



CITY of CLOVIS

AGENDA • CLOVIS CITY COUNCIL

Council Chamber, 1033 Fifth Street, Clovis, CA 93612 (559) 324-2060

www.cityofclovis.com

In compliance with the Americans with Disabilities Act, if you need special assistance to access the City Council Chamber to participate at this meeting, please contact the City Clerk or General Services Director at (559) 324-2060 (TTY – 711). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the Council Chamber.

Any writings or documents provided to a majority of the City Council regarding any item on this agenda will be made available for public inspection at City Hall, in the City Clerk's office, during normal business hours. In addition, such writings and documents may be posted on the City's website at www.cityofclovis.com.

April 9, 2018

6:00 PM

Council Chamber

The City Council welcomes participation at Council Meetings. Members of the public may address the Council on any item of interest to the public that is scheduled on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less, or 10 minutes per topic.

Meeting called to order by Mayor Whalen
Flag salute led by Councilmember Mouanoutoua

ROLL CALL

PRESENTATIONS/PROCLAMATIONS

- A. Presentation of Proclamation honoring Kevin Dale for 11 years of service on the Clovis Personnel Commission.

PUBLIC COMMENTS (This is an opportunity for the members of the public to address the City Council on any matter within the City Council's jurisdiction that is not listed on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less, or 10 minutes per topic. Anyone wishing to be placed on the Agenda for a specific topic should contact the City Manager's office and submit correspondence at least 10 days before the desired date of appearance.)

ORDINANCES AND RESOLUTIONS (With respect to the approval of resolutions and ordinances, the reading of the title shall be deemed a motion to waive a reading of the complete resolution or ordinance and unless there is a request by a Councilmember that the resolution or ordinance be read in full, further reading of the resolution or ordinance shall be deemed waived by unanimous consent of the Council.)

CONSENT CALENDAR Consent Calendar items are considered routine in nature and voted upon as one item unless a request is made to give individual consideration to a specific item.
(See Attached Consent Agenda.)

1. PUBLIC HEARINGS

- A. Consider items associated with approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues. Cleo L. Tomlinson, Kenneth R. & Marilyn B. Springston Trs., owners; Wilson Premier Homes, Inc., applicant; Harbour & Associates, representative. (Staff: G. Gonzalez)
1. Consider Introduction - Ord. 18-____, R2017-14, A request to approve a rezone from the R-1-7500 (Single Family Residential - 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District.
 2. Consider Approval - Res. 18-____, TM6202, A request to approve a vesting tentative tract map for a 123-lot single-family planned residential development.

2. ADMINISTRATIVE ITEMS

A. ADMINISTRATION (City Manager, City Clerk, Finance)

1. Consider - Budget Discussion, Update, Priorities and Provide Policy Direction.
(Staff: J. Schengel / L. Serpa)

3. CITY MANAGER COMMENTS

4. COUNCIL ITEMS

- A. Consider Approval – Appointments to Personnel and Planning Commissions. (Staff: L. Serpa)
- B. Council Comments

5. CLOSED SESSION

- A. Government Code Section 54956.9
CONFERENCE WITH LEGAL COUNSEL - ANTICIPATED LITIGATION
Significant Exposure to Litigation Pursuant to Paragraph (2) or (3) of
Subdivision (d) of Section 54956.9
One Case (March 26, 2018 E-Mail from Brianne Glick)

ADJOURNMENT

Meetings and Key Issues			
Apr. 16, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
May 7, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
May 14, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
May 21, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Jun. 4, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Jun. 11, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Jun. 18, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber

CONSENT CALENDAR - Items considered routine in nature are to be placed upon the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Councilmember requests individual consideration. A Councilmember's vote in favor of the Consent Calendar is considered and recorded as a separate affirmative vote in favor of each action listed. Motions in favor of adoption of the Consent Calendar are deemed to include a motion to waive the reading of any ordinance or resolution on the Consent Calendar. For adoption of ordinances, only those that have received a unanimous vote upon introduction are considered Consent items.

A. CITY CLERK

- 1) Approval - Minutes for the April 2, 2018 Council meeting.

B. ADMINISTRATION

- 1) No items.

C. COMMUNITY AND ECONOMIC DEVELOPMENT

- 1) Approval – Request from Business Organization of Old Town (BOOT) to Amend Previously Approved Time for Street Closure for Farm to Table Event on April 22, 2018.

D. FINANCE

- 1) No items.

E. GENERAL SERVICES

- 1) No items.

F. PLANNING AND DEVELOPMENT SERVICES

- 1) Approval – Final Acceptance for Tract 6142, located at the southwest corner of Ashlan and Leonard Avenues (McCaffrey Homes).

G. PUBLIC SAFETY

- 1) No items.

H. PUBLIC UTILITIES

- 1) Approval – Preliminary Engineer's Report; and Approval – Res. 18-____, A Resolution Declaring the City's Intention to Levy and Collect the Annual Assessments for Landscape Maintenance District No. 1.

I. REDEVELOPMENT SUCCESSOR AGENCY

- 1) No items.

CITY of CLOVIS
PROCLAMATION

**RECOGNIZING THE SERVICE OF
PERSONNEL COMMISSIONER KEVIN DALE**

WHEREAS, Kevin Dale was appointed to the City of Clovis Personnel Commission on June 12, 2007, and served as a member of the Commission for 11 years until his resignation effective May, 2018; and

WHEREAS, Commissioner Dale's expertise and experience in public sector employment law has been an asset to the City of Clovis; and

WHEREAS, Commissioner Dale interviewed new entry-level employment applicants and helped ensure the City hired the most qualified candidates; and

WHEREAS, Commissioner Dale competently and fairly served as chairperson during Personnel Commission termination and discipline hearings; and

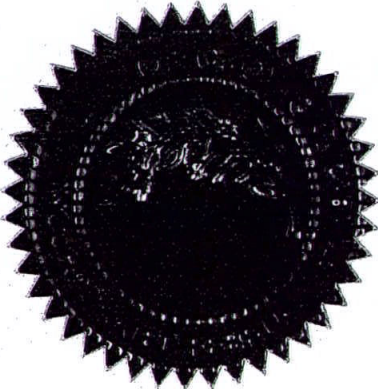
WHEREAS, Commissioner Dale was a highly respected resource for fellow commissioners and City of Clovis staff.

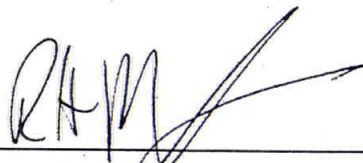
NOW, THEREFORE, BE IT RESOLVED, that the Clovis City Council and the Clovis Personnel Commission recognizes and expresses its appreciation to

KEVIN DALE

for his service to the Clovis Community, his fellowship on the Commission, and his commitment to the "Clovis Way of Life."

IN WITNESS THEREOF, I hereunto set my hand this 9th day of April, 2018.




Mayor

CLOVIS CITY COUNCIL MEETING

April 2, 2018

6:04 P.M.

Council Chamber

Meeting called to order by Mayor Whalen

Flag Salute led by Councilmember Flores

Roll Call: Present: Councilmembers Ashbeck, Bessinger, Flores, Mouanoutoua,
Mayor Whalen
Absent: None

6:05 - PUBLIC COMMENTS

Mike Shirinian, owner Elbow Room and Riley's Brew Pub, commented on the good customer service he received from the City of Clovis staff.

6:11 - CONSENT CALENDAR

Motion by Councilmember Ashbeck, seconded by Councilmember Flores, that the items on the Consent Calendar be approved. Motion carried by unanimous vote.

- A1) Approved - Minutes for the March 12, 2018 and March 19, 2018 Council meetings.
- E1) Approved - Extension of Workers' Compensation Claims Administration Services Contract to Acclamation Insurance Management Services, Inc. (AIMS).
- E2) Approved – **Res. 18-51**, Amending the City's FY 17-18 Position Allocation Plan by adding one (1) Principal Account Clerk in the Finance Department.
- F1) Approved - Bid Award for CIP 18-01, Rubberized Cape Seal 2018, and; Authorize the City Manager to execute the contract on behalf of the City.
- F2) Approved - Bid Award for CIP 18-02, Trail Pavement Maintenance 2018, and; Authorize the City Manager to execute the contract on behalf of the City.
- F3) Approved – Contract Change Order for CIP 14-21, Shaw/Locan Traffic Signal & Widening, and Authorize the City Manager to execute the contract on behalf of the City.
- F4) Approved – Extending the boundaries for the Cottage Home Program outside of the Central Clovis Specific Plan boundaries to allow all qualifying Old Town residents to use the set of plans for cottage home construction.

6:12 ITEM 1 - CITY MANAGER COMMENTS

City Manager Luke Serpa commented on a meeting he attended regarding a proposed water bond currently being routed for signatures for the November 2018 election.

6:13 ITEM 2A - APPROVED – **RES. 18-50**, A RESOLUTION OF THE CLOVIS CITY COUNCIL SUPPORTING THE REDUCING CRIME AND KEEPING CALIFORNIA SAFE ACT OF 2018

Councilmember Ashbeck indicated that she requested this item be placed on the agenda for consideration. She indicated that she supported a resolution of the Clovis City Council Supporting the Reducing Crime and Keeping California Safe Act of 2018. The

*****PRELIMINARY - SUBJECT TO APPROVAL***CC-A-1**

Clovis City Council is being requested to approve a resolution in support of the Reducing Crime and Keeping California Safe Act of 2018 (the "Act"). The Act is an attempt to correct some of the unintended problems caused by recent criminal justice reforms (Props 47, 57, and AB 109). These measures have reduced sentencing for many crimes that previously could have resulted in lengthy prison sentences. As more prisoners are released, Clovis has seen a rise in local crime and homelessness. Staff is recommending approval of the resolution due to the negative impact of recent criminal justice reforms that have impacted the City, and more specifically the Police Department.

