING - CONCRETE - "FLAT" TILE.
E23	2 LAYERS OF OF GRADE 17 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CBC R703.6.3.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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949 250 0007 www.hezmalhalch.com fax 949 250 1535

**TRACT NUMBER**  
**PROJECT TYPE**

**- PLAN 1212**  
**ELEVATIONS III**  
CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION
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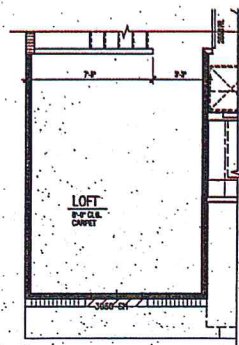
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DESIGNER: MM  
DRAWN BY:  
REVIEWED BY:  
1ST BLDG. DEPT. SUBMITTAL:  
ISSUED FOR CONSTRUCTION:  
JOB NUMBER: 2013272  
CNO FILE NAME: A107

DATE: 08-06-14 SHEET: A1.7

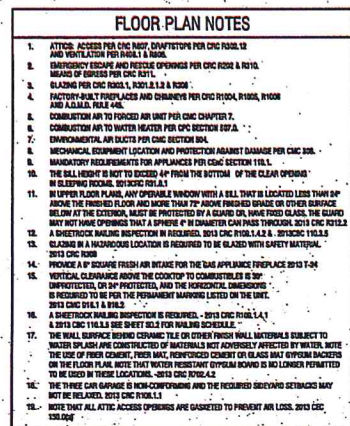
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





### OPT. LOFT FLOOR PLAN



## LOWER FLOOR PLAN

FLOOR AREA TABLE		PLAN 1413A
LOWER FLOOR PLAN	566	SQ. FT.
UPPER FLOOR PLAN	847	SQ. FT.
TOTAL	1413	SQ. FT.
GARAGE	426	SQ. FT.
COVERED ENTRY/PORCH	52	SQ. FT.

SCALE: 1/4" = 1'-0"

PLAN 1413A

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THE WRITTEN PERMISSION AND CONSENT OF WILLIAM HEZMALMACH  
ARCHITECTS, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF  
THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL BE  
WILLIAM HEZMALMACH ARCHITECTS, INC. HARMLESS.  
DO NOT SCALE PLANS

NO.	DATE	DESCRIPTION
2	8-6-14	AS BUILTS

DRAWN BY:	
REVIEWED BY:	
JUST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2013272
CAD FILE NAME:	A201

DATE: 10-24-14	SHEET: A2.1
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DO NOT SCALE PLANS

REVISIONS.

NO.	DATE	DESCRIPTION
1	8-6-14	AS BUILTS

13SPN

11/6/9/2014

PROJECT NO.:  
DESIGNER:  
DRAWN BY:

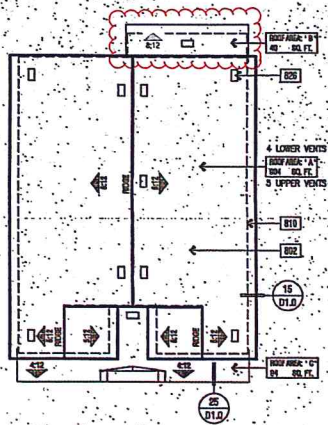
REVIEWED BY:	
POST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2013272

CAD FILE NAME:	A201
DATE:	SHEET:

10-24-14 | A2.1

2013272-10-24-14





NOTE: RAINWATER IS REQUIRED AT ROOF SHEETING AND AT ALL VERTICAL SURFACES IN THIS ATTIC

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE S-TILE	1000	SQ. FT.
2	WOOD SHAKING	1000	SQ. FT.
3	WOOD SHAKING	1000	SQ. FT.
4	WOOD SHAKING	1000	SQ. FT.
5	WOOD SHAKING	1000	SQ. FT.
6	WOOD SHAKING	1000	SQ. FT.
7	WOOD SHAKING	1000	SQ. FT.
8	WOOD SHAKING	1000	SQ. FT.
9	WOOD SHAKING	1000	SQ. FT.
10	WOOD SHAKING	1000	SQ. FT.

# ROOF PLAN

SCALE: 1/8" = 1'-0"

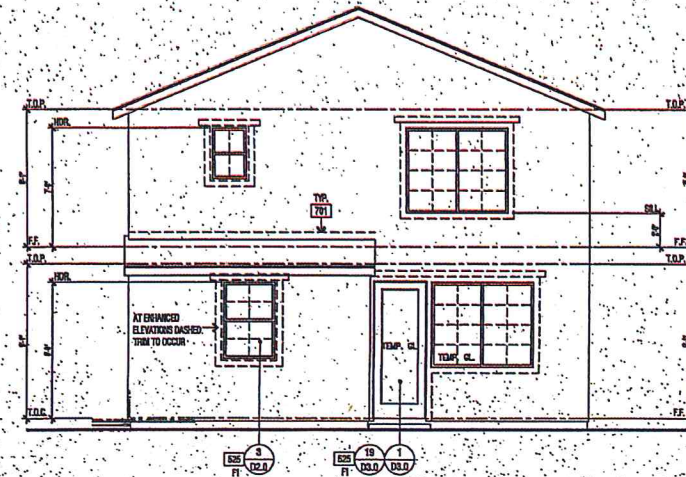
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7	WOOD SHAKING	1000	SQ. FT.
8	WOOD SHAKING	1000	SQ. FT.
9	WOOD SHAKING	1000	SQ. FT.
10	WOOD SHAKING	1000	SQ. FT.

## ROOF PLAN NOTES

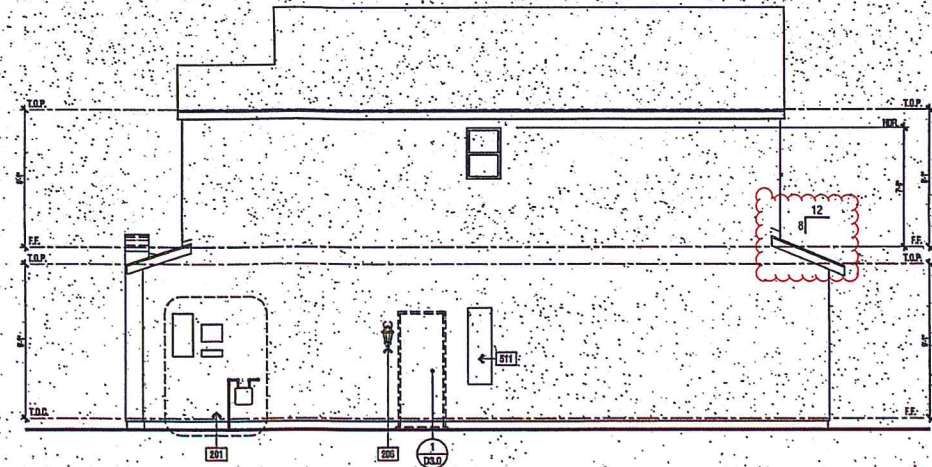
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.  
 1. USE GENERAL NOTES FOR ROOF NOTES.  
 2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 3. ATTIC ACCESS PER THIS SECTION SHALL BE:  
 4. PROVIDE ATTIC & ROOF VENTILATION PER CBC SECTION 110.10. PER CBC SECTION 110.10, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE VENTED SPACE PROVIDED ONE OF THE FOLLOWING CONDITIONS ARE MET:  
 A. IN CLIMATE ZONES 1A AND 1B, A CLASS 1 OR A BAPOR RETARDER IS INSTALLED ON THE INSIDE-SIDE OF THE CEILING.  
 B. AT LEAST 40 PERCENT OF THE VENTED SPACE IS PROVIDED BY THE FOLLOWING VENTILATION AREAS:  
 1. 100% OF THE VENTED SPACE IS PROVIDED BY THE FOLLOWING VENTILATION AREAS:  
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## ROOF PLAN KEY NOTES

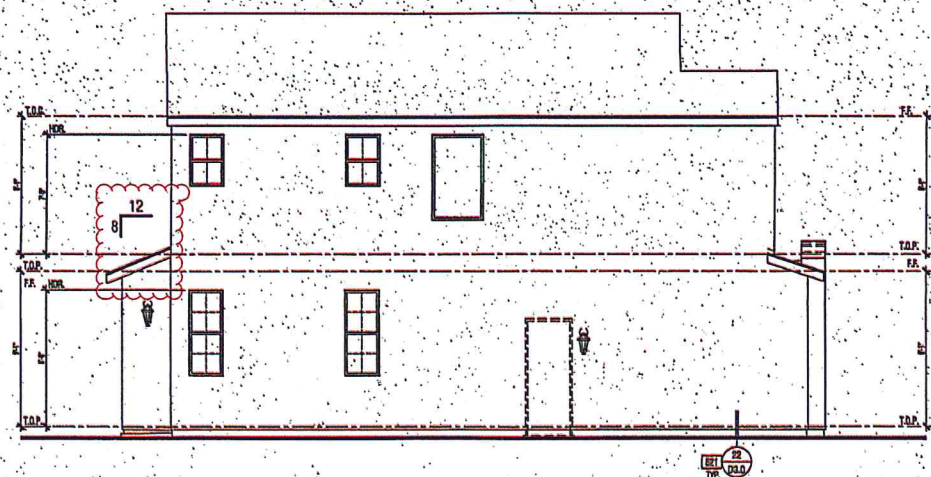
ITEM	DESCRIPTION
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REAR



RIGHT



LEFT



FRONT

ELEVATION KEY NOTES	
ITEM	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER: 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
203	CONCRETE LIGHT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
511	REDUCED BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
518	CERAMIC TILE ACCENT
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICCP ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT 19 GUMPH ESR-1555 BY STAFF R TUM
525	STUCCO OVER RIBBON FOAM TBM - FOAM SHAPE PER ELEVATION (SEE SHEET 04)
530	DECORATIVE FOAM ACCENT
701	GL FLASHING
741	GL DOWNER VENT - RECTANGULAR (SIZE PER ELEVATION)
742	2 LAYERS OF OF GRADE 10" BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CBC 704.08

WILLIAM HEZMALHALCH ARCHITECTS, INC.  
 2550 FREEMAN AVENUE SUITE 200 SANTA ANA CA 92705-5503  
 949 250 0007 www.hezmalhalch.com fax 949 250 1200