Alisha Gallon, representing Assemblymember Jim Costa, spoke in support of the Act. Billy Terence, representing District Attorney Lisa Smittcamp, spoke in support of the Act. Clovis Police Chief Matt Basgall also spoke in support of the Act. Discussion by the Council.

Motion by Councilmember Ashbeck, seconded by Councilmember Mouanoutoua, for the Council to approve a resolution Supporting the Reducing Crime and Keeping California Safe Act of 2018. Motion carried by unanimous vote.

6:18 ITEM 2B - COUNCIL COMMENTS

Councilmember Bessinger commented on a COG meeting attended last week and updated council on the One Voice trip.

Councilmember Ashbeck commented on a theft that occurred at her house last week and thanked Clovis Police Department for their actions.

Councilmember Mouanoutoua commented on attending Safe Place Open House, Carmel Village awards ceremony, Clovis Police Department Spring Fest, and a Habitat for Humanity home dedication.

6:25 - Mayor Whalen left the dais due to a potential conflict of interest for the item to be discussed during closed session and turned the meeting over to Mayor Pro Tem Bessinger.

6:26 ITEM 3A - CLOSED SESSION

Government Code Section 54956.9

CONFERENCE WITH LEGAL COUNSEL-ANTICIPATED LITIGATION

Significant Exposure to Litigation Pursuant to Paragraph (2) or (3) of Subdivision (d) of Section 54956.9

One Case (March 14, 2018 U.S. Department of Justice Letter)

Mayor Pro Tem Bessinger adjourned the meeting of the Council to April 9, 2018

Meeting adjourned: 6:53 p.m.

Mayor

City Clerk



AGENDA ITEM NO: **CC-C-1**
City Manager: LS

CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Community & Economic Development

DATE: April 9, 2018

SUBJECT: Approval – Request from Business Organization of Old Town (BOOT) to Amend Previously Approved Time for Street Closure for Farm to Table Event on April 22, 2018

ATTACHMENTS: (A) Request from Business Organization of Old Town
(B) Letter to Neighboring Business Owners, Property Owners and Residents

CONFLICT OF INTEREST

None

RECOMMENDATION

That the City Council approve the request from BOOT to amend the previously approved time for street closures for Farm to Table event which is scheduled for April 22, 2018.

EXECUTIVE SUMMARY

On December 11, 2017, Council approved street closure for the Sunday, April 22, 2018 Farm to Table event. The promoter has requested additional time for street closure in order to set up the event. The approved street closure time is 4:00 P.M. to 10:00 P.M. The proposed time is Noon to 10:00 P.M. on April 22.

BACKGROUND

On October 26, 2017, staff received a request from BOOT for street closure related to the Old Town Clovis Farm to Table Dinner. This event will feature a locally sourced dinner prepared by Clovis chefs and served to customers on Pollasky Avenue between Fourth and Fifth Streets. This request was approved on December 11, 2017 during Council's regular meeting.

On January 16, 2018, BOOT notified staff of the need for more time to set up the Farm to Table event. Staff began working with BOOT to assist them in planning this closure.

On March 30, 2018, staff visited each business located within the footprint of this street closure to discuss the possibility of the street closure schedule change. Approximately half of the businesses are closed on Sundays, therefore this earlier street closure will not affect them. To date, only one merchant expressed a concern and asked if it is possible to begin the closure at 1:00 P.M. instead of noon. To date, no additional concerns have been heard.

BOOT will continue to work with merchants to reduce any impact of the earlier closure.

FISCAL IMPACT

The Business Organization of Old Town will bear the cost for all materials and services associated with this event.


REASON FOR RECOMMENDATION

To accommodate set up of tables, chairs, decorations, and food serving equipment, as well as to secure the area to meet all City of Clovis requirements, the Business Organization of Old Town requires more time.

ACTIONS FOLLOWING APPROVAL

1. Staff will notify BOOT of Council's decision and continue working with BOOT and Old Town merchants to eliminate any issues and help make this event successful.

Prepared by: Shawn Miller, Business Development Manager

Submitted by: Andrew Haussler, Director,
Community & Economic Development 



Business Organization of Old Town Clovis

P.O. Box 1548, Clovis, CA 93613 * 559.298.5774 * FAX 559.298.3760

March 27, 2018

Shawn Miller
Business Development Manager
City of Clovis
1033 Fifth Street
Clovis, Ca. 93612

RE: Street Closure Request for Old Town Clovis Farm to Table
Sunday, April 22, 2018

Dear Shawn:

The Business Organization of Old Town requests from the City of Clovis street closure for a new event, Farm to Table. The event is described below and outlined on the enclosed pages. We originally requested the street be closed from 4PM until 10PM but we need an earlier street closure in order to set up. Noon to 10 PM would allow us to set up the labor intensive layout.

We had submitted a request for street closure for a fall version of the event (October 14) but at this time I am not sure we are going to be able to put two of these events on in a year and I will be out of town on that date.

Closure is requested on Pollasky from 4th Street to 5th Street and space in Parking Lot #1 for a tent to prep and plate the dinner.

Streets are closed only during time needed and reopened as soon as possible. B.O.O.T. will provide the barricades, manpower and necessary signs for both the "No Parking" and traffic control, before, during and after the event. In addition, B.O.O.T. will be responsible for street cleanup, restroom and portable toilet maintenance and security throughout and after the event.

Thank you for your assistance in obtaining the necessary approvals for street closure.

Sincerely,

Carole Lester
Executive Director



CITY *of* CLOVIS

1033 FIFTH STREET • CLOVIS, CA 93612

March 30, 2018

Subject: Revised closure time for Farm to Table Event

Dear Old Town Merchant, Resident and/or Property Owner:

In December, City Council approved the closure of Pollasky Avenue between Fourth and Fifth Streets for a Farm to Table dinner event to be held on Sunday, April 22, 2018. The approved closure time was 4:00 P.M. to 10:00 P.M.

In order to provide enough time to set up this event, BOOT is requesting an earlier closure time of 12:00 noon to 10:00 P.M.

Please forward any concerns in writing to my attention by noon, April 9, 2018. The Clovis City Council will consider this request at their regular meeting on Monday, April 9, 2018.

If you have any questions or need further information, Please feel free to contact me at 324-2083, or by email at shawnm@cityofclovis.com.

Sincerely,

Shawn A. Miller, Business Development Manager
City of Clovis



AGENDA ITEM NO: CC-F-1

City Manager: *AA*

CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: April 9, 2018

SUBJECT: Approval – Final Acceptance for Tract 6142, located at the southwest corner of Ashlan and Leonard Avenues (McCaffrey Homes).

ATTACHMENT: (A) Vicinity Map

CONFLICT OF INTEREST

None

RECOMMENDATION

1. Accept the public improvements for Tract 6142; and authorize recording of the Notice of Completion; and
2. Authorize release of the Performance Surety immediately and then release of the Labor and Materials Surety ninety (90) days after the recordation of the Notice of Completion, provided no liens have been filed; and release of Public Improvements Maintenance Surety upon the expiration of the one-year warranty period, and provided any defective work has been repaired to the City's satisfaction.

EXECUTIVE SUMMARY

The owner, Ashlan/DeWolf No. 1, LP (The McCaffrey Group), has requested final acceptance of the public improvements constructed or installed in conjunction with this tract. The public improvements include all those shown on the subdivision improvement plans approved by the City Engineer. The construction or installation of the public improvements

is complete. The owner has requested final acceptance. Staff is recommending approval of their request.

FISCAL IMPACT

The costs for periodic routine maintenance, as well as repairs needed as the improvements deteriorate with age and usage, will be incorporated into the annual maintenance budget of the Public Utilities Department as these costs are identified.

REASON FOR RECOMMENDATION


The Subdivision Map Act requires that once construction of the required improvements has been completed in compliance with all codes, plans and specifications, and all other required documents have been completed and submitted, final acceptance is required and the appropriate sureties are released.

ACTIONS FOLLOWING APPROVAL

Record the Notice of Completion and release the Performance, Labor and Materials, and Maintenance Sureties as appropriate.

Prepared by: Gene Abella, Assistant Engineer

Submitted by:

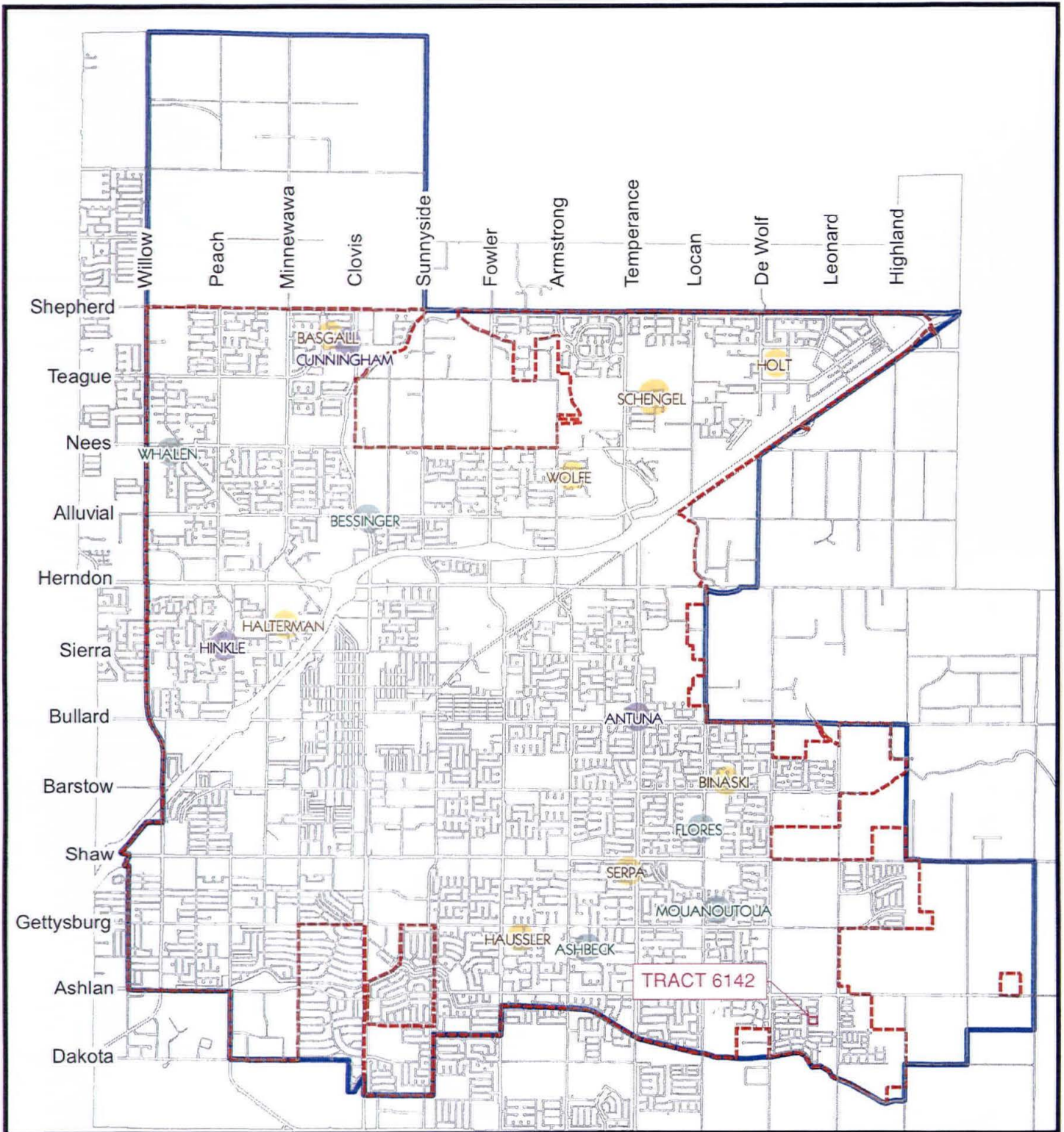

Michael Harrison
City Engineer

Recommended by:


Dwight Kroll, AICP
Director of Planning
And Development
Services

VICINITY MAP

TM 6142



ATTACHMENT A



 CITY LIMITS SPHERE OF INFLUENCE

April 2, 2018

Prepared By: Hien Ma



AGENDA ITEM NO: **CC-H-1**
City Manager: *AA*

CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Public Utilities Department

DATE: April 9, 2018

SUBJECT: Approval - Preliminary Engineer's Report; and Approval - Res. 18-____, A Resolution Declaring the City's Intention to Levy and Collect the Annual Assessments for Landscape Maintenance District No. 1.

ATTACHMENTS: A) Resolution of Intention
B) Assessment Diagrams

CONFLICT OF INTEREST

None

RECOMMENDATION

1. Approve the Preliminary Engineer's Report on file with the City Clerk; and
2. Adopt Resolution No. 18-____ that declares the City's intention to levy and collect the annual assessments for Landscape Maintenance District No. 1, and gives notice of Public Hearing.

EXECUTIVE SUMMARY

The City collects funds through annual assessments on properties within Landscape Maintenance District (LMD) No. 1. These funds provide landscape maintenance services for those properties within the LMD, including special enhancements unique to the various tracts within the District. Currently, 40 different assessment zones have been established. Zones 1-3 provide for general landscape maintenance, Zones 4-6 provide for neighborhood park maintenance, Zones 7-39 provide for maintenance of special neighborhood enhancements, and Zone SE provides for maintenance for all of Loma Vista. Properties within the LMD (except those in Zone SE) are all in Zones 1-3, and they may also be in Zones 4-6 and Zones 7-35. Zone SE is unique in that it covers all three categories of landscape: street-median and street-side landscaping, parks, and special enhancements.

The rates for zones 1, 2, 3, and 6 were established by election in 2004. Those rates have remained the same since that election. In 2013, there was an election for Zones 4, 5, and 7 which established the new assessment rates for those zones; and in 2016 there was an election in Zones 2, 4, and 5. The 2016 election resulted in an assessment increase in Zone 4, but the election results failed to increase the assessments in Zones 2 and 5.

Zones 7-39 and Zone SE include escalation clauses in the annexation covenants that allow the City to increase the assessments by the Consumer Price Index (CPI) plus 2%. Because this provision is included in the annexation documents and agreed to by the property owners, it is not considered a rate increase and is not subject to the election process outlined in Proposition 218.

Consistent with Section 22623 of the Landscape and Lighting Act of 1972, this Resolution proposes the following actions for the various zones:

Zone	Rate Change	Reason For Change
Zones 1, 3 – 6	No change	Rates will continue to be maintained at the rate established by elections in 2004 and 2013.
Zone 2	Pending Election	Assessment increase election needed to maintain adequate landscape service.
Zone 22, 34, 35	Reduce assessment.	Reached sufficient capital reserves. Reducing assessment to coincide with actual maintenance costs minus interest earned.
Zones 7 – 11, 13 – 15, 17, 21, 23, 24, 30, 32, 36-39	No change.	No change. Current rates are sufficient to cover costs.
Zones 12, 16, 18 – 20, 25 – 29, 31, 33	Increase assessment.	Rates are being increased to cover the cost of maintaining service while continuing to maintain capital reserves.
Zone SE Tracts:	No change.	No change. Current rates are sufficient to cover costs.

LMD REQUIREMENTS

The Preliminary Engineer's Report is being filed with the City Clerk for submission to Council in accordance with Section 22623 of the Landscape and Lighting Act of 1972 (ACT). After approval of the Report, Section 22624 of the Act requires the Council to adopt a Resolution of Intention that:

1. Declares the intention to levy and collect assessments;
2. Generally describes the existing and proposed improvements and any substantial changes proposed to be made in existing improvements;
3. Refers to the assessment district by its distinctive designation and indicates the general location of the district;
4. Refers to the Preliminary Engineer's Report for a full description of the improvements, boundaries and any zones in the district and the proposed assessments upon assessable lots and parcels of land within the district;
5. Gives notice of the time and place for hearing by the Council on the levy of the proposed assessments; and
6. States whether the assessments are proposed to increase from the previous year.

BACKGROUND

On July 15, 1985, Council adopted Resolution No. 85-78 forming the City of Clovis Landscape Maintenance District No. 1 (LMD) in accordance with the Landscaping and Lighting Act of 1972 approved by the California State Legislature. The purpose of the District is to fund the operation and maintenance of landscaped areas and interior parks benefiting development throughout the City.

The yearly assessments established for all properties within the District provide funding for the City's cost for operation, maintenance, related services, and incidental expenses. The required operation and maintenance includes mowing, edging, fertilizing, weed control, irrigation system, pruning, plant replacement, lighting, and a depreciation fund to periodically replace playground equipment. The assessments are collected by the County as a special assessment on the property tax bills.

The yearly rates for Zones 1-6 are as follows:

<u>General Landscaping</u>		<u>Neighborhood Park</u>	
Zone 1	\$78.50	Zone 4	\$49.86
Zone 2	\$87.10 (\$99.94 Election rate)	Zone 5	\$50.10
Zone 3	\$12.28	Zone 6	\$80.08

In addition to the general landscaping and neighborhood park zones, additional zones have been established to cover enhanced landscaping, entry features and decorative street lighting in various residential subdivisions. The properties in each of these benefit zones are assessed an additional amount to fund the maintenance costs for the added features at each of their subdivisions. The proposed annual rates for the enhanced landscaping zones are as follows:

Zone 7	\$259.28	Tracts 4762A, 4873, 4874, 4875, 4876, & 5015
Zone 8	\$61.52	Tract 4949
Zone 9	\$53.82	Tract 4954
Zone 10	\$80.74	Tracts 4958, 4986, & 5026
Zone 11	Not used at this time	
Zone 12	\$121.02	Tracts 5025, 5046, & 5047
Zone 13	\$49.96	Tract 5045
Zone 14	\$32.20	Tract 5020
Zone 15	\$124.24	Tracts 5038, 5057, 5058, & 5059
Zone 16	\$10.98	Tract 5106
Zone 17	\$26.70	Tract 4973
Zone 18	\$40.32	Tract 5115
Zone 19	\$48.36	Tract 5125
Zone 20	\$44.44	Tract 4938
Zone 21	\$ 0.00	Tract 5122 (Zone 22 not developed)
Zone 22	\$76.46	Tract 5131
Zone 23	\$80.82	Tract 5213
Zone 24	\$74.56	Tract 5200
Zone 25	\$105.84	Tract 5194
Zone 26	\$60.84	Tract 5347
Zone 27	\$31.30	Tract 5146
Zone 28	\$56.38	Tract 5378
Zone 29	\$102.36	Tract 5470
Zone 30	\$66.64	Tracts 5264 & 5741
Zone 31	\$104.40	Tract 5711
Zone 32	\$17.38	Tract 5545
Zone 33	\$22.94	Tract 5207
Zone 34	\$62.54	Tract 5874
Zone 35	\$87.50	Tract 5550
Zone 36	\$171.92	Tract 6072
Zone 37	\$53.92	Tract 6147
Zone 38	\$60.00	Tract 6170
Zone 39	\$68.00	Tract 6109

Zone SE \$328.00

Tracts 5950, 6020, 5871, 6011, 6007, 6008, 6012, 5605, 5657A, 6009, 6055, 6058, 6025, SPR2012-006, 5701A, 6089, 5998, 6083, 6086, 6034, 5681, 6064, 6098/6142, 6114, 6082, 6040, 6107, 6143, PM2015-02, PM2015-04, 6144, 6127, 6080, 6137A2, PM2016-01 and 1 MISC.

Zone SE \$204.00

Tracts 6101, 6068, 6102, 6197 and 6120.