TRACT NUMBER  
 PROJECT TYPE

# ELEVATIONS III - PLAN 1413

CLOVIS, CALIFORNIA

WILSON HOMES  
 FRESNO, CALIFORNIA

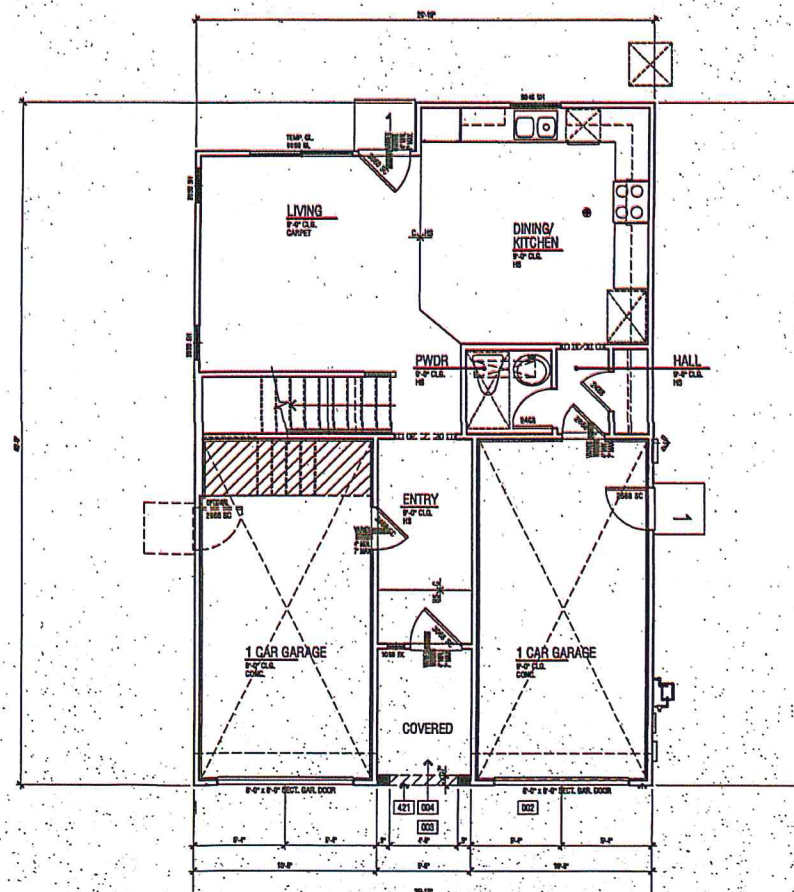
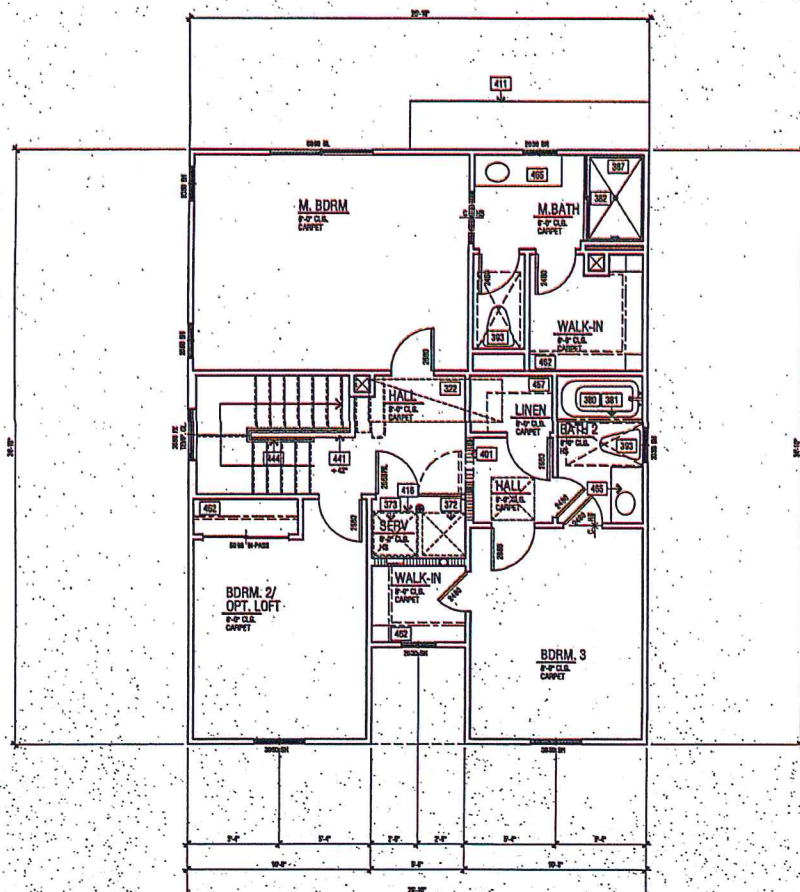
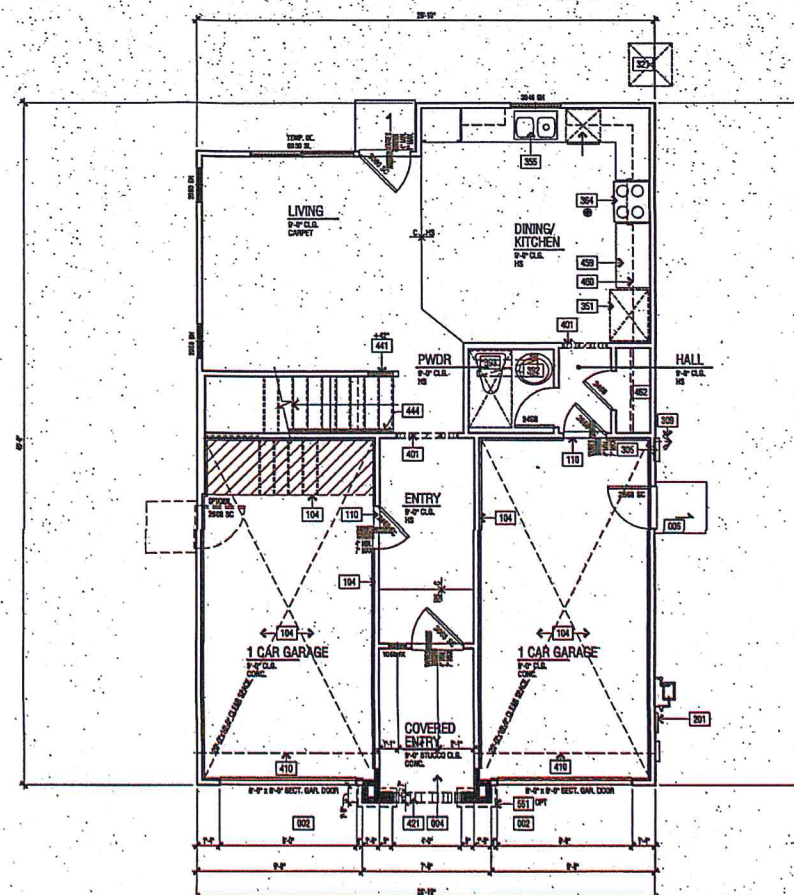
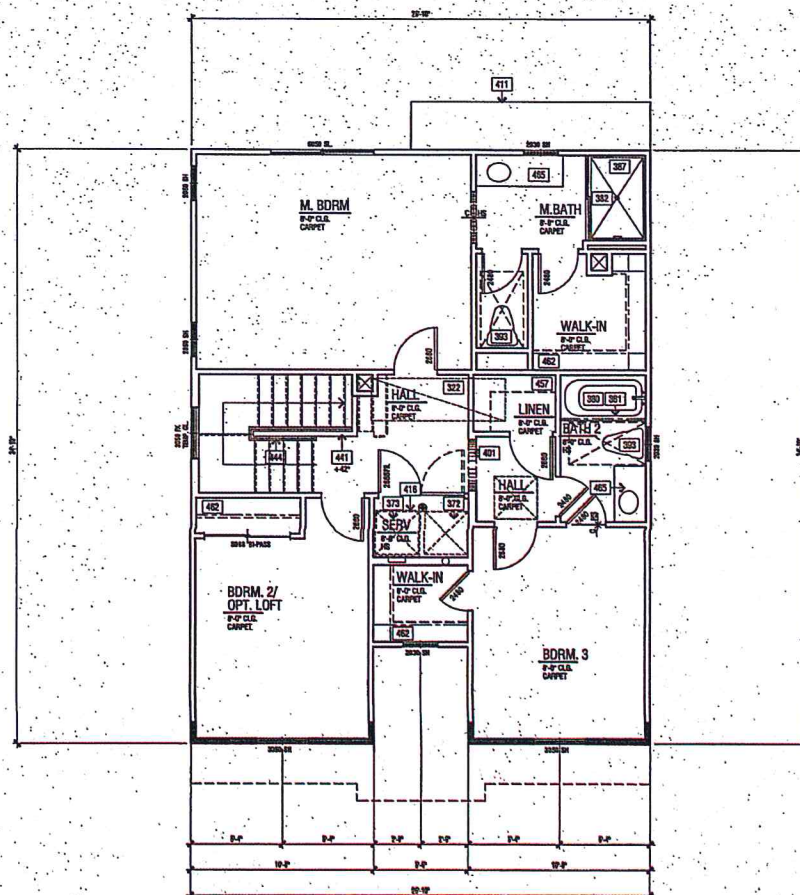
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 DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	08-06-14	ISSUED FOR CONSTRUCTION
2	08-06-14	ISSUED FOR CONSTRUCTION
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SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





FLOOR PLAN KEY NOTES	
ITEM#	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN INDICATED DIRECTION
421	STUCCO CEILING- HEIGHT PER PLAN
422	STUCCO SOFFIT - HEIGHT PER PLANE/ELEVATION
545	THIN SET BRICK VENEER BY ENDOCOTT BRICK - ASTM C-1088 - INSTALL MANUFACTURER'S INSTRUCTIONS

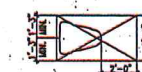
**W**  
**WILLIAM HEZMALHALCH**  
**ARCHITECTS INC.**  
 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543  
 949 250 0697 • [www.whezhmalhalch.com](http://www.whezhmalhalch.com) fax 949 250 1529



TRACT NUMBER	PROJECT TYPE
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FLOOR AREA TABLE	PLAN 2C
LOWER FLOOR PLAN	566 SQ. FT.
UPPER FLOOR PLAN	847 SQ. FT.
TOTAL	1413 SQ. FT.
GARAGE	426 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

### REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



**ADDENDA FLOOR PLAN NOTES**

NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A2.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A2.1  
FOR ADDITIONAL NOTES AND DIMENSIONS



**INTERIOR ELEVATION KEY**

## FLOOR PLAN NOTES

- [illegible]

FLOOR AREA TABLE		PLAN 2B
LOWER FLOOR PLAN	566	SQ. FT.
UPPER FLOOR PLAN	847	SQ. FT.
TOTAL	1413	SQ. FT.
GARAGE	428	SQ. FT.
COVERED ENTRY/PORCH	44	SQ. FT.

SCALE: 1/4" = 1'- 0"

**- PLAN 1413**

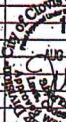
**ELEVATIONS III**  
CLOVIS, CALIFORNIA

**WILSON HOMES**  
**FRESNO, CALIFORNIA**

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DO NOT SCALE PLANS

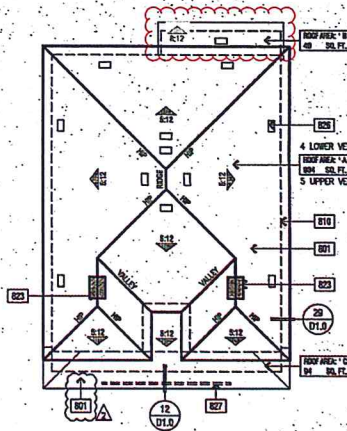
## REVISIONS

NO.	DATE	DESCRIPTION
		
PROJECT MANAGER :		MM
DESIGNER :		MM
DRAWN BY :		
REVIEWED BY :		
1ST BLOS. DEPT. SUBMITTAL :		
ISSUED FOR CONSTRUCTION :		20131272
JOB NUMBER :		A205
CNO FILE NAME :		
DATE:		SHEET:
08-06-14		A25

PLAN 1413B PL AN 1413C

2013272 - 08-06-14



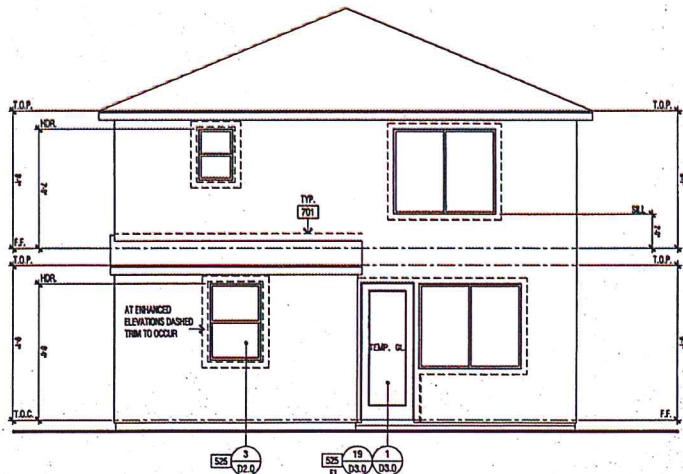


ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICCP ESR 1000	12	SQ. YD.
2	LINE OF WALL BELOW	1	LINEAL FT.
3	STUCCO CEILING	1	SQ. YD.
4	WOOD SOFFIT	1	SQ. YD.
5	18" x 22" x 1/2" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS	1	SQ. YD.
6	ROOF VENT - CHIMNEY "XL SERIES" CLOAKED VENT (ICC # NER-8650A)	1	EA.
7	ALUMINUM CONTINUOUS SOFFIT VENT	1	LINEAL FT.

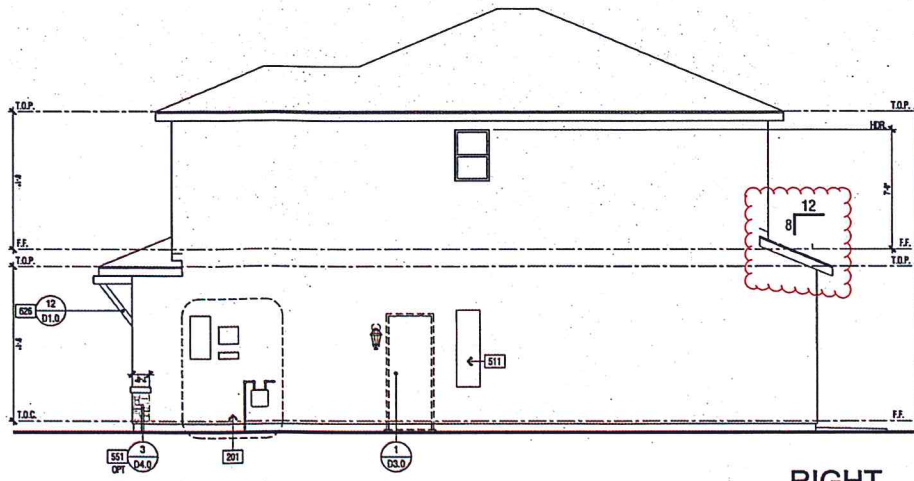
## ROOF PLAN

SCALE: 1/8" = 1'-0"

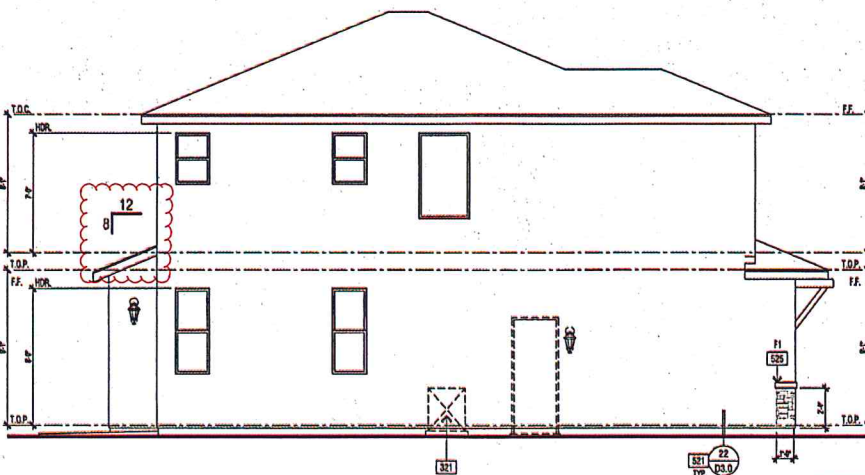
ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICCP ESR 1000	12	SQ. YD.
2	LINE OF WALL BELOW	1	LINEAL FT.
3	STUCCO CEILING	1	SQ. YD.
4	WOOD SOFFIT	1	SQ. YD.
5	18" x 22" x 1/2" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS	1	SQ. YD.
6	ROOF VENT - CHIMNEY "XL SERIES" CLOAKED VENT (ICC # NER-8650A)	1	EA.
7	ALUMINUM CONTINUOUS SOFFIT VENT	1	LINEAL FT.