Zone SE includes all tracts being developed in the Southeast Urban Village, generally located in the southern part of the City east of Locan Avenue and south of Bullard Avenue. Unlike other properties in the City, properties in this zone are not annexed into one or more zones like zones 1 through 6. The rate for this zone is designed to cover all the general landscaping, neighborhood parks, enhanced landscaping, and public lighting for the Southeast Urban Village. All the tracts to be annexed into this area are expected to have enhanced landscaping, entry features and decorative street lighting.

Generally, a Paseo system or park is not completed until an entire quarter section is developed. Therefore, two assessment rates have been established; one for developed quarter sections, and for partially developed quarter sections. Rates are also reviewed and revised yearly to reflect the current level of capital improvements completed within each tract, and the actual cost of maintenance.

The Resolution of Intention containing the Notice of Public Hearing will be published in The Business Journal not less than 10 days prior to the Public Hearing date of June 11, 2018. The Public Hearing will afford all interested persons the opportunity to address their concerns. Written protests may be filed with the City Clerk at any time prior to the conclusion of the Public Hearing.

FISCAL IMPACT

Annual LMD assessments collected provide the necessary funding to continue the maintenance of landscaped areas within the various benefit zones for the next fiscal year, and to provide reserves necessary for depreciation and replacement.

REASON FOR RECOMMENDATION

This resolution is required annually by the Landscaping and Lighting Act of 1972 prior to levying and collecting assessments.

ACTIONS FOLLOWING APPROVAL

1. The Resolution of Intention to Levy and Collect the Annual Assessments will be published in The Business Journal,

2. The Engineer's Report that shows the final assessment costs will be considered by the City Council at the Public Hearing proposed for June 11, 2018, and if approved, recorded by the Fresno County Recorder's Office.

Prepared by: Eric Aller, Parks Manager EA

Submitted by: Scott Redelfs, Public Utilities Director SR

ATTACHMENT A

RESOLUTION NO. 18-

**A RESOLUTION OF INTENTION TO LEVY AND COLLECT THE ANNUAL
ASSESSMENT FOR LANDSCAPE MAINTENANCE DISTRICT NO. 1 FOR THE
CITY OF CLOVIS AND SET THE PUBLIC HEARING**

RESOLVED by the Council of the City of Clovis, County of Fresno, California, that:

1. It is the intention of said Council to order the levy and collection of an assessment for the 2018-19 fiscal year under the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code beginning with Section 22500 of said Code for Landscape Maintenance District #1 of the City of Clovis (herein "LMD No. 1").
2. Said LMD No. 1 is generally described as all properties in subdivisions, Site Plan Review developments, Parcel Map developments and other miscellaneous property entitlement developments approved since July 1985, within the current boundaries of the City of Clovis.
3. The Engineer has prepared and filed with the Clerk of the City of Clovis a preliminary report labeled Preliminary Engineer's Report of the City of Clovis LMD No. 1, dated April 9, 2018 to which reference is hereby made for a detailed description of the improvements, the boundaries of the assessment district and any zones therein, and the proposed assessments upon assessable lots and parcels of land within LMD No. 1.
4. The Business Journal, a newspaper circulated in said City of Clovis is hereby designated as the newspaper in which this Resolution of Intention shall be published, and the Clerk of the City of Clovis is hereby directed to cause this Resolution of Intention to be published once no less than ten (10) days prior to the hearing date set forth below.
5. NOTICE IS HEREBY GIVEN that the 11th day of June 2018, at the hour of 6:00 p.m. in the regular meeting place of the Council of the City of Clovis, Council Chambers, 1033 Fifth Street, Clovis, California 93612, is hereby fixed as the time and place for a PUBLIC HEARING, when and where all interested persons shall be heard on the question of the levy and collection of the proposed assessment. Written protests may be filed with the City Clerk at any time prior to the conclusion of the PUBLIC HEARING. A written protest shall state all grounds of objection and shall contain a description sufficient to identify the property owned by the protesting person or persons.
6. In accordance with the terms of the covenants, the rate for Zones 22, 34 and 35 will be decreased, and the rates for 12, 16, 18, 19, 20, 25, 26, 27, 28, 29, 31 and 33 will be increased to the amounts authorized under the covenants.

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on April 9, 2018 by the following vote, to wit:

AYES:

NOES:

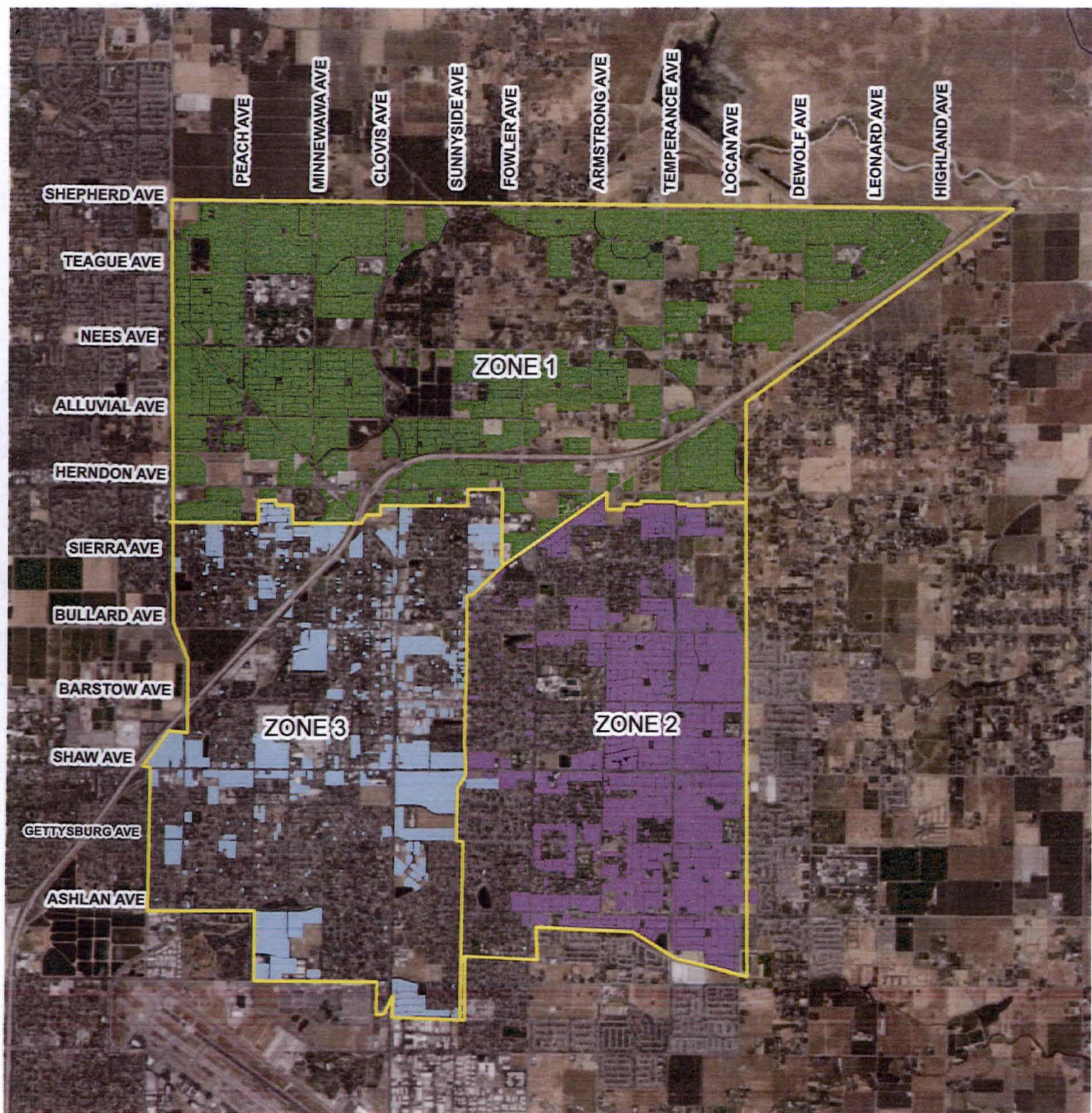
ABSENT:

ABSTAIN:

DATED:

Mayor

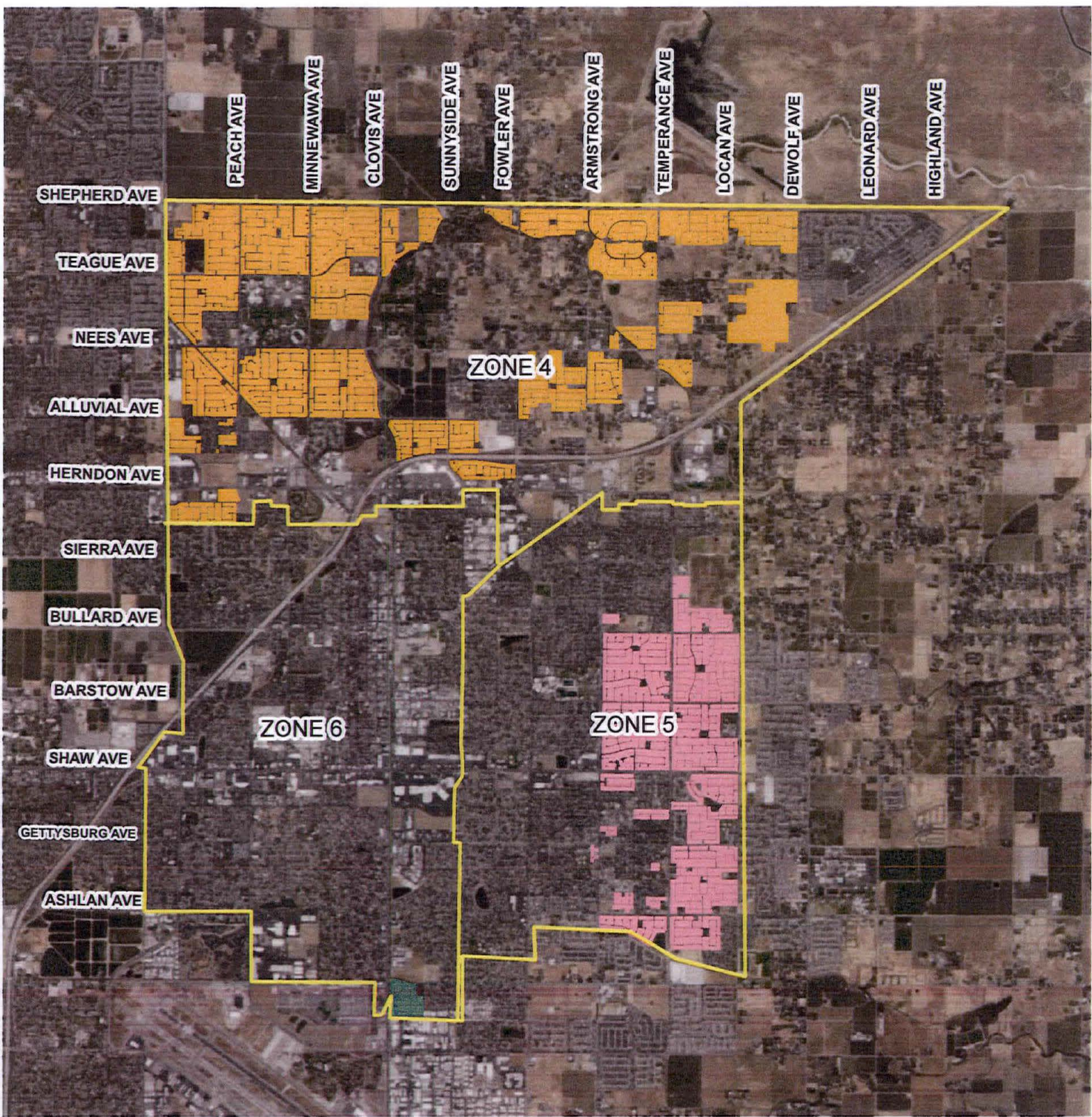
City Clerk



LMD ZONES 1-3 GENERAL LANDSCAPING

2018/2019 ASSESSMENT CHANGES
NO ASSESSMENT CHANGES ZONES 1 & 3
PROPOSED INCREASE IN ASSESSMENTS
FOR ZONE 2



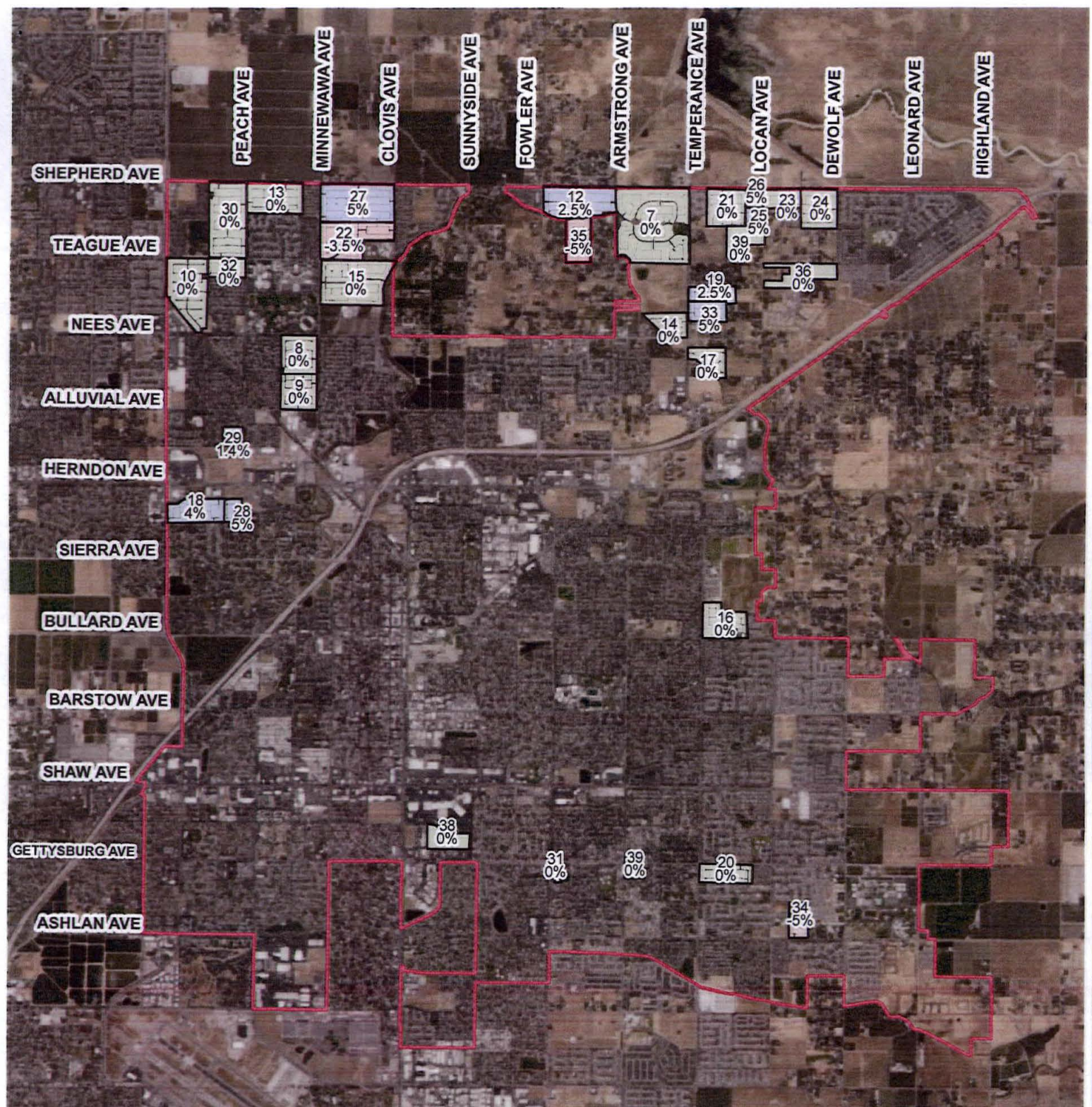


LMD ZONES 4 - 6 PARKS

2018/2019 ASSESSMENT CHANGES

NO ASSESSMENT CHANGES ZONES 4 - 6



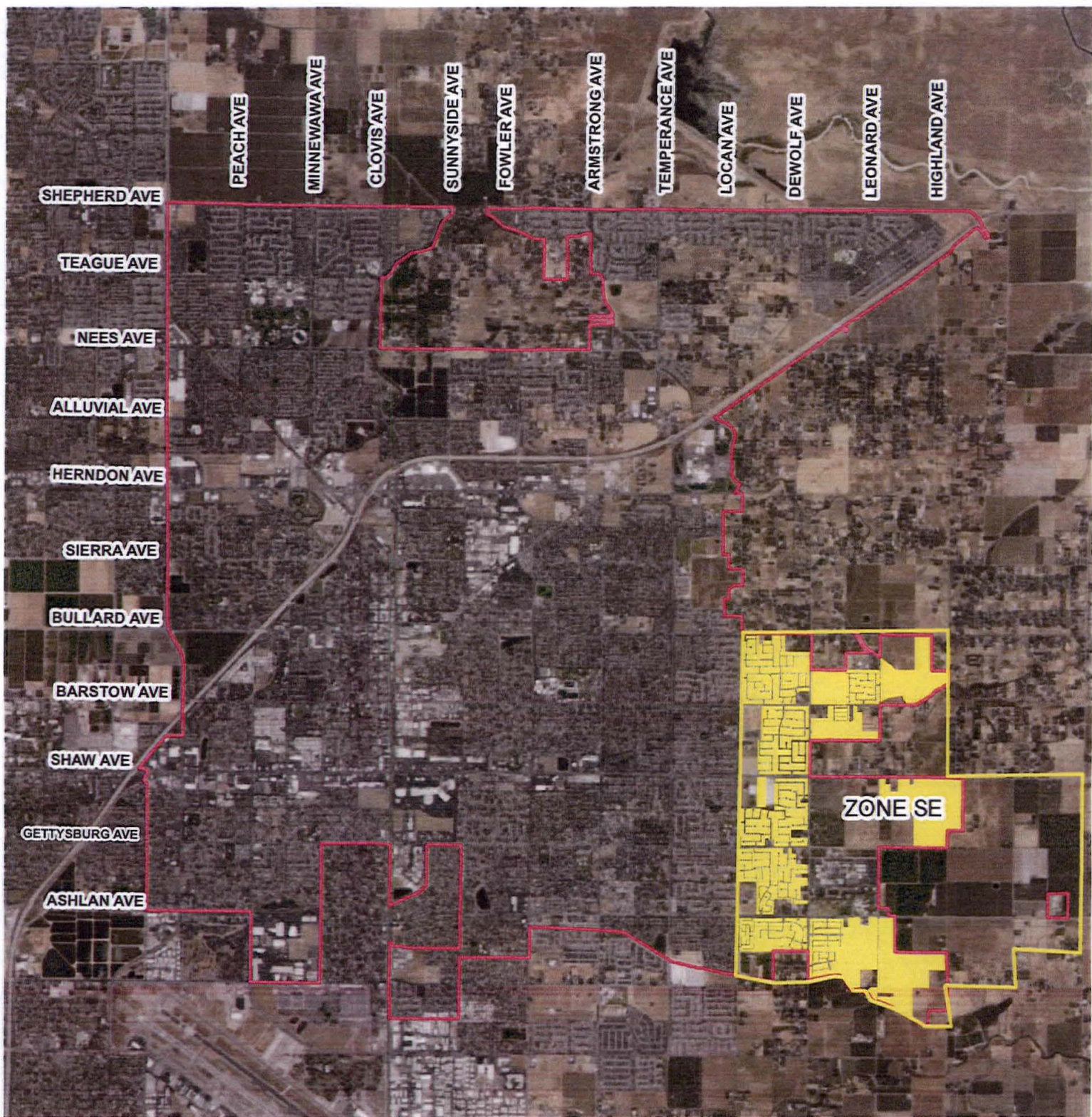


LMD ZONES 7 - 39 NEIGHBORHOOD ENHANCEMENTS 2018/2019 ASSESSMENT CHANGES



Assessment Changes No Change Decrease Increase





LMD ZONE SOUTHEAST 2018/2019 ASSESSMENT CHANGES NO ASSESSMENT CHANGES ZONE SE





CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: April 9, 2018

SUBJECT: Consider items associated with approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues. Cleo L. Tomlinson, Kenneth R. & Marilyn B. Springston Trs., owners; Wilson Premier Homes, Inc., applicant; Harbour & Associates, representative. (Staff: G. Gonzalez)

1. Consider Introduction - Ord. 18-____, R2017-14, A request to approve a rezone from the R-1-7500 (Single Family Residential - 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District.
2. Consider Approval - Res. 18-____, TM6202, A request to approve a vesting tentative tract map for a 123-lot single-family planned residential development.