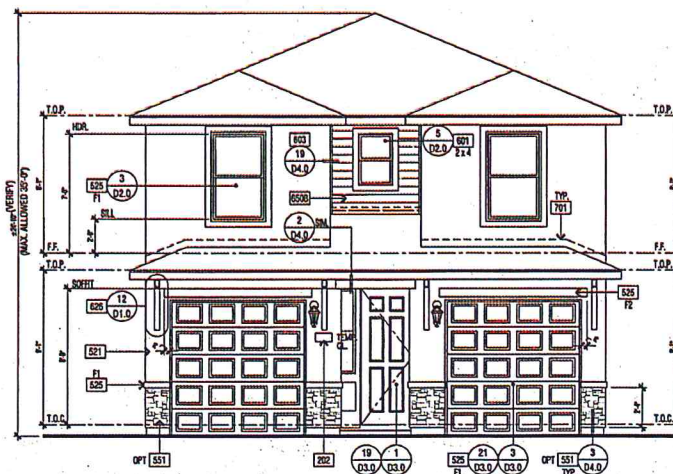
REAR



RIGHT



LEFT



FRONT

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICCP ESR 1000	12	SQ. YD.
2	LINE OF WALL BELOW	1	LINEAL FT.
3	STUCCO CEILING	1	SQ. YD.
4	WOOD SOFFIT	1	SQ. YD.
5	18" x 22" x 1/2" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS	1	SQ. YD.
6	ROOF VENT - CHIMNEY "XL SERIES" CLOAKED VENT (ICC # NER-8650A)	1	EA.
7	ALUMINUM CONTINUOUS SOFFIT VENT	1	LINEAL FT.

## ELEVATION KEY NOTES

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICCP ESR 1000	12	SQ. YD.
2	LINE OF WALL BELOW	1	LINEAL FT.
3	STUCCO CEILING	1	SQ. YD.
4	WOOD SOFFIT	1	SQ. YD.
5	18" x 22" x 1/2" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS	1	SQ. YD.
6	ROOF VENT - CHIMNEY "XL SERIES" CLOAKED VENT (ICC # NER-8650A)	1	EA.
7	ALUMINUM CONTINUOUS SOFFIT VENT	1	LINEAL FT.

WILLIAM HEZMALHALCH  
ARCHITECTS  
3051 KENDALL AVENUE SUITE 200 SANTA ANA, CA 92705  
949 250 0527 www.wheharchitects.com fax 949 250 1529



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

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## REVISIONS

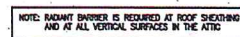
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2	08/01/2014	REVISIONS
3	08/01/2014	REVISIONS
4	08/01/2014	REVISIONS
5	08/01/2014	REVISIONS
6	08/01/2014	REVISIONS
7	08/01/2014	REVISIONS
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100	08/01/2014	REVISIONS

ELEVATIONS

SCALE: 1/4" = 1'-0"

2013272 - 08-06-14









INTERIOR ELEVATION KEY

SCALE: 1/4" = 1'-0"

PLAN 1648A

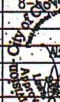
- PLAN 1648

**CLOVIS, CALIFORNIA**

**WILSON HOMES**  
**FRESNO, CALIFORNIA**

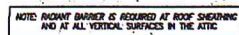
TRACT NUMBER  
PROJECT TYPE

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REVISIONS		
NO.	DATE	DESCRIPTION
1	8-06-14	Plumbing Joints
		
PROJECT MANAGER : MM DESIGNER : BH DRAWN BY : REVIEWED BY : 1ST ELEC. RPT. SUBMITTAL : ISSUED FOR CONSTRUCTION : JOB NUMBER : 201022, C&G FILE NAME : A301		
DATE: 08-06-14		SHEET: A3.1

2013272 - 08-06-14





GROUP ATTACHED	DATE: 1999.09.01	ORIGINATING UNIT NO:	175
FILE NO.	10-100-10		
FILE NO. OF ATTACHED PAGE	TOTAL: 10-100-10	FILE NO. OF ATTACHED PAGE	10-100-10
INVESTIGATION ON DATE	FILE NO.	INVESTIGATION ON DATE	FILE NO.
FILE NO. OF ATTACHED PAGE	FILE NO.	FILE NO. OF ATTACHED PAGE	FILE NO.
GROUP ATTACHED	DATE: 1999.09.01	ORIGINATING UNIT NO:	175
FILE NO.	10-100-10		
FILE NO. OF ATTACHED PAGE	TOTAL: 10-100-10	FILE NO. OF ATTACHED PAGE	10-100-10
INVESTIGATION ON DATE	FILE NO.	INVESTIGATION ON DATE	FILE NO.
FILE NO. OF ATTACHED PAGE	FILE NO.	FILE NO. OF ATTACHED PAGE	FILE NO.



FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.	
ELEVATION KEY NOTES	
Item	NOTE
201	UTILITY EQUIPMENT AND SERVICE MANHOLE - VERIFY LOCATION
202	ADDRESS NUMBER, 6" MIN. HILL BUILDING ADDRESS CHARACTERS PLACED SO THAT A POSITION TO BE PLANNED VISIBLE FROM THE STREET.
203	DECATURVILLE SCHOOL
207	CONCH LITER LOCATION
311	AIR CONDITIONING CONDENSER LOCATION
511	ACCESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
518	CERAMIC TILE ACCENT.
521	STUCCO - OSMIA DIAMOND WALL ONE COAT STUCCO (CCF ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER GRAY 1/2" BOARD ESB-1558 0' STUCCO BOARD) (SEE SPECIFICATIONS)
525	STUCCO OVER FLOOR FROM TRIM - FLOOR SHAPE PER ELEVATION (SEE SHEET 2)
530	DECORATIVE FOAM ACCENT
560	DECORATIVE METAL SHELF - PROVIDE GOLD SHAKING AND MIMIMUM 12" (2") ELASTOSTATIC SHEET WATERPROOFING AT ALL MOUNTING PORTS / PENETRATIONS
701	GL FLASHING
704	GL DOOR/VENT - RECTANGULAR (SIZE PER ELEVATION)
717	LAYERS OF 6" GRADE OF BUILDING PAPER IS REQUIRED TO BE INSTALLED ON ROOF SURFACES



TRACT NUMBER  
PROJECT TYPE

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE		ELEVATION STYLE		SPANISH	
ROOF MATERIAL	STANDARD ROOF DETAIL U.S.A.	FASCHA - U.S.A.	MARSE - U.S.A.	OVERHANG DETAIL - U.S.A.	
				EAVE	RAKE
CONCRETE 'S' TILE	1 D1.2	2X6	2X6	1'-0"	TIGHT

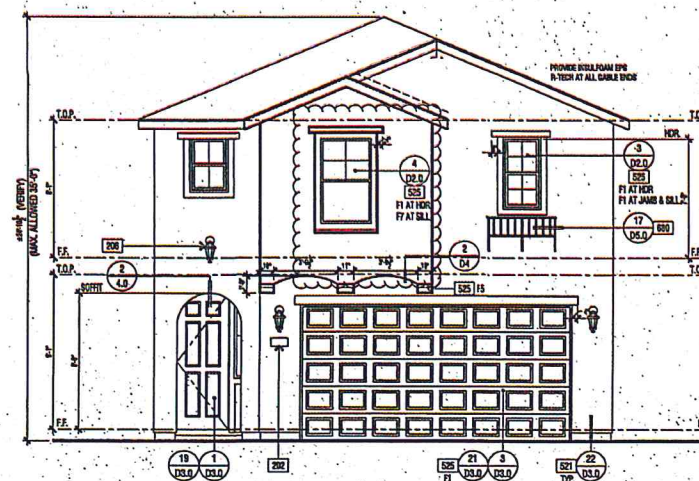
### ROOF PLAN NOTES

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CEC SECTION 110.10

- [illegible]

### ROOF PLAN KEY NOTES

Name	NOTE
802	ROOFING - CONCRETE - LOW PROFILE 15" TILE BY EAGLE ROOFING ICC# ESR 1000
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO BOFFIT
823	MIRL 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - CHIMNEY "XL SERIES" CLOAKED VENT ICC # MER-00504



SCALE: 1/4" = 1'-0"

016  
1660A  
EVALUATIONS - PLAN 1660A

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DO	NOT	SCALE	PLAN
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## REVISIONS

NO.	DATE	DESCRIPTION
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1	8-6-14	AS BUILTS
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A circular professional engineer seal for the State of Florida. The outer ring contains the text "STATE OF FLORIDA" at the top and "Professional Engineer" at the bottom. Inside the ring, the name "WILLIAM WEZEMALAJAH" is written in a circle. In the center, the text "No. 135N" and "Exp. 12/31/2014" are displayed. The seal is partially overlaid by the "REVISIONS" table.

PROJECT MANAGER:	MM
------------------	----

DESIGNER:	BN
-----------	----

EXAMINER BY:	
--------------	--

REVIEWED BY:	
--------------	--

1ST BLDG. DEPT. SUBMITTAL:	
----------------------------	--

ISSUED FOR CONSTRUCTION:	
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JOB NUMBER:	1013072
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CAD FILE NAME:	A304
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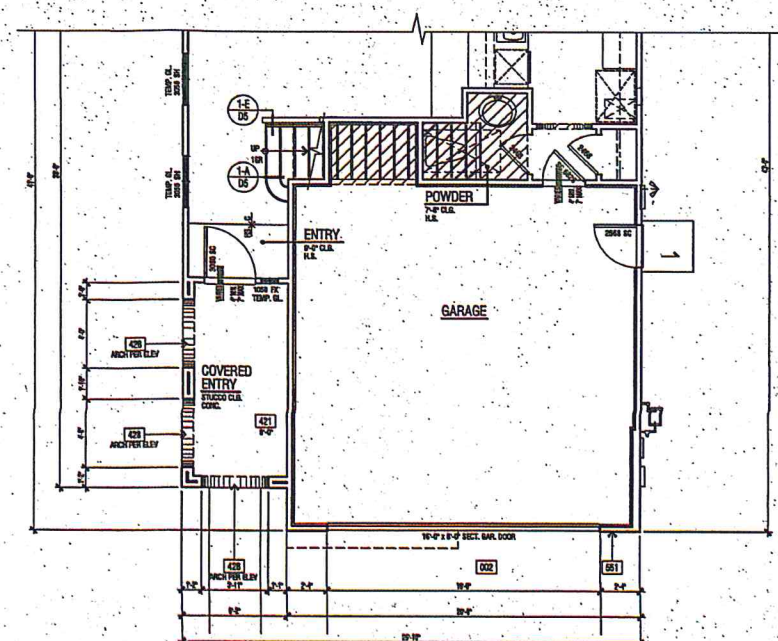
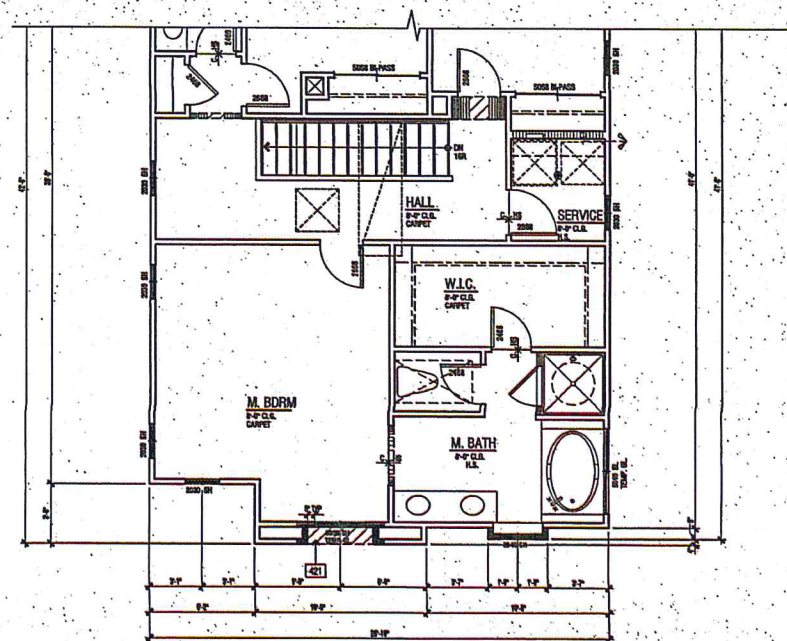
DATE:	SHEET:
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08-06-14

A3.4

2013272 - 08-06-14





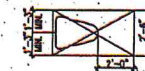
FLOOR PLAN KEY NOTES	
NAME	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCEL SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
421	STUCCO CEILING - HEIGHT PER PLAN
422	STUCCO SOFFIT - HEIGHT PER PLANE/LEVELATION
428	ADHES STUCCO SOFFIT - HEIGHT PER ELEVATION
545	THIS SET BRICK VENEER BY BRIDGOTTI BROCK - ASTM C-1088 - INSTALL PER MANUFACTURERS INSTRUCTIONS
551	MANUFACTURED ADHESIVE STUCCO STONE VENEER - INSTALL PER MANUFACTURERS INSTRUCTIONS



TRACT NUMBER  
PROJECT TYPE

FLOOR AREA TABLE		PLAN 1660C
LOWER FLOOR PLAN	599	SQ. FT.
UPPER FLOOR PLAN	1,049	SQ. FT.
TOTAL	1,648	SQ. FT.
GARAGE	437	SQ. FT.
COVERED ENTRY/PORCH	74	SQ. FT.

**REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL**



**ADDENDA FLOOR PLAN NOTES**

NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A3.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

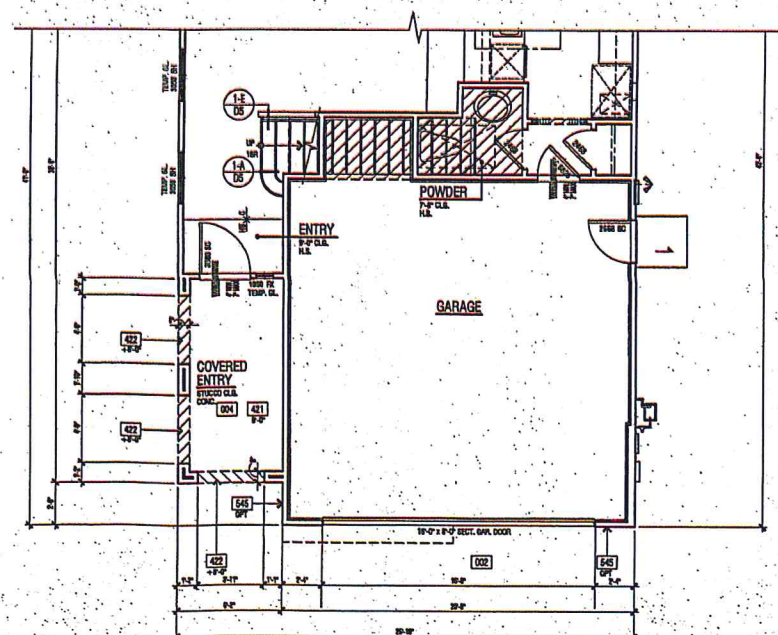
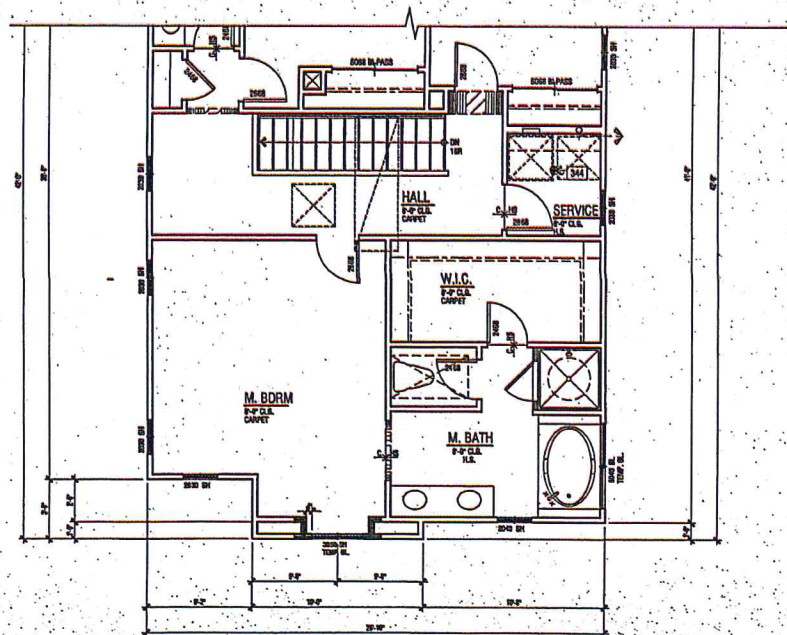


### INTERIOR ELEVATION KEY

[illegible]

FLOOR AREA TABLE		PLAN 1660B
LOWER FLOOR PLAN	1387	SQ. FT.
UPPER FLOOR PLAN	108	SQ. FT.
TOTAL	1495	SQ. FT.
GARAGE	167	SQ. FT.
COVERED ENTRY/PORCH	74	SQ. FT.

SCALE: 1/4" = 1'- 0"



- PLAN 1648

**CLOVIS, CALIFORNIA**  
**WILSON HOMES**  
**FRESNO, CALIFORNIA**

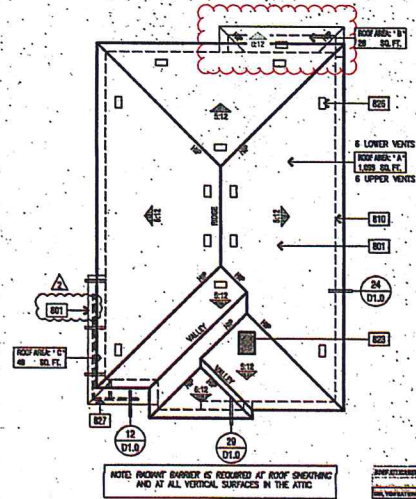
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WILLIAM HIZMALHALCH ARCHITECTS, INC. HARMLESS.

## REVISIONS:

NO.	DATE	DESCRIPTION
PROJECT MANAGER: MM		
DESIGNER: RH		
DRAWN BY:		
REVIEWED BY:		
1ST BLDG. DEPT. SUBMITTAL:		
ISSUED FOR CONSTRUCTION:		
JOB NUMBER: 2013472		
CAD FILENAME: A305		
DATE: 08-06-14		SHEET: A3.5

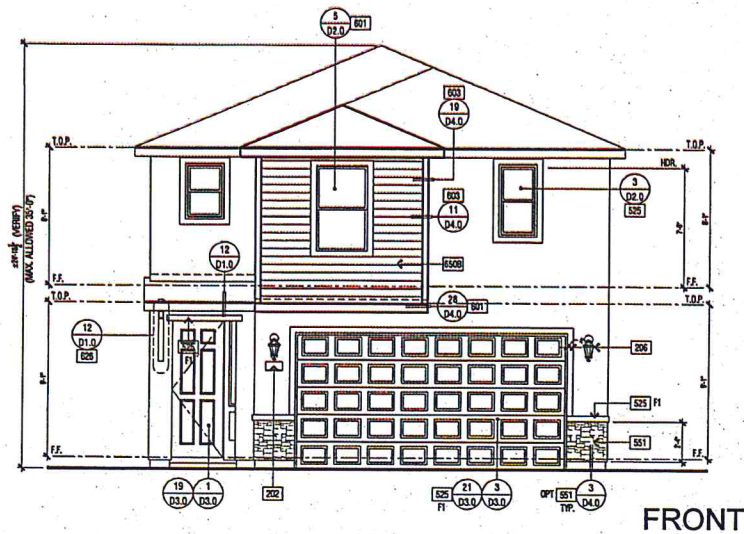
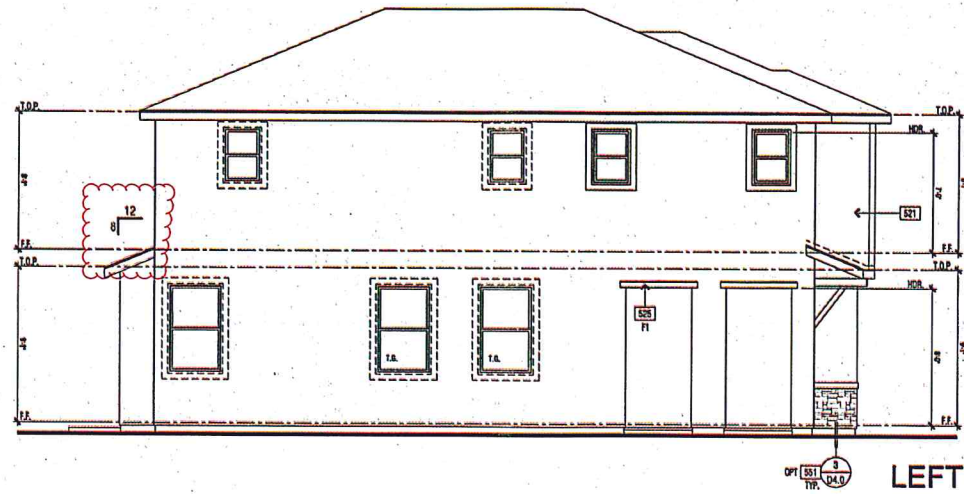
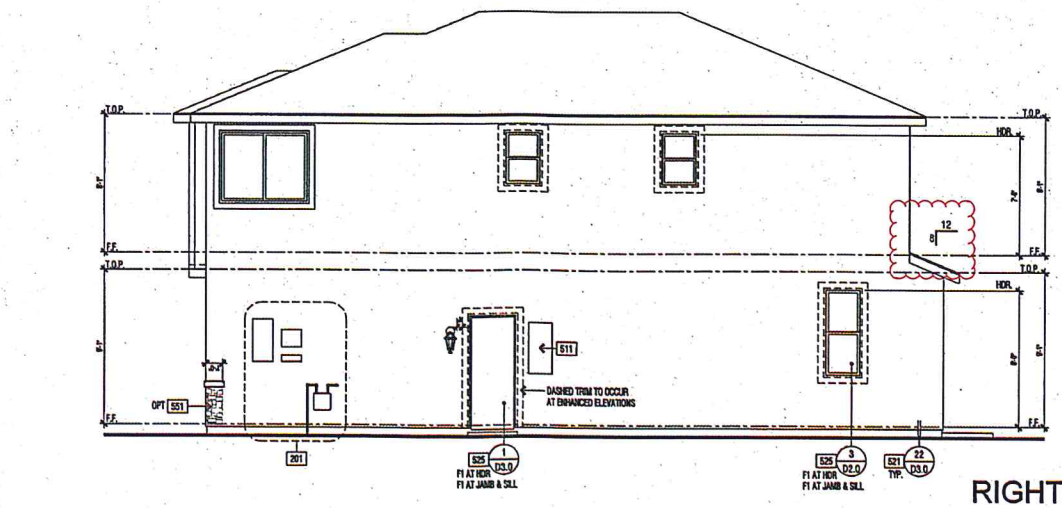
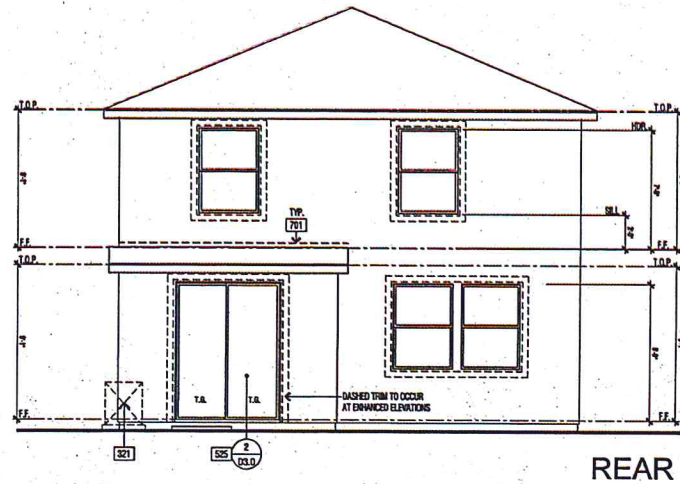
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**ROOF PLAN** SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	B	ELEVATION STYLE	CRAFTSMAN
ROOF MATERIAL	CONCRETE 'FLAT' TILE	STANDARD ROOF	2X6 2X6 1'-0" 1'-0"
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.			
1. SEE GENERAL NOTES FOR ROOF NOTES.			
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.			
3. ATTIC ACCESS PER CBC SECTION 110.10.			
4. PROVIDE ATTIC & ROOF VENTILATION PER CBC SECTION 110.10. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPT: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:			
1. IN CLIMATE ZONES 1A AND 1B, A CLASS 1 OR 2 VAPOR BARRIER IS INSTALLED ON THE WARMER-SIDED SIDE OF THE CEILING.			
2. AT LEAST 40 PERCENT AND NOT MORE THAN 60 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY MECHANICAL VENTILATION LOCATED IN THE UPPER PORTION OF THE ATTIC OR VENTED SPACE. UPPER VENTILATIONS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY DOME OR CORNER VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COMPATIBLE WITH THE INSTALLATION OF UPPER VENTILATIONS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.			
<b>ROOF PLAN KEY NOTES</b>			
Name	NOTE		
001	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING ICCP ESR 1900		
010	LINE OF WALL BELOW		
012	STUCCO CEILING		
014	WOOD SOFFIT		
025	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS		
026	ROOF VENT - DYWIDAG 'XL SERIES' CLANKED VENT (ICC # IER-6550A)		
027	ALUMINUM CONTINUOUS SOFFIT VENT		



**ELEVATION KEY NOTES**

Name	NOTE
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
002	ADDRESS NUMBER - 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
006	DECORATIVE WALL SCIENCE
007	COACH LIGHT LOCATION
021	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICCP ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT R GUARD ESR-1599 BY START R FOAM
025	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
026	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET 04)
051	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ESR-1354. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
061	WOOD TRIM - SIZE PER ELEVATION
063	WOOD CORNER TRIM - SIZE PER DETAIL
026	OUTLOOKER ASSEMBLY - WOOD (SIZE/SHAPE PER ELEVATION)
0508	FIBER CEMENT LAP SIDING - 5/16" THICK WARDWILL BY JAMESHARDIE ICC-ES ESR 405 (OR EQUIVALENT). FINISH SELECT CEMARMILL. EXPOSURE 8" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
071	G.I. FLASHING
076	ROOFING - CONCRETE - 'FLAT' TILE
077	2 LAYERS OF 5/8" GRADE 17 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CBC SECTION 110.10

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TRACT NUMBER  
PROJECT TYPE

- PLAN 1648

CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	8-6-14	AS PER CITY OF CLOVIS

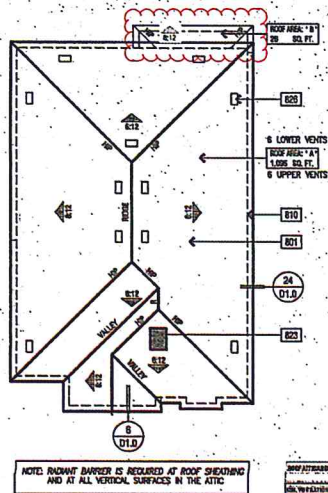
PROJECT MANAGER: MM  
DESIGNER: BH  
DRAWN BY:  
REVIEWED BY:  
1ST BLDG. DEPT. SUBMITTAL:  
ISSUED FOR CONSTRUCTION:  
JOB NUMBER: 2013272  
CAD FILE NAME: A308

DATE: 08-06-14 SHEET: A3.6

SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOF SHEETING	1,150	SF
2	RAINWATER BARRIER	1,150	SF
3	WOOD BARGE BOARD	1,150	LIN. FT.
4	WOOD FASCIA	1,150	LIN. FT.
5	WOOD SHAKES	1,150	SF
6	WOOD TRIM	1,150	LIN. FT.
7	WOOD BRACKETS	1,150	PAIRS
8	WOOD NAILS	1,150	LB.
9	WOOD SCREWS	1,150	LB.
10	WOOD ADHESIVE	1,150	LB.
11	WOOD JOISTS	1,150	LIN. FT.
12	WOOD RAFTERS	1,150	LIN. FT.
13	WOOD BRACES	1,150	LIN. FT.
14	WOOD KNUCKLES	1,150	PAIRS
15	WOOD PLATES	1,150	PAIRS
16	WOOD BOLTS	1,150	LB.
17	WOOD WASHERS	1,150	LB.
18	WOOD NUTS	1,150	LB.
19	WOOD SCREWS	1,150	LB.
20	WOOD NAILS	1,150	LB.