ATTACHMENTS:

Figure 1:	Location Map
Exhibit A:	R2017-14 Conditions of Approval
Exhibit A-1:	TM6202 Conditions of Approval
Attachment 1:	Draft Ordinance & Resolution
Attachment 2:	Planning Commission Minutes
Attachment 3:	Applicant's Development Standards
Attachment 4:	Correspondence from Commenting Agencies
Exhibit B:	Vesting Tentative Tract Map TM6202
Exhibit C:	Floor & Elevation Plans
Exhibit D:	Conceptual Quarter Section Plan
Exhibit E:	Landscape Plan
Exhibit F:	Linear Park Perspective
Exhibit G:	Alluvial-Armstrong Right Turn
Exhibit H:	Alluvial-Fowler Left Turn Extension
Exhibit I:	Alluvial-Two Way Left
Exhibit J:	N. Ash Avenue
Exhibit K:	Red Curb-No Parking

CONFLICT OF INTEREST

None.

RECOMMENDATION

Planning Commission recommends that the City Council:

- Deny Rezone R2017-14; and
- Deny Vesting Tentative Tract Map TM6202.

Staff recommends that the City Council:

- Approve Rezone R2017-14, subject to the conditions of approval listed as Exhibit "A;" and
- Approve Vesting Tentative Tract Map TM6202, subject to the conditions of approval listed as Exhibit "A-1;" and
- Make a finding of consistency that the dedication toward public right-of-way is proportionate to the development being requested.

EXECUTIVE SUMMARY

The applicant is requesting to rezone approximately 9.6 acres of property on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues from the R-1-7500 (Single Family Residential – 7,500 Sq. Ft.) Zone District to the R-1-PRD (Single Family Planned Residential Development) Zone District. Additionally, the applicant is requesting a vesting tentative tract map approval for a 123-lot gated single-family planned residential development with private streets and increased lot coverage. The applicant is proposing a Homeowner's Association with this project. Approval of this Project would allow the developer to continue processing development drawings.

On February 5, 2018, the City Council approved a Mitigated Negative Declaration and General Plan Amendment GPA2017-06, and voted to continue the rezone and vesting tentative tract map until a date uncertain. The Council asked the applicant to work with the staff and neighbors on the few remaining issues and bring it back.

Project Summary

- 123 Lot single-family planned residential development;
- Private streets with parking on both sides;
- Private entry gates;
- No sidewalks;
- Homeowners association;
- Elev8ions product; and
- Community amenities, including a linear park, and offsite traffic improvements.

BACKGROUND

- General Plan Designation: Medium-High Res. (7.1 to 15.0 units per acre)
- Specific Plan Designation: Herndon-Shepherd Specific Plan (Medium-High Residential)
- Existing Zoning: R-1-7500 (Single Family Residential - 7,500 Sq. Ft.)
- Lot Size: 9.6 acres
- Current Land Use: Rural Residential
- Adjacent Land Uses:
 - North: Rural Residential
 - South: Basin
 - East: Rural Residential & Single-Family Residential
 - West: Multi-Family Residential

PROPOSAL AND ANALYSIS

Rezone

The applicant is requesting to rezone the Project site from the R-1-7500 (Single-Family Residential – 7,500 Sq. Ft. Min.) Zone District to the R-1-PRD (Single Family Planned Residential Development) Zone District. The proposed rezone is consistent with the General Plan Amendment recently approved on February 5, 2018.

Development Standards

The applicant is requesting approval of a gated detached single-family residential project with private streets, no interior sidewalks, and a Homeowner's Association.

The project will follow the standards of the R-1-PRD Zone District and the Planned Development Standards/Guidelines. The R-1-PRD Zone District permits the applicant to propose their own project specific setbacks and lot coverage standards. The applicant has provided a list of standards as stated in the conditions of approval (see Exhibit A).

Driveway Standards

The Project proposes five-foot deep driveways for most models and an 18-foot deep driveway for the single-car garage model. There has been significant discussion about driveway lengths with both the Commission and Council. It has been Council's practice to permit driveways of 18-foot deep or longer, and/or eight feet or shorter (depending on the situation) on the premise that if the driveway is less than eight feet, a driver would not park the vehicle on the driveway, rather in front of the garage parallel to the curb (which is legal on a private street). Examples of the short driveways can be found in Harlan Ranch and Elev8ions projects.

Guest Parking

The Project is similar to the Elev8ions development on the south side of Barstow Avenue, west of Leonard Avenue. The exception is that this Project includes gates. The Code requires two parking spaces per home, plus 10% additional for guests. The interior streets allow for on-curb parking throughout, plus there are two proposed parking areas (20 stalls) for a total of approximately 151 guest stalls. This equates to approximately 22% which exceeds the Code requirement.

The Police Department is concerned about the lack of guest parking and overflow into the adjacent streets. The Police Department staff states that there is a higher incident rate of vehicle burglaries where residents are parked along adjacent public streets, outside of the gated neighborhood. Because of this, the Police Department is recommending a condition of approval to designate the adjacent public streets (Alluvial, and N. Ash Avenues) as "No Parking." A condition of approval has been included to address this issue.

Models and Lot Areas

The applicant is proposing four (4) two-story models with three exterior options for each. The lot sizes range from 1,800 square feet to 2,160 square feet. The average lot size within TM6202 is 2,092 square feet.

Homeowners Association

The Project includes private streets, private and community open space, and entry gates. A Homeowners Association (HOA) is proposed to maintain the open space areas and provide enforcement for illegally parked vehicles, street maintenance, common areas and access gates.

Vesting Tentative Map

The project includes a Vesting Tentative Map TM6202. The map includes 123 lots and is consistent with the requirements of the Subdivision Map Act.

Circulation

The project is accessible from one main gated entry along the Alluvial Avenue frontage. A second access is also proposed along the N. Ash and Chennault Avenue intersection for the sole purpose of emergency vehicle access. This emergency vehicle access will not allow residents to enter or exit the planned residential development. The project includes 37-foot wide private streets with no sidewalks. By comparison, standard public streets range from 36 feet wide to 40 feet wide from curb to curb.

Sewer and Water Impacts

The Project's impacts to water and sewer facilities were analyzed during the California Environmental Quality Act (CEQA) review. Provost and Pritchard provided a summary of water impacts and concluded that the City has capacity to serve and the infrastructure can accommodate the Project upon completion of the recommended connections. The City Engineer completed a sewer analysis and concluded that the City has capacity to accommodate the Project.

The project lies inside of the Fresno Irrigation District boundary and therefore is eligible to utilize entitled surface water from the Kings River. However, this project will pay fees to acquire additional water supplies necessary for the project demands.

Gated Development

The proposed project is a gated private street community. In previous discussions regarding gated communities, Council expressed concerns of a lack of interaction with the community as a whole. The location of this project lends itself to a gated design. Bounded by multiple-family to the west, a ponding basin to the south, and a low density single-family neighborhood to the east separated by a local street, allows this site to develop independent of the quarter section. There is a park area designated and shown conceptually to the east, however, may be easily accessed through the front and side pedestrian gates.

Additionally as stated, the gated design, even with the increased density, would decrease the amount of traffic in and out of the adjacent single-family neighborhoods, than otherwise as a public street project. This resolves a major concern for the property owners to the east.

Amenities

Planned Residential Developments are required to provide a program of amenities in proportion to the request. The applicant proposes to provide a recreational area with community pool. Although not a public amenity, the addition of private space reduces the use of public facilities. As an amenity for the project, the applicant has agreed to help fund a shade structure over playground equipment at a nearby neighborhood park. Currently, there are numerous neighborhood parks within the Herndon-Shepherd Specific Plan area that are in need of shade over playground equipment. A condition of approval has been included to address this.

After the February Council, the applicant added a linear park along Ash Avenue which provides a community amenity. Further discussion follows in the report.

Traffic

The project is isolated from the adjacent local streets to the east. The property owners living on Chennault Avenue experience a high volume of traffic for such a short street segment.

The neighbors report that much of the traffic is from drivers cutting through their neighborhood to avoid the Alluvial/Armstrong Avenue intersection. The neighborhood design is a result of utilizing an existing Fresno Metropolitan Flood Control easement as a local street (N. Ash Avenue). The design was approved to allow a porous neighborhood.

In staff's opinion, the applicant's proposal would significantly reduce traffic impacts to the residents along Chennault Avenue than would otherwise have occurred with a low density residential (non-gated) development. If the Project site were to develop consistent with the previous land use designation (Low Density), the Project local streets would likely connect to Chennault and N. Ash Avenues. Therefore, potentially increasing the traffic volumes through the neighborhood to the east.