## ROOF PLAN

SCALE: 1/8" = 1'-0"

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOF SHEETING	1,150	SF
2	RAINWATER BARRIER	1,150	SF
3	WOOD BARGE BOARD	1,150	LIN. FT.
4	WOOD FASCIA	1,150	LIN. FT.
5	WOOD SHAKES	1,150	SF
6	WOOD TRIM	1,150	LIN. FT.
7	WOOD BRACKETS	1,150	PAIRS
8	WOOD NAILS	1,150	LB.
9	WOOD SCREWS	1,150	LB.
10	WOOD ADHESIVE	1,150	LB.
11	WOOD JOISTS	1,150	LIN. FT.
12	WOOD RAFTERS	1,150	LIN. FT.
13	WOOD BRACES	1,150	LIN. FT.
14	WOOD KNUCKLES	1,150	PAIRS
15	WOOD PLATES	1,150	PAIRS
16	WOOD BOLTS	1,150	LB.
17	WOOD WASHERS	1,150	LB.
18	WOOD NUTS	1,150	LB.
19	WOOD SCREWS	1,150	LB.
20	WOOD NAILS	1,150	LB.

**ROOF PLAN NOTES**

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.

1. SEE GENERAL NOTES FOR ROOF NOTES.

2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

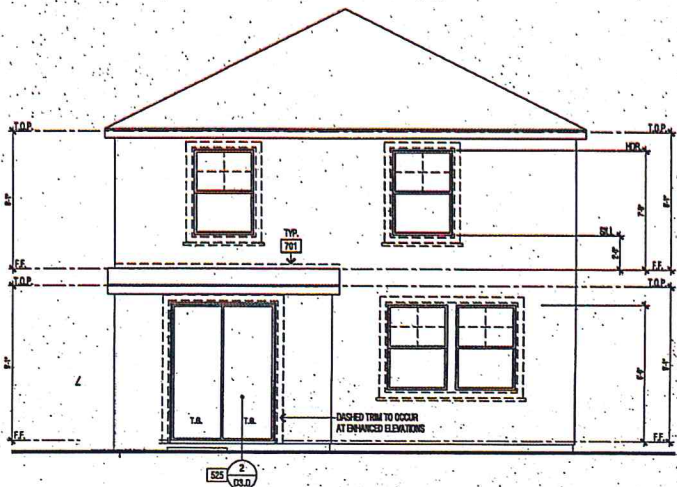
3. ATTIC ACCESS FOR ONE SECTION MUST.

4. PROVIDE ATTIC & ROOF VENTILATION PER CBC SECTION 110.10. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE VENTED SPACE PROVIDED ONE OF MORE OF THE FOLLOWING CONDITIONS ARE MET:

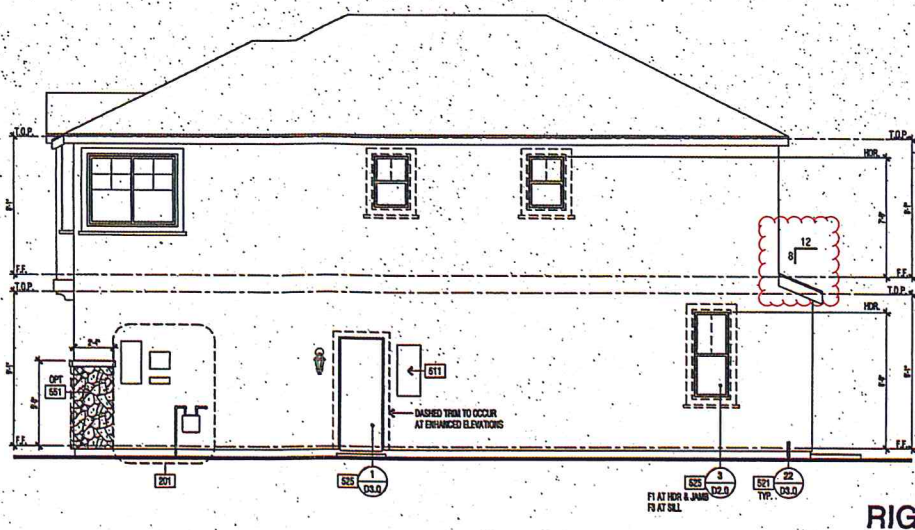
1. IN CLIMATE ZONES 1A AND 1B, A CLASS I OR A VAPOR RETARDER IS INSTALLED ON THE WARMER VENTED SIDE OF THE CEILING.

2. AT LEAST 40 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COMPATIBLE WITH THE INSTALLATION OF UPPER VENTILATION. INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICCP ESR 1100	1,150	SF
2	LINE OF WALL BELOW	1,150	LIN. FT.
3	STUCCO CEILING	1,150	SF
4	STUCCO SOFFIT	1,150	SF
5	MIN. 22"X30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS	1	EA
6	ROOF VENT - CHIMNEY "AL BEVEER" CLOAKED VENT (ICC # NER-9990A)	1	EA



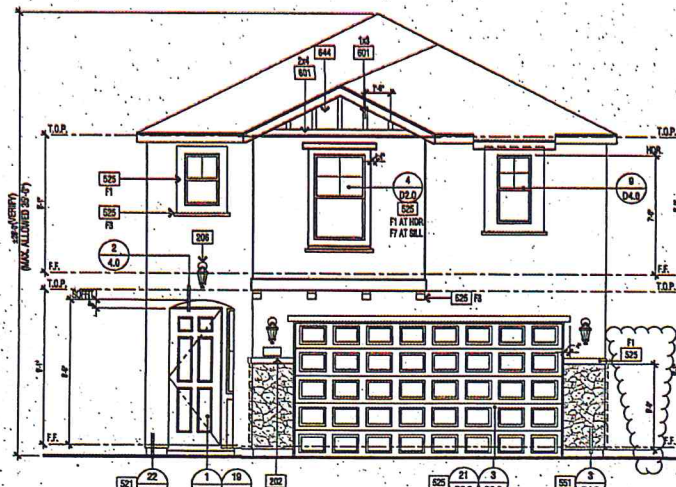
REAR



RIGHT



LEFT



FRONT

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.
ELEVATION KEY NOTES
NOTE:
201 UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202 ADDRESS NUMBER, 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
206 DECORATIVE WALL SCIENCE
207 COACH LIGHT LOCATION
521 STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICCP ESR-1114 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER GRAY 1" GUARD ESR-1586 BY START R FOAM
511 RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525 STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D-4)
551 MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1584. INSTALL PER MANUFACTURER'S INSTRUCTIONS
601 WOOD TRIM - SEE PER ELEVATION
638 2X6 WOOD FASCIA
639 2X6 WOOD BARGE BOARD
644 FIBER CEMENT SHEATHING
650A FIBER CEMENT VERTICAL SOUND - 5/16" THICK HARDPLANK (OR EQUIVALENT), FINISH: SELECT CEDAR/MILL (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
650B FIBER CEMENT LAP SOUND - 5/16" THICK HARDPLANK BY JAMESHARDIE ICC-ES ESR 405 (OR EQUIVALENT), FINISH: SELECT CEDAR/MILL. EXPOSURE B (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
701 ALL FLASHING
701 ROOFING - CONCRETE - "FLAT" TILE
111 2 LAYERS OF 1/2" GRADE 15 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CBC 1903.63

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TRACT NUMBER  
PROJECT TYPE

- PLAN 1648

CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

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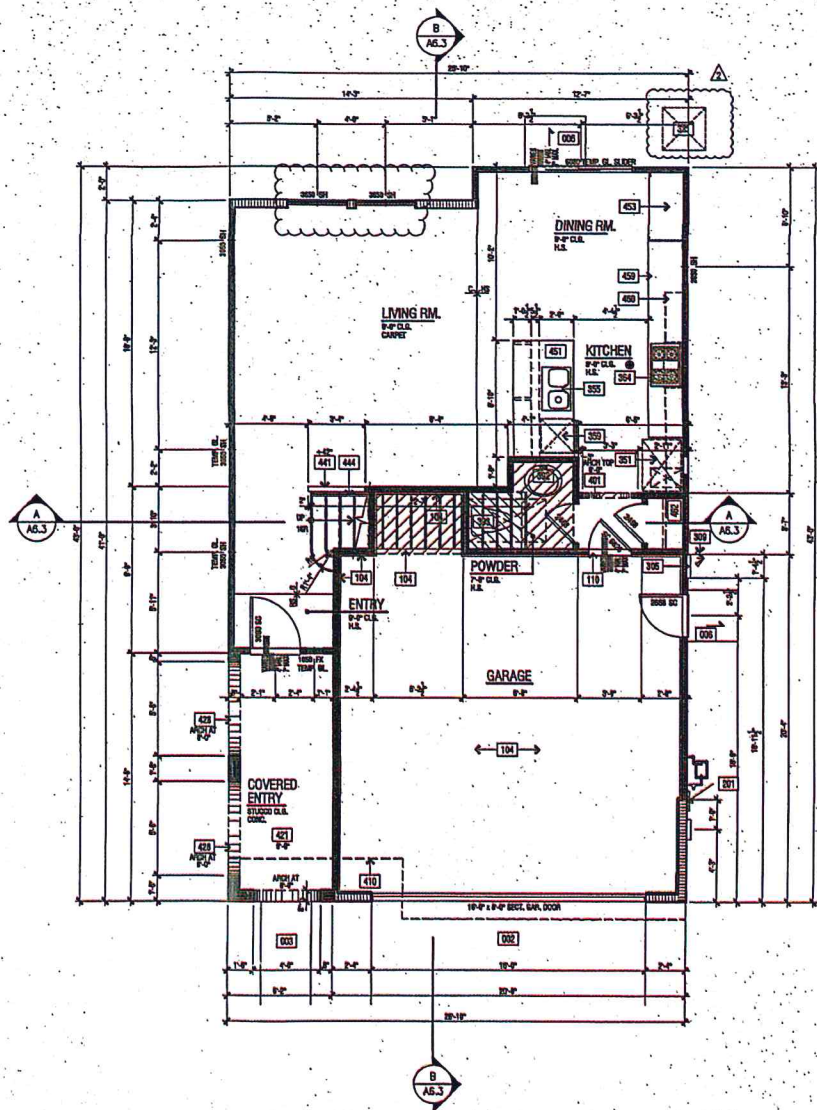
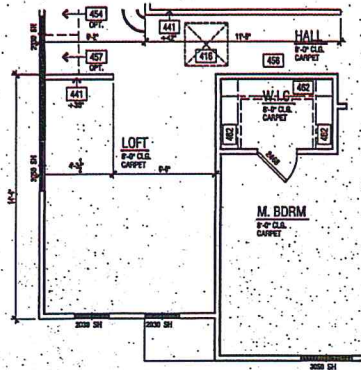
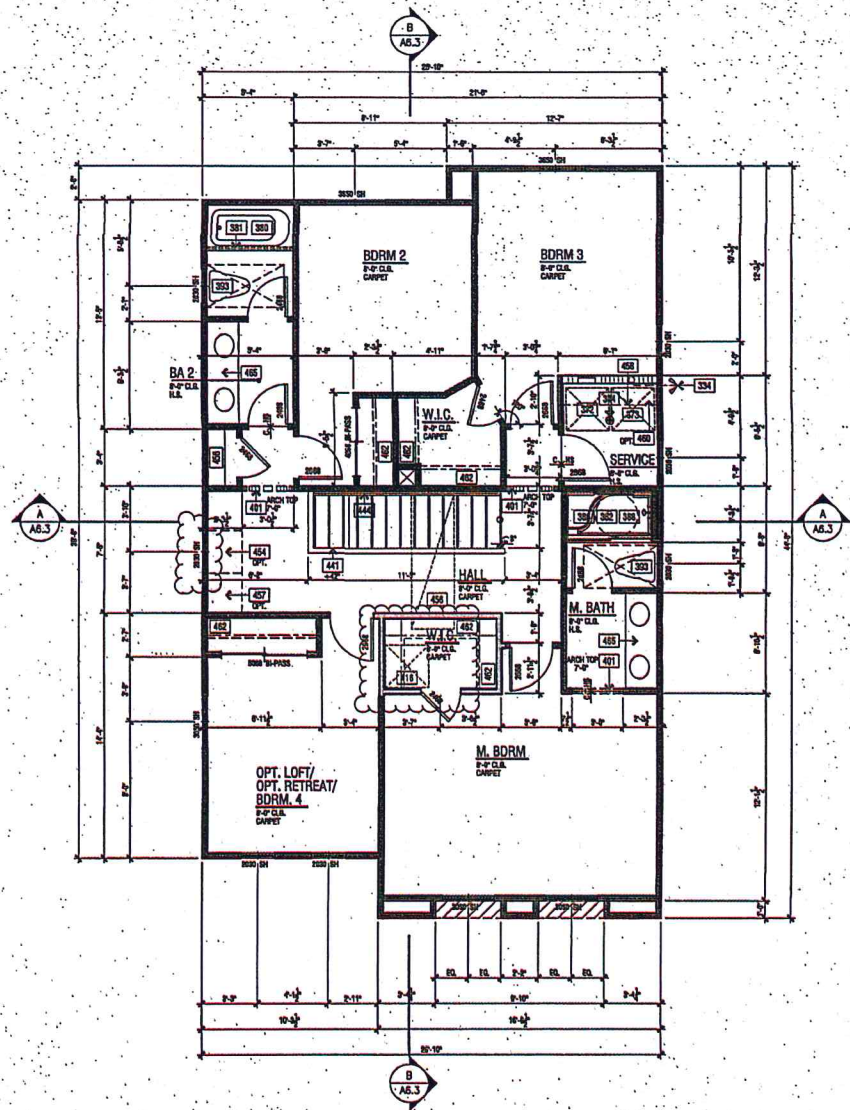
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SCALE: 1/4" = 1'-0"

ELEVATIONS - PLAN 1648C

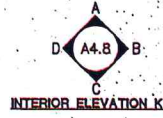
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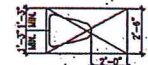


- FLOOR PLAN NOTES**
1. ATTIC: ACCESS PER CMC TRAP, DIMENSIONS PER CMC ROOM 10 AND VENTILATION PER ROOM 11 & 12.
  2. DISPOSITION: DISPOSE AND PRESSURE EXPOSURE PER CMC ROOM 10 & 12. MEANS OF EGRESS PER CMC ROOM 11.
  3. GLAZING PER CMC ROOM 11, ROOM 12 & 13.
  4. EXTERIOR LIGHT FIXTURES AND CONVEYERS PER CMC ROOM 10, ROOM 11, AND ROOM 12.
  5. COMBUSTION AIR TO WATER HEATER PER CMC SECTION 107.2.
  6. COMBUSTION AIR TO WATER HEATER PER CMC SECTION 107.2.
  7. DISPOSITION: AIR DUCTS PER CMC SECTION 104.
  8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC ROOM 10.
  9. MANUFACTURING REQUIREMENTS FOR APP. INCHES PER CMC SECTION 107.1.
  10. THE BELL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN ELEVATION RECORDING PER CMC SECTION 107.1.
  11. IN UPPER FLOOR PLANS, ANY OPENABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 20" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE ON OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A BLIND OR SHUTTER (BLIND OR SHUTTER MUST HAVE OPENING THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH). PER CMC ROOM 10.
  12. A SHUTTER OR BLIND MUST BE PROVIDED IN ROOMS PER CMC ROOM 10 & 12. SHUTTER MUST BE GLAZED IN A MANUFACTURED LOCATION IS PROVIDED TO BE GLAZED WITH SAFETY MATERIAL, PER CMC ROOM 10.
  13. PROVIDE A 4" WIDE FRESH AIR INTAKE FOR THE GAS APPLIANCE PREPARE PER CMC ROOM 10.
  14. VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30". UNPROTECTED OR SP. PROTECTED, AND THE HORIZONTAL CLEARANCE IS REQUIRED TO BE PER THE PERMANENT MARKING LETTERS ON THE UNIT, PER CMC ROOM 10 & 12.
  15. A SHUTTER OR BLIND MUST BE PROVIDED IN ROOMS PER CMC ROOM 10 & 12. SHUTTER MUST BE GLAZED IN A MANUFACTURED LOCATION IS PROVIDED TO BE GLAZED WITH SAFETY MATERIAL, PER CMC ROOM 10.
  16. A 2013 CMC TYPICAL SHEET SHALL BE USED FOR WALLING SCHEDULES.
  17. THE WALL SURFACE BEHIND CROWN TALL OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPILLAGE AND CONSTRUCTION OF MATERIALS NOT IMMEDIATELY AFFECTED BY WATER, NOTE THE USE OF THEIR COAT, THEIR WALL, UNPROTECTED COAT OR GLASS MAY EXPOSE MATERIALS ON THE FLOOR PLAN. NOTE THAT THESE UNPROTECTED COAT OR GLASS MAY EXPOSE MATERIALS TO BE USED IN THESE LOCATIONS, PER CMC ROOM 10 & 12.
  18. THE THREE CAN WALLS IN ROOMS PERFORMING AND THE REQUIRED SECONDARY DETECTION MAY NOT BE RELEASED, PER CMC ROOM 10 & 12.
  19. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GARMENTED TO PREVENT AIR LOSS, PER CMC ROOM 10.

FLOOR PLAN KEY NOTES	
NOTE	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
008	CONCRETE STUCCO - 3" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
101	GARAGE AND/OR CARPORT SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY MEANS OF A MIN. 1/2" GYP. BD., OR EQUIVALENT, APPLIED TO THE GARAGE SIDE PER CMC SECTION 102.0.2.
104	GARAGE AND/OR CARPORT WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY A MIN. 5/8" TYPE "X" GYP. BD., OR ED. STRUCTURES SUPPORTING THE FLOOR ASSEMBLY USED FOR SEPARATION SHALL BE A MIN. 1/2" GYP. BD., OR ED. PER CMC SEC. 102.0.2.
110	PROVIDE SOLID WOOD DOOR, OR SOLID OR HONEYCOMB CORE STEEL DOORS, NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE FIRE RATED DOOR. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING PER CMC SECTION 102.0.1.
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
305	TANK LESS WATER HEATER. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS
309	TEMPERATURE AND PRESSURE RELIEF VALVE. DISCHARGE LINE TO THE OUTSIDE OUTSIDE PER CMC SECTION 102.0.1.
312	METAL FIREPLACE (GAS APPLIANCE) - HEIGHT PER PLAN - INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY HEATILATOR MODEL# H04842 ANSI Z21.30-2002
321	AIR CONDITIONING CONDENSER LOCATION
334	4" DIA. GL. DRYER VENT WITH APPROVED LINT TRAP - VENT TO OUTSIDE
344	WHOLE HOUSE EXHAUST FAN PER 2010 CEC. REFER TO ATTACHED "SUMMARY OF THE 2010 ENERGY CODE ASHRAE 62.2 REQUIREMENTS"
351	REFRIGERATION SPACE WITH RECESSED COLD WATER BOX
352	SINK WITH DRAINAGE DISPOSER
353	DISHWASHER
354	COOKTOP & EXHAUST HOOD WITH FAN AND LIGHT (EXHAUST VENT TO OUTSIDE)
372	WASHER SPACE WITH RECESSED WATER BOX AND DRAIN PAN
373	DRYER SPACE
380	TUBY SHOWER
381	CURTAIN ROD
382	SHOWERDOOR SHOWER DOOR ENCLOSURE
383	SHOWER - PRE-FABRICATED STALL - SEE PER PLAN
389	OPEN
392	PEDESTAL SINK
393	TOILET - PROVIDE MINIMUM 24" X 30" CLEAR FLOOR AREA IN FRONT OF TOILET
401	INTERIOR SLOTTING/ DROPPED CEILING: HEIGHT PER PLAN
410	LINE OF FLOOR ABOVE
418	30"x30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
421	STUCCO CEILING: HEIGHT PER PLAN
429	ARCHED STUCCO SLOTT - SEE EXTERIOR ELEVATION
441	6"x6" SLOTTED WALL - WIDTH AND HEIGHT PER PLAN
444	1-3/8" X 20" WINDOW. (SEE DETAIL 500.1)
451	KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE TO ISLAND
453	PANTRY
454	DESK
458	LINEN (UPPER & LOWER)
459	LINEN (LOW ONLY)
460	LINEN (UPPER ONLY)
461	BASE CLOSET
462	UPPER CLOSET
463	SHELF AND POLE
465	VANITY



REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



FLOOR AREA TABLE	
LOWER FLOOR PLAN	539 SQ. FT.
UPPER FLOOR PLAN	1,061 SQ. FT.
TOTAL	1,600 SQ. FT.
GARAGE	437 SQ. FT.
COVERED ENTRY/PORCH	90 SQ. FT.

SCALE: 1/4" = 1' - 0"

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
203 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5540  
949 251 9007 www.hezmalhalch.com fax 949 251 1529



TRACT NUMBER  
PROJECT TYPE

- PLAN 1660

CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

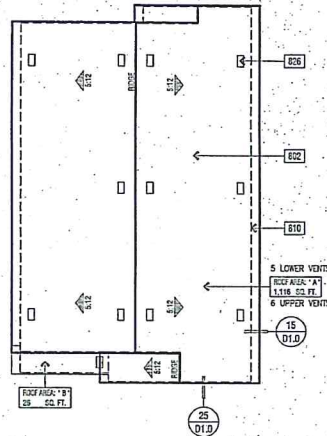
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REVISIONS		
NO.	DATE	DESCRIPTION
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DATE: 08-06-14 SHEET: A4.1

2013272 - 08-06-14





ROOF ATTIC AREA	1116.00	sq. ft.	CALCULATION FACTOR:	1/150
MIN. VENTILATION REQUIRED:	7.44	sq. ft.	TOTAL PROVIDED:	1078
MIN. VENTILATION METHOD:	24	sq. ft.	TOTAL PROVIDED:	98
CLOSED VENT - S-TILE	1	sq. ft.	TOTAL PROVIDED:	1079

ROOF ATTIC AREA	25.00	sq. ft.	CALCULATION FACTOR:	1/150
MIN. VENTILATION REQUIRED:	0.17	sq. ft.	TOTAL PROVIDED:	98
MIN. VENTILATION METHOD:	24	sq. ft.	TOTAL PROVIDED:	98
CLOSED VENT - S-TILE	1	sq. ft.	TOTAL PROVIDED:	99

## ROOF PLAN

SCALE: 1/8" = 1'-0"

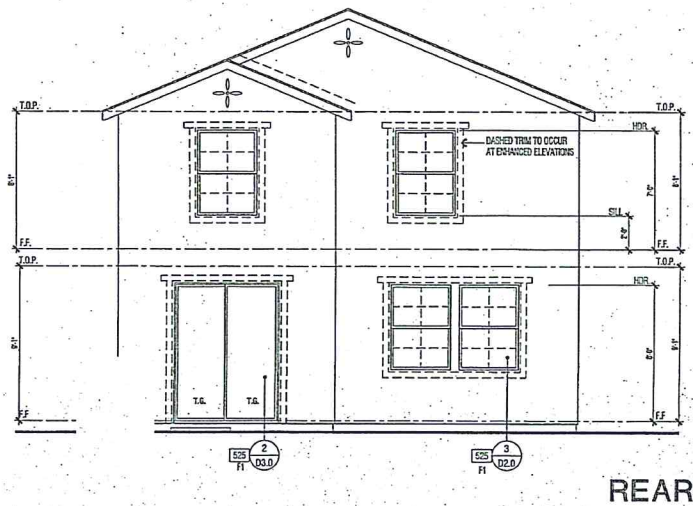
ELEVATION REFERENCE:	A	ELEVATION STYLE:	SPANISH
ROOF MATERIAL:	CONCRETE 'S' TILE	STANDARD ROOF DETAIL:	2X6
OVERHANGING EAVE:	1'-0"	OVERHANGING EAVE:	TIGHT

### ROOF PLAN NOTES

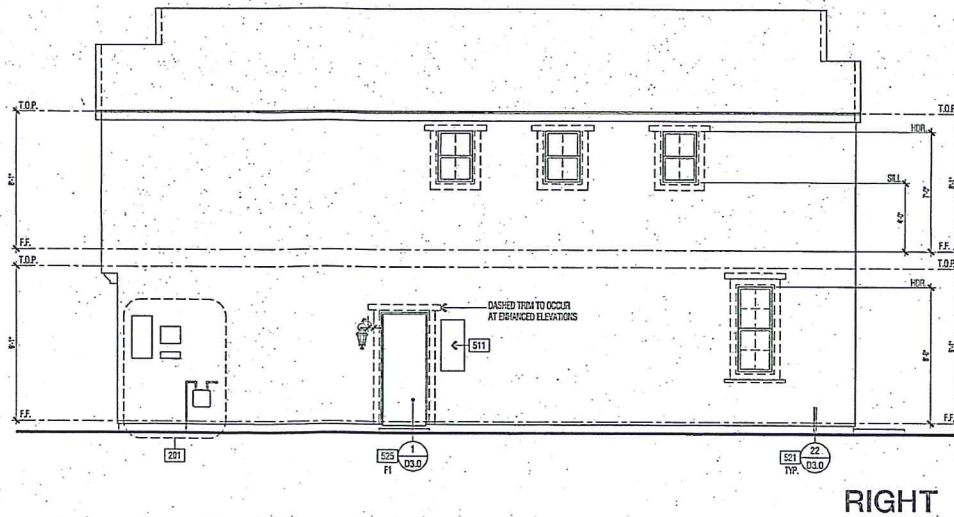
- NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.
- SEE GENERAL NOTES FOR ROOF NOTES.
  - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - ATTIC ACCESS PER CBC SECTION 100.1.
  - PROVIDE ATTIC & SOFFIT VENTILATION PER CBC SECTION 110.10. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTILATED SPACE. DISCREPANCY: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE VENTILATED SPACE OR MORE OF THE FOLLOWING VENTILATING AREAS:
    - BE CLIMATE ZONE 14 AND IN A CLASS 1 OR 1A WATERTIGHTNESS IS INSTALLED ON THE WARMER-WEATHER SIDE OF THE CEILING.
    - BE CLIMATE ZONE 14 AND IN A CLASS 1 OR 1A WATERTIGHTNESS IS INSTALLED ON THE WARMER-WEATHER SIDE OF THE CEILING.
    - BE CLIMATE ZONE 14 AND IN A CLASS 1 OR 1A WATERTIGHTNESS IS INSTALLED ON THE WARMER-WEATHER SIDE OF THE CEILING.

### ROOF PLAN KEY NOTES

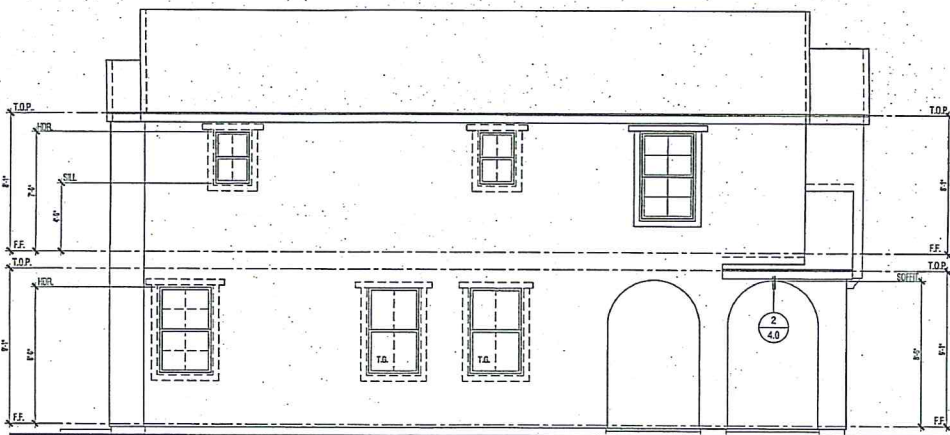
Name:	NOTE
822	ROOFING - CONCRETE - LOW PROFILE 'S' TILE BY EAGLE ROOFING ICC# ESR-1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AERFLOW TO ALL ATTIC AREAS
825	ROOF VENT - ORANGE 'XO' SERIES' CLOSED VENT (ICC# ESR-8650A)
TYP	2 LAYERS OF GRADE 15 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CBC R703.6.3



REAR



RIGHT



LEFT



FRONT

ELEVATION KEY NOTES	
Name:	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER - 8' MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET
206	COACH LIGHT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
519	CERAMIC TILE ACCENT
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1154 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER 3/4" GYPSUM BOARD ESR-1355 BY STANT R FORM
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
550	DECORATIVE FOAM ACCENT
701	G.I. FLASHING
741	G.I. LOUVER VENT - RECTANGULAR (SIDE PER ELEVATION)
TYP	2 LAYERS OF GRADE 15 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CBC R703.6.3

WILLIAM HEZMALHALCH  
ARCHITECTS INC.  
2350 REDMILL AVENUE SUITE 203 SANTA ANA CA 92705-5543  
949 255 0037 www.hezmalhalch.com fax 949 255 1529



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	8-6-14	AS BUILT

PROJECT MANAGER:	BH
DESIGNER:	BH
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2013272
CAD FILE NAME:	A104
DATE:	08-06-14
SHEET:	A4.4

ELEVATIONS - PLAN 1660A

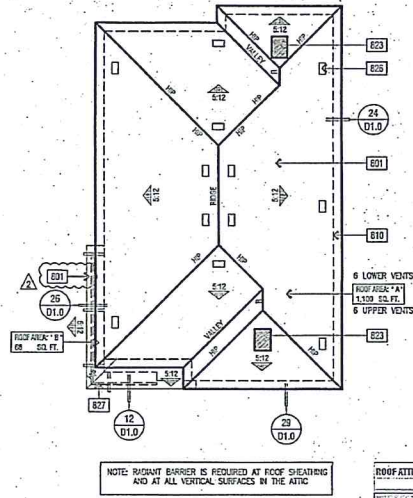
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14









ROOF ATTIC AREA	1100.00	sq. ft.	CALCULATION FACTOR:	1/150
MIN. VENTILATION REQUIRED:	7.33	sq. ft.	TOTAL PROVIDED:	1140.00
HIGH VENTILATION METHOD:	1.140	sq. ft.	FREE VENT AREA:	1.140
LOWER VENT - FLAT TILE	25	sq. ft.	TOTAL PROVIDED:	1140.00
UPPER VENT - FLAT TILE	25	sq. ft.	TOTAL PROVIDED:	1140.00

ROOF ATTIC AREA	68.00	sq. ft.	CALCULATION FACTOR:	1/150
MIN. VENTILATION REQUIRED:	0.45	sq. ft.	TOTAL PROVIDED:	90.00
HIGH VENTILATION METHOD:	0.45	sq. ft.	FREE VENT AREA:	0.45
CONTINUOUS SOFFIT VENT	9	sq. ft.	TOTAL PROVIDED:	90.00
CONTINUOUS SOFFIT VENT	9	sq. ft.	TOTAL PROVIDED:	90.00

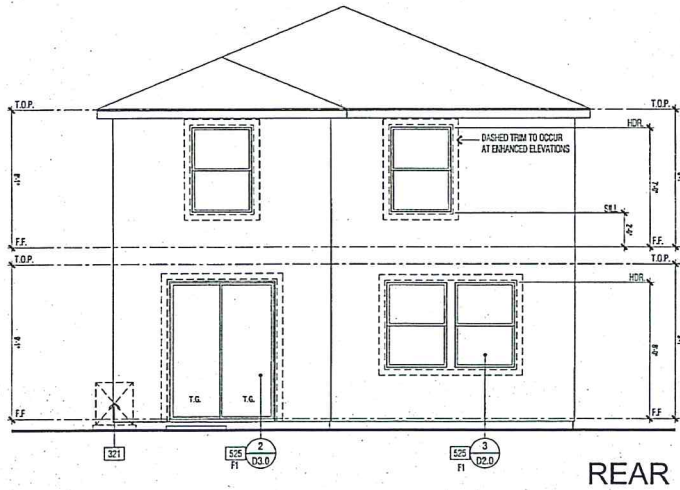
## ROOF PLAN

SCALE: 1/8" = 1'-0"

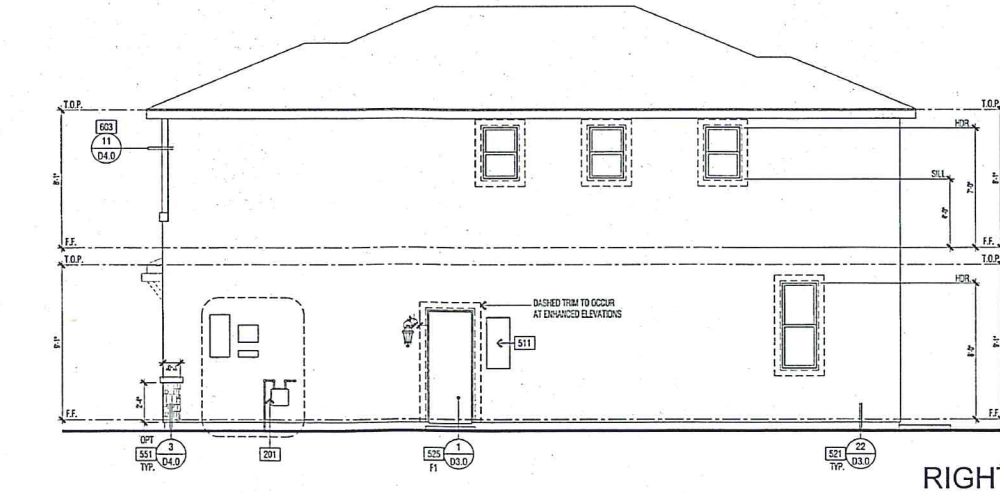
ELEVATION REFERENCE	B	ELEVATION STYLE	CRAFTSMAN
ROOF MATERIAL	CONCRETE "FLAT" TILE	STANDARD ROOF DETAIL U.L.O.	RAISE U.L.O.
RAISE U.L.O.	RAISE U.L.O.	RAISE U.L.O.	RAISE U.L.O.
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ROOF PLAN NOTES
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CBC SECTION 110.10.
1. SEE GENERAL NOTES FOR ROOF NOTES.
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ATTIC ACCESS PER CBC SECTION 110.10.
4. PROVIDE ATTIC & SOFFIT VENTILATION PER CBC SECTION 110.10. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
1. IN RAISE SERIES 14 AND 16, A 1/4" CLEARANCE SHALL BE MAINTAINED BETWEEN THE RAISE AND THE CEILING.
2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAISE SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE. LOWER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE. LOWER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE.
3. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAISE SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE. LOWER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE.
4. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAISE SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE. LOWER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 6 IN. BELOW THE RIDGE OR HIGH POINT OF THE RAISE.

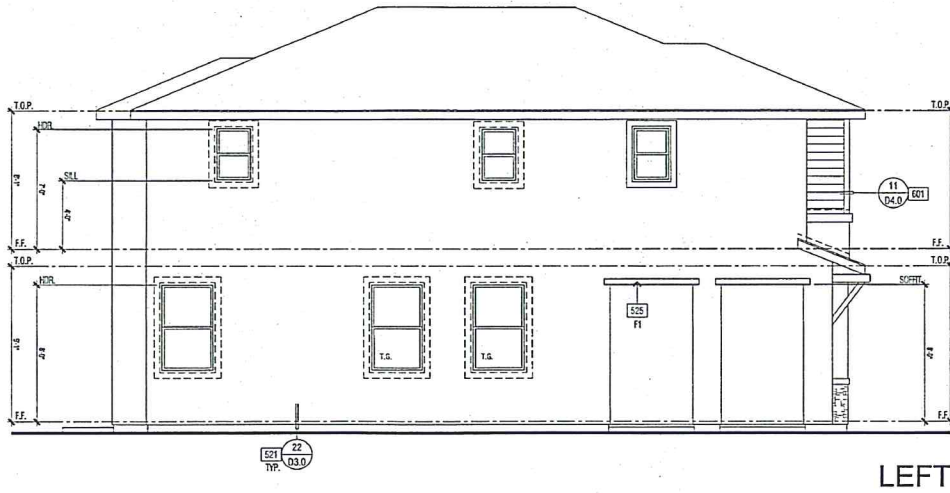
ROOF PLAN KEY NOTES
NOTE
601 ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
610 LINE OF WALL BELOW
612 STUCCO CEILING
614 WOOD SOFFIT
623 MIN. 22"x20" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRASTION TO VERIFY AIRFLOW TO ALL ATTIC AREAS
625 ROOF VENT - OMAGNIX "X" SERIES CLOAKED VENT (ICC # ESR-0650A)
627 ALUMINUM CONTINUOUS SOFFIT VENT



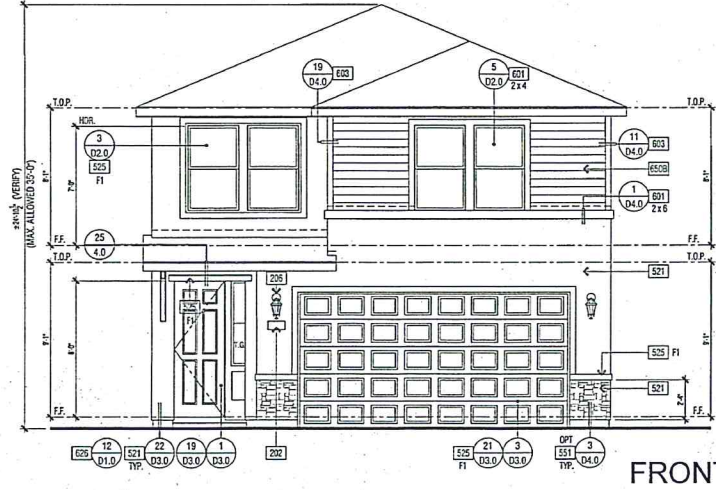
REAR



RIGHT



LEFT



FRONT

ELEVATION KEY NOTES
NOTE
201 UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202 ADDRESS NUMBER - 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207 COACH LIGHT LOCATION
521 STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SHUT "R" GUARD ESR-1566 BY START R TO END
511 RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525 STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
551 MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC# ESR-1354. INSTALL PER MANUFACTURER'S INSTRUCTIONS
601 WOOD TRIM - SIZE PER DETAIL
623 WOOD CORNER TRIM - SIZE PER DETAIL
625 OUTLOOKER ASSEMBLY - WOOD (SEE SHAPE PER ELEVATION)
626 FIBER CEMENT LAP SIDING - 5/8" THICK "WATERPLANK" BY JAMESHARBIE ICC# ESR 405 (OR EQUIVALENT). FINISH: SELECT CEDARMILL. EXPOSURE 6" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
701 G.I. FLASHING
701 ROOFING - CONCRETE - "FLAT" TILE
TYP. 2 LAYERS OF OF GRADE 10" BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 GFCI R700.03

WILLIAM HEZMALHALCH ARCHITECTS INC.  
2020 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5100  
949 250 0027 www.hezmalhalch.com fax 949 250 1029



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOWES  
FRESNO, CALIFORNIA

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DO	NOT	SCALE	PLANS
NO.	DATE	DESCRIPTION	
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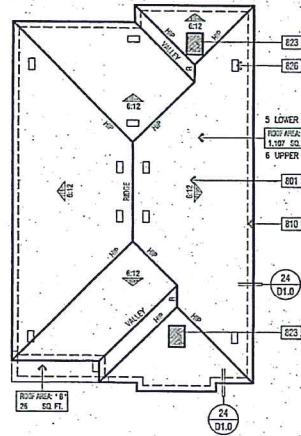
DATE: 08-06-14 SHEET: A4.6

SCALE: 1/4" = 1'-0"

ELEVATIONS - PLAN 1660B

2019272 - 08-06-14





NOTE: RADIANT BARRIER IS REQUIRED AT ROOF SHEATHING AND AT ALL VERTICAL SURFACES IN THE ATTIC

ROOF ATTIC AREA	A	1063	SQ. FT.	CALCULATION FACTOR:	1/150	
			153072			
MIN. VENTILATION REQUIRED:	TOTAL	1020	SQ. IN.	TOTAL PROVIDED:	1086	SQ. IN.
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA		
CLOAKED VENT - CONCRETE TILE	59	SQ. IN. X	11	1086	SQ. IN.	
			TOTAL PROVIDED:	1086	SQ. IN.	

ROOF ATTIC AREA	B	26	SQ. FT.	CALCULATION FACTOR:	1/150	
			3744			
MIN. VENTILATION REQUIRED:	TOTAL	25	SQ. IN.	TOTAL PROVIDED:	99	SQ. IN.
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA		
CLOAKED VENT - CONCRETE TILE	59	SQ. IN. X	1	99	SQ. IN.	
			TOTAL PROVIDED:	99	SQ. IN.	

## ROOF PLAN

SCALE: 1/8" = 1'-0"

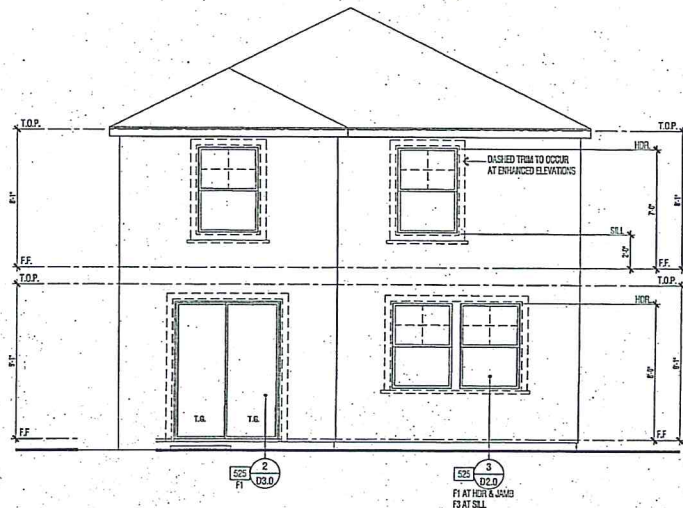
ELEVATION REFERENCE:	C	ELEVATION STYLE:	COTTAGE			
ROOF MATERIAL	STANDARD ROOF DETAIL NO. 1	ROOF AREA	OVERHANG DETAIL - WIND			
CONCRETE 'FLAT' TILE	4 D1.1	2X6	2X6	8"	8"	
SCALE: 1/8" = 1'-0"						

**ROOF PLAN NOTES**

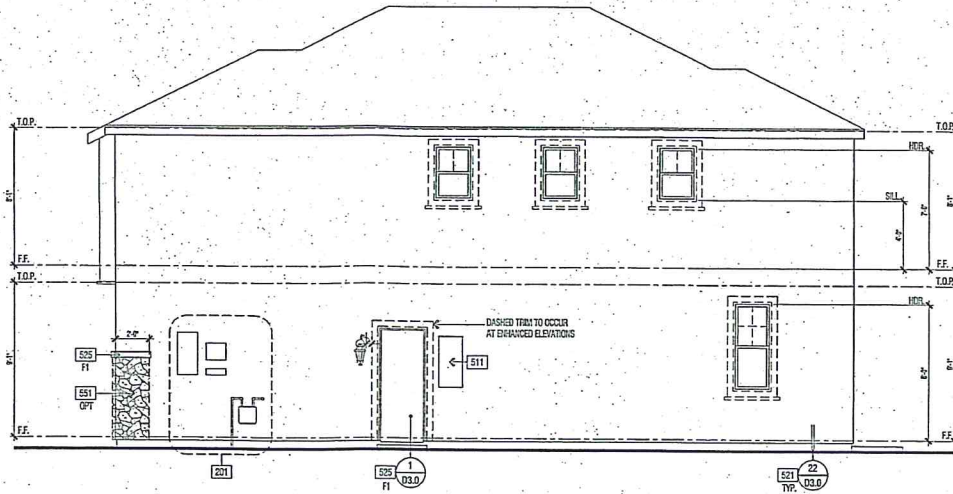
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CEC SECTION 110.10.

- SEE GENERAL NOTES FOR ROOF NOTES.
- UPPER VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CEC SECTION 110.10.
- PROVIDE ATTIC & SLOTTED VENTILATION PER CEC SECTION 110.10. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTILATED SPACE. DESCRIBE THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE VENTILATED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
  1. RADIANT BARRIER 14 AND 14.5 DASH ON 14.5 INCH REDUCING IS INSTALLED ON THE WINDWARD SIDE OF THE CEILING.
  2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAISED SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 0 INCH BELOW THE ROOF OR NO LESS THAN 3 FEET 0 INCH ABOVE THE SPACE. MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY BASE OR CROWN VENTS. WHEN THE LOCATION OF WALL OR ROOF FINISHING METHODS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION NOTE SHALL BE LOCATED 3 FEET 0 INCH BELOW THE ROOF OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

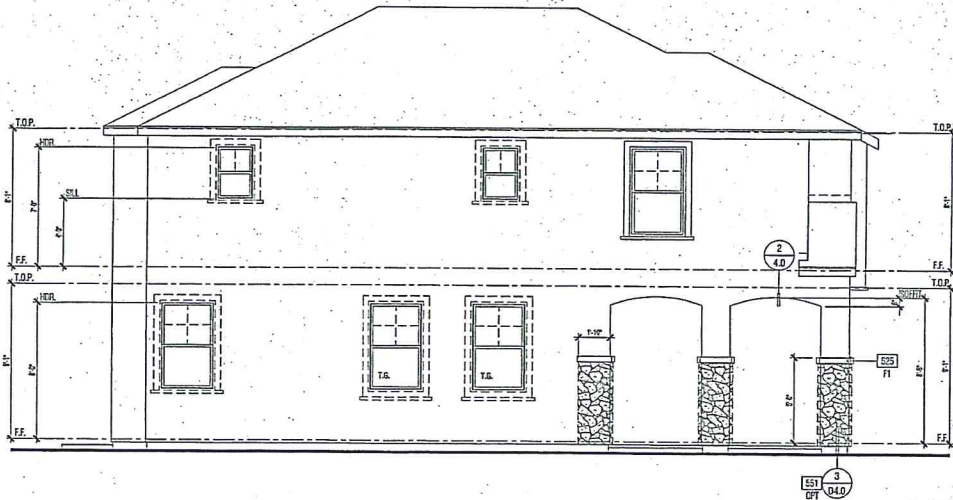
ROOF PLAN KEY NOTES	
NOTE:	
801	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"X22" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
825	ROOF VENT - DYNASYN 'XL SERIES' CLOAKED VENT (ICC # ESR-1850A)
TYP	2 LAYERS OF OF GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R702.6.3



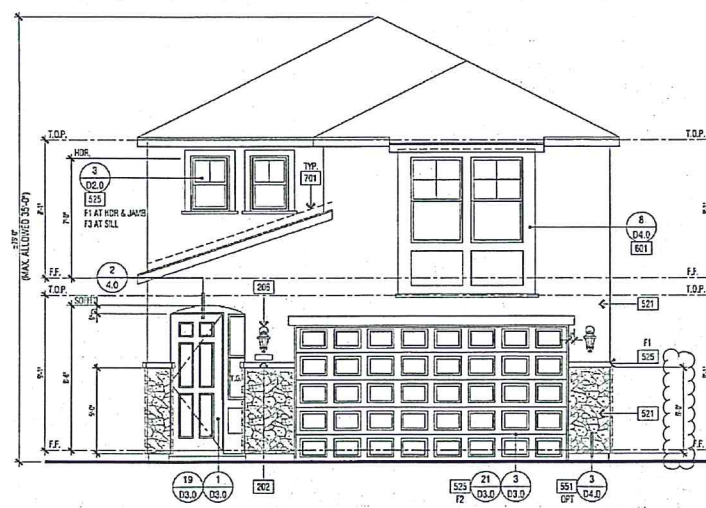
REAR



RIGHT



LEFT



SCALE: 1/4" = 1'-0"

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.	
ELEVATION KEY NOTES	
NOTE	
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 6" TALL HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
205	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT 'R' GUARD ESR-1565 BY STAFF R FOUND
525	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET 04)
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC# ESR-1564, INSTALL PER MANUFACTURER'S INSTRUCTIONS
601	WOOD TRIM - SIZE PER ELEVATION
701	GL. FLASHING
701	ROOFING - CONCRETE - 'FLAT' TILE
TYP	2 LAYERS OF OF GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R702.6.3

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TRACT NUMBER  
PROJECT TYPE

**ELEVATIONS III**  
CLOVIS, CALIFORNIA

**WILSON HOMES**  
FRESNO, CALIFORNIA

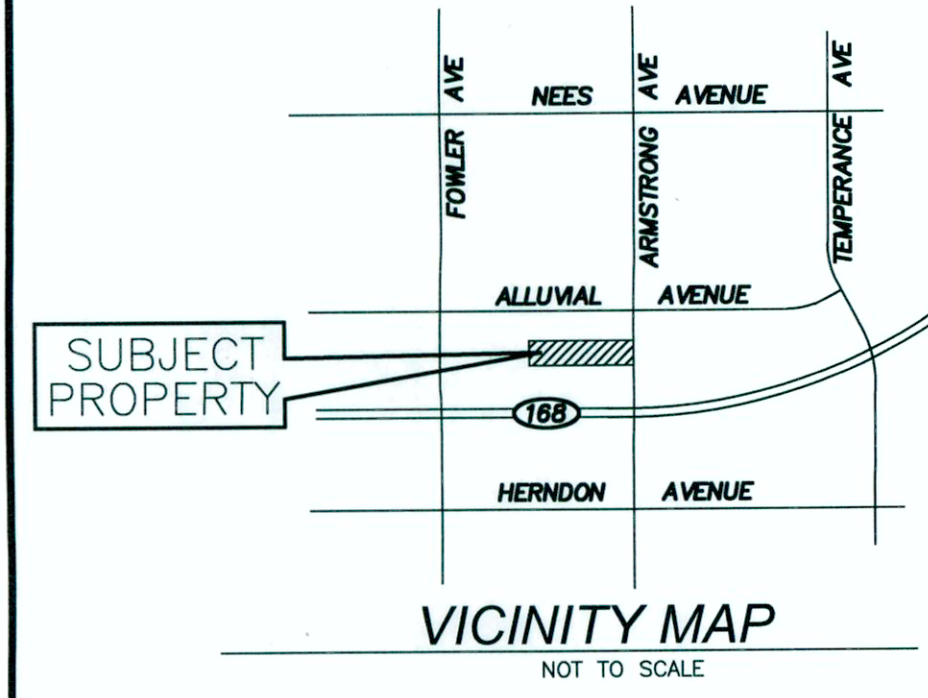
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DO	NOT	SCALE	PLANS
REVISIONS			
NO.	DATE	DESCRIPTION	
Δ	8-6-14	AS BUILT	
PROJECT MANAGER:			
DESIGNER:			
DRAWN BY:			
REVIEWED BY:			
1ST BLDG. DEPT. SUBMITTAL:			
ISSUED FOR CONSTRUCTION:			
JOB NUMBER:			
CAD FILE NAME:			
DATE:			
SHEET:			

ELEVATIONS - PLAN 1660C

2013272 - 08-06-14





## TENTATIVE SUBDIVISION MAP TRACT No. 6117

IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA  
CONSISTING OF ONE SHEET  
AUGUST 2015

### LEGAL DESCRIPTION:

THE SOUTH HALF OF LOT 4 OF NEES COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2, PAGE 57 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS.

### NOTES:

- EXISTING ZONING: SINGLE FAMILY RESIDENTIAL (R-1-7500 MIN.)
- PROPOSED ZONING: SINGLE FAMILY RESIDENTIAL (R-1-7500 MIN.)
- SITE AREA : 9.47 ACRES (GROSS) / 9.14 ACRES (NET)
- SITE ADDRESS: 734 NORTH ARMSTRONG AVENUE, CLOVIS, CA 93611
- NUMBER OF LOTS: 39
- DENSITY: 4.1 UNITS PER GROSS ACRE
- AREA OF ALL LOTS: 328,823 SF (AVERAGE LOT SIZE: 8431 SF)
- ASSESSOR'S PARCEL No's.: 563-132-28 AND PORTION OF 563-132-22, 23, 24, 25, 26
- ANY GRADE DIFFERENTIALS ACROSS EXISTING AND PROPOSED PROPERTY LINES WILL BE MITIGATED PER CITY OF CLOVIS REQUIREMENTS.
- PROPOSED SEWER, WATER, CONCRETE CURBS, GUTTERS, SIDEWALKS, STREET LIGHTS, AND STREET PAVEMENT TO BE INSTALLED PER CITY OF CLOVIS STANDARD SPECIFICATIONS.
- ALL STREETS WITHIN THIS SUBDIVISION TO BE OFFERED FOR DEDICATION FOR PUBLIC STREET PURPOSES.
- ALL EXISTING WATER LINES, SEWERS, AND STORM DRAINS WILL REMAIN UNLESS OTHERWISE NOTED.
- ALL EXISTING STRUCTURES TO BE REMOVED. WELLS AND SEPTIC SYSTEMS ARE TO BE ABANDONED PER CITY AND COUNTY STANDARDS.
- THERE ARE NO KNOWN UNDERGROUND FEATURES SUCH AS WELLS OR CESSPOOLS WITHIN THE PROPOSED SUBDIVISION OTHER THAN WHAT IS SHOWN ON THE MAP.
- THIS SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR PASSIVE NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NON-RENEWABLE ENERGY RESOURCES (AT LEAST 50% OF THE TOTAL LOT COUNT WILL HAVE NORTH-SOUTH ORIENTATION).
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OPEN CANALS OR DITCHES ON THIS PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO DUMP SITES ON THIS PROPERTY.
- WATER SUPPLY AND SEWER SERVICES ARE FROM THE CITY OF CLOVIS.
- THIS AREA IS NOT SUBJECT TO FLOOD INUNDATION.
- BOUNDARY INFO SHOWN IS CONSIDERED APPROXIMATE AND IS BASED ON RECORD INFORMATION ONLY.

AVERAGE LOT SIZE SUMMARY			
LOCATION	TOTAL LOT AREA (SF)	# LOTS	AVG. LOT SIZE (SF)
TRACT 6117	328,828	39	8,431
TRACT 4315	466,088	56	8,323
N. CONCEPT	300,189	23	13,052
W. CONCEPT	154,066	12	12,839
TOTAL:	1,249,171	131	
1,249,171/131 = 9,536 SF AVG. LOT SIZE FOR ALL FOUR LOCATIONS COMBINED			