Neighborhood Park Requirement

The Herndon-Shepherd Specific Plan requires a minimum of a one acre mini-park to be dedicated and improved within this quarter section. A condition has been included under Exhibit "A-1" requiring the developer to contribute a proportionate share towards the acquisition and development of the neighborhood park. The neighborhood park is shown conceptually on Exhibit "D."

Walkable Neighborhoods

A feature of the Elev8ions product is a street design found in inner-city developments, utilizing reduce front yard setbacks with multiple-story homes pushed right up to the roadway, creating what appears as a narrow intimate street. However, because the streets are standard width, and the private street design does not allow for outside pass-through traffic, pedestrians comfortably share space with vehicles. Because there are no sidewalks, it is expected and understood that pedestrians share the roadway.

Staff was able to visit the Elev8ions product in Fresno near Herndon and Valentine Avenues, where sidewalks were constructed on one side of the streets. It was common to find cars parked parallel to the curb but rolled up onto the sidewalk. This makes the sidewalk very difficult to navigate and forces the pedestrian into the streets. The use of the sidewalks also pushes the homes further from the street, thereby making them appear wider and less intimate.

Landscape Setbacks

The Herndon-Shepherd Specific Plan adopted specific street section designs for Collector streets. Alluvial Avenue shall have a 10-foot landscape/pedestrian setback, with a 6-foot parkway and a 4-foot sidewalk. The wall along the Alluvial Avenue frontage shall be a 6-foot split face masonry wall.

Tree variety to be utilized along the Alluvial Avenue frontage shall be evaluated during the residential site plan review process.

Conceptual Plan

Staff requires applicants to provide a conceptual lotting and circulation plan for adjacent properties. The conceptual lotting and circulation plans shown on the map (Exhibit "D") are for representation purposes only. The concepts are provided to represent development potential. This does not imply that these properties must develop in the manner shown.

Neighborhood Meeting

Per Council direction, the applicant held a third neighborhood meeting on Wednesday, February 28, 2018 at the Clovis Memorial Building. Two area property owners were present as well as the Project team and City staff. Concerns raised included the proposed pedestrian gate adjacent to the linear park and the closure of N. Ash Avenue.

City and FMFCD Meeting

Planning staff conducted an internal meeting with the Police Department, Fire Department, Public Utilities, and the Engineering Division to evaluate the potential service delivery impacts if N. Ash Avenue was closed to Alluvial traffic. The consensus of City staff was that the closure of N. Ash Avenue would negatively impact the response time for emergency services and the turning radius of the fire and garbage trucks. Additionally, the closure of N. Ash Avenue would require the garbage trucks to back up and may increase the chances of property damage or personal injuries. The Public Utilities Department strongly discourages their drivers from backing up to reduce the chances of potential accidents. Staff also conducted a second meeting where two area property owners were present to discuss possible alternatives for N. Ash Avenue. Unfortunately, a solution was not reached that satisfied the operational concerns of all City departments.

Staff also met with the Fresno Metropolitan Flood Control District (FMFCD) to discuss the possibility of closing N. Ash Avenue. When FMFCD deeded the property to the City at no cost, it established a provision to maintain the access as a 30-foot wide paved road with access as it is today. Therefore, the closure of the street (either temporarily or permanently) would be difficult as a result of this agreement. This FMFCD access is necessary for the District to remove 300,000 yards of dirt in the future. This is equivalent to over 20,000 truckloads accessing the basin. FMFCD does not desire to use Chennault Avenue as their only means of access to and from the basin.

Applicant's Modifications to the Site Plan

In an effort to provide additional open space for the neighborhood, the applicant modified the site plan to propose a Linear Park along the west side of N. Ash Avenue. The linear park will have turf, trees, benches, and exercise course equipment. The applicant also proposes a pedestrian gate with a restricted access lock at the northern end of N. Ash Avenue.

The neighbors are concerned about the pedestrian gate as this would encourage parking on Chennault Avenue. Staff is not confident that this gate would introduce Project parking on Chennault Avenue. It is over 600 feet for a homeowner to walk from Chennault Avenue to the closest home. Visitors would not be able to access the pedestrian gate, therefore would have a 1,000 foot walk through the Alluvial Avenue gate, to the nearest home.

Council Comments from February 5, 2018

The following Council comments in **bold** were expressed at the public hearing and staff has provided a brief reply in *Italics* on each item:

- **Request to slightly reduce density (desires 100 lots with park).**
 - *The applicant evaluated the project design after the February 5th Council hearing and determined to maintain the current lot count. However, a linear park was included along the west side of N. Ash Avenue.*
- **Fix N. Ash Avenue to divert traffic through Chennault Avenue.**
 - *N. Ash Avenue will remain open as a 30-foot wide improved street, therefore, allowing the Chennault Avenue neighborhood to have direct access to Alluvial Avenue.*
- **Provide some green space in the development.**
 - *The latest site plan did not provide open space within the development. However, a linear park is being proposed along the west side of N. Ash Avenue.*
- **Warned neighbors of uses that could be much worse.**
 - *General Plan Amendment GPA2017-06 approved a land use designation of Medium High Density Residential for the subject site, which would allow 7.1 to 15 dwelling units per acre. The approved land use would allow a multi-family residential development at this location through the Site Plan Review process.*
- **Concerns of traffic going down Chennault Avenue. Is there a way to reduce speed?**
 - *Chennault and N. Ash are considered local streets within the General Plan and have a standard speed limit of 25 miles per hour. This neighborhood is not unique in its design or speeding issues. Generally, traffic is a result of the residents living in the neighborhood. Staff could continue to look into speed mitigation, however would need to work closely with emergency services on a resolution.*
- **It's the right product in the right location, but needs work on the street design and park.**
 - *A linear park is being proposed along the west side of N. Ash Avenue. Due to the isolated design of the project, the street design was not altered to prevent additional traffic from accessing Chennault Avenue.*

- **Concerned if N. Ash is closed that other problems could occur.**

- *The closure of N. Ash Avenue was evaluated after the February 5th Council hearing through meetings with City departments and FMFCD. As previously indicated, due to an agreement with FMFCD and City concerns, N. Ash Avenue would be difficult to close. Closing N. Ash Avenue would require FMFCD approval, payment by the City to FMFCD for the property, and would introduce other problems for City services. Additionally, any remnant of a closed public street would introduce an attractive nuisance.*

- **Explore closing or fixing N. Ash Avenue.**

- *As stated, N. Ash Avenue will be difficult to close. However, with the development of TM6202, N. Ash Avenue will become a 27-foot wide improved local street.*

- **Support the project if the applicant installs a right turn pocket at Armstrong.**

- *The applicant's engineer proposed the installation of a right turn lane at Armstrong Avenue. A condition of approval has been included with TM6202.*

- **Project provides diversity in housing and neighborhood features.**

- *The project provides an attractive, quality residential environment to accommodate a variety of lifestyles. The project will include a linear park for the benefit use of the surrounding neighborhoods.*

- **Supports the use of an HOA.**

- *The project will include a Homeowners Association to maintain the open space areas and provide enforcement for illegally parked vehicles, street maintenance, common areas, and access gates.*

- **Accepts location of future park.**

- *The future neighborhood "mini" park is currently being proposed along the east side of N. Ash Avenue, across from the linear park (Exhibit D).*

- **Supports closing N. Ash Avenue if it is possible.**

- *The closure of N. Ash Avenue was evaluated after the February 5th Council hearing through meetings with City departments and FMFCD. As previously indicated, due to an agreement with FMFCD and City concerns, N. Ash Avenue would be difficult to close.*

- **Transition from multi-family to single-family is right.**

- *The project design reduces the potential adverse impacts to the existing neighborhoods, including the reduction of traffic to the east.*

- **Parking numbers are ok.**

- *The project will provide two parking spaces per home, plus additional for guests. In addition to on-curb side parking, the project proposes two parking areas (20*

stalls) for a total of approximately 151 guest stalls. This equates to approximately 22% which exceeds the Code requirement of 10%.

- **Worries about changes that could result from State mandates.**

- *The project does not provide housing to meet the City's unaccommodated need of 4,420 units at 20 units per acre. However, according to the State's policy that density means affordability, the housing units will provide units in that tier, which will count toward meeting density requirements in the next Housing Element cycle.*

- **Could the applicant work with the neighbors to explore changes to make everyone reasonably happy?**

- *As previously indicated, the applicant conducted a third neighborhood meeting where the adjacent neighbors were invited to attend. Additionally, staff met with the neighbors to explore other alternatives to closing N. Ash Avenue. Unfortunately, a mutual agreement between the applicant and the neighbors was not reached.*

- **Infill development is challenging, but important.**

- *The proposed project is isolated on the west side by a multi-family residential development and an FMFCD basin along the southern property line. The proposed project presents various challenges, however, the current project design limits potential impacts to the adjacent neighborhood to the east.*

- **Who would pay for the right turn pocket at Alluvial and Armstrong? The applicant's representative stated to make it a part of the conditions of approval.**

- *At the February 5th Council hearing, the applicant's representative recommended adding a condition of approval for the construction of a right turn lane at Armstrong Avenue. Therefore, a condition has been added under Exhibit "A-1" to reflect this requirement.*

- **Could be supportive if the development provides amenities that are satisfactory with the neighbors;**

- *The applicant is proposing a linear park as an amenity for the beneficial use of the surrounding residential neighborhoods.*

- **Two step increase in density is hard to accept;**

- *The proposed project helps meet the objectives of the Herndon-Shepherd Specific Plan by providing a diversity of housing.*

- **A neighborhood meeting is in order prior to coming back;**

- *As previously indicated, the applicant conducted a third neighborhood meeting on Wednesday, February 28, 2018 at the Clovis Memorial Building.*

Public Comments

A public notice was mailed to area residents within 800 feet of the property boundaries plus all property owners along Chennault Avenue, using the latest equalized tax roll information from the County Assessor office. Any comments or concerns have been addressed in the report.

Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, and the State Department of Fish and Wildlife.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

Planning Commission Comments

The Planning Commission considered this Project on Thursday, December 21, 2017. The Commission denied the Project by a vote of 4-1.

Planning Commission concerns included the two-step density increase and the lack of sidewalks within the proposed project. Additionally, traffic impacts to the vicinity area were also discussed by the Commission. Please see the attached Planning Commission Minutes for additional comments provided during the public hearing (Attachment 3).

Community Facilities District

The fiscal analysis of the Loma Vista Specific Plan identified possible long-term funding shortfalls in the Clovis' Citywide operating and maintenance costs. To address this issue the City of Clovis implemented a Community Facilities District. Community Facilities Districts (CFD's) are a means of providing additional funding for the provision of public facilities and services for public safety in newly developing areas of the community where the City would not otherwise be able to afford to continue to provide an adequate level of service as the City continues to grow. The use of CFD's is fairly common among cities in California experiencing high rates of growth, such as Clovis, due to significant losses of local revenue from tax shifts authorized by the State of California and the need to continue to provide an adequate level of service as growth occurs.

A condition of approval has been added to this tentative map requiring participation of this vesting tentative map in the CFD.

Consistency with General Plan Goals and Policies

Staff has evaluated the Project in light of the General Plan Land Use goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of auto trips.

Goal 6: A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

Policy 6.1: **Amendment criteria.** The City Council may approve amendments to the General Plan when the City Council is satisfied that the following conditions are met:

- The proposed change is and will be fiscally neutral or positive.
- The proposed change can be adequately served by public facilities and would not negatively impact service on existing development or the ability to service future development.

Policy 6.2: **Smart growth.** The City is committed to the following smart growth goals.

- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Mix land uses.
- Strengthen and direct development toward existing communities.
- Take advantage of compact building design.

California Environmental Quality Act (CEQA)

The City of Clovis has completed an environmental review (an assessment of the Project's impact on natural and manmade environments) of the proposed project and considering cumulative impacts of recently approved projects as well as feasible and foreseeable future projects, as required by the State of California. The City Council approved a Mitigated Negative Declaration on February 5, 2018 (a written statement announcing that this project will not have a significant effect on the environment). Approval of a Mitigated Negative Declaration does not necessarily mean this project will be approved.

The City published notice of this public hearing in *The Business Journal* on Wednesday, March 28, 2018.

FISCAL IMPACT

None.

REASON FOR RECOMMENDATION

The proposed rezone and vesting tentative tract map are consistent with the goals and policies of the General Plan, Herndon-Shepherd Specific Plan and Development Code. Staff continues to support the Project and feels that this is the right project for the location. Staff does not believe that the Project will introduce additional traffic through the neighborhood to the east, nor impact the neighborhood with parking on Chennault Avenue. Staff therefore recommends approval of R2017-14 and TM6202, subject to the conditions of approval attached as Exhibit A and Exhibit A-1.

The findings to consider when making a decision on a rezone application include:

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan;
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City; and
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

The findings to consider when making a decision on a tentative subdivision map application are as follows:

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan;
2. The site is physically suitable for the type and proposed density of development;
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems;
5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision;
6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;

7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and
8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

In light of court decisions, it is appropriate for the City to make findings of consistency between the required dedications and the proposed development. Every dedication condition needs to be evaluated to confirm that there is a rough proportionality, or that a required degree of connection exists between the dedication imposed and the proposed development. The City of Clovis has made a finding that the dedication of property for this project satisfies the development's proportionate contribution to the City's circulation system. The circulation system directly benefits the subject property by providing access and transportation routes that service the site. Further, the circulation system also enhances the property's value.

ACTIONS FOLLOWING APPROVAL


The second reading of the Rezone Ordinance will be heard by the City Council at its next regular meeting and if approved, will go into effect 30 days from its passage and adoption.

NOTICE OF HEARING

Property Owners within 800 feet notified:	142
Interested individuals notified:	10

Prepared by: George González, MPA, Associate Planner

Submitted by:

 **Fuz D.K.**
Dwight Kroll, AICP
Director of Planning and Development

O:\Planning Projects\Rezone\R 2017\R2017-14 (Wilson TM6202)\CC April 9, 2018\CC Staff Report R2017-14 & TM6202 BA3.doc

**FIGURE 1
PROJECT LOCATION MAP**

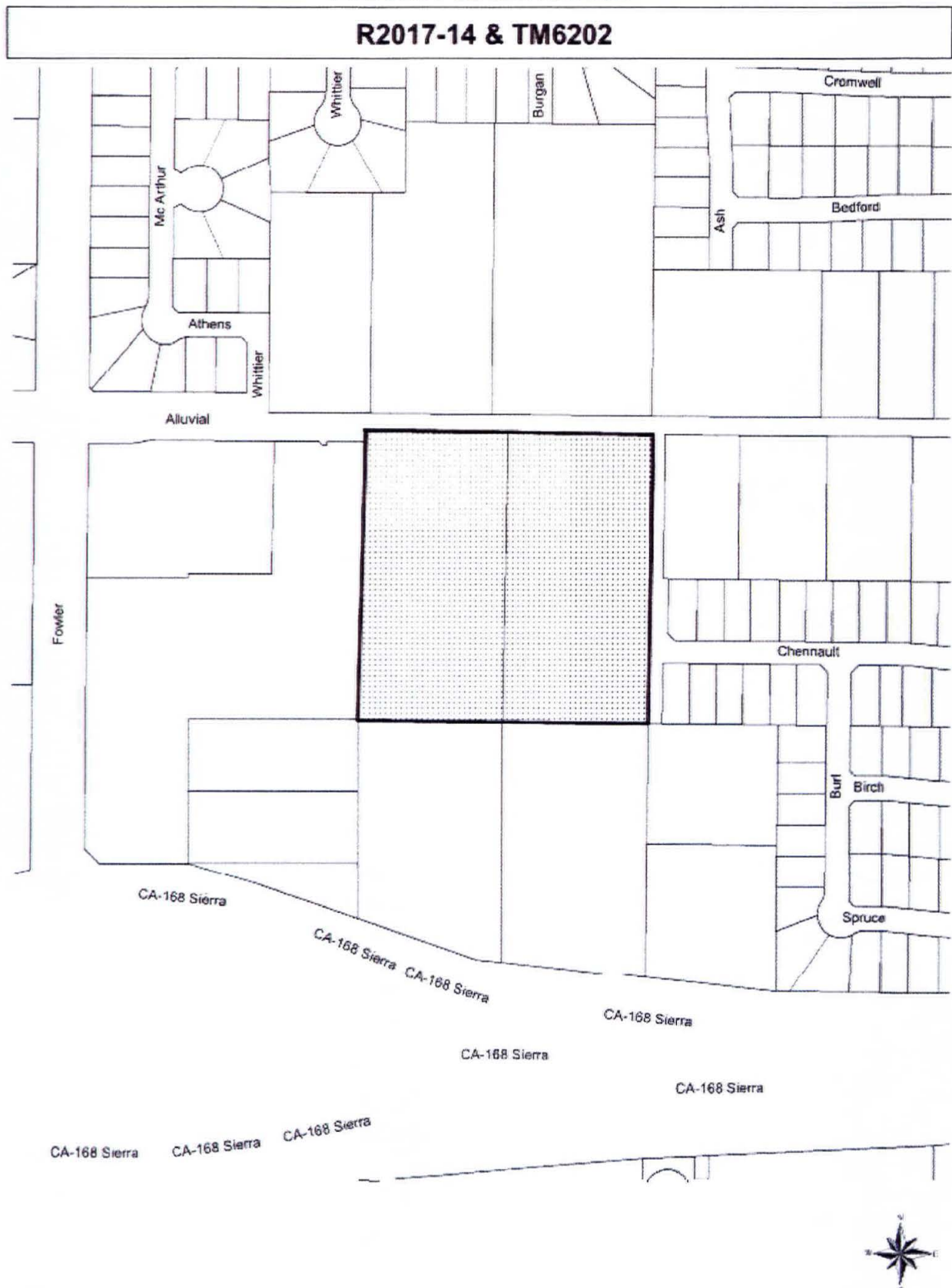


EXHIBIT "A"
Conditions of Approval – R2017-14

Planning Division Conditions
(George González, MPA, Associate Planner – (559) 324-2383)

1. This rezone shall become effective only upon approval of General Plan Amendment GPA2017-06 by the City Council.
2. GPA2017-06, re-designates the site to Medium-High Residential with a provision that only a single-family development product type is permitted.
3. Rezone R2017-14 approves an R-1-PRD Zoning permitting the development of a single-family product. Density shall be consistent with the Herndon-Shepherd Specific Plan and not exceed 15.0 dwelling units per acre.
4. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Development Code.
5. Setbacks shall be as follows:

<u>Setbacks</u>	<u>Front (Garage)</u>	<u>Front (house)</u>	<u>Garage Side</u>	<u>Corner Street Sides</u>	<u>Rear</u>
Plan 1212 (two-story)	5'	5'	5'	3'	4'
Plan 1413 (two-story)	5'	5'	5'	3'	4'
Plan 1648 (two-story)	5'	5'	5'	3'	4'
Plan 1660 (two-story)	5'	5'	5'	3'	4'

Lot Coverage:	65% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	1,800 square feet
Minimum Parcel Width:	36 feet
Minimum Curved Parcel Width:	36 feet
Minimum Corner Parcel Width:	36 feet
Minimum Parcel Depth:	50 feet
Reversed Corner Street Side Setback:	3 feet
Corner Street Side Setback:	3 feet
Side Yard Setback:	3 feet
Setback to Projections and/or Porch/ Patio:	4 feet
Garages:	20'x20' interior dimension (2-car) or tandem 10'x38' minimum. 10'x16' interior dimension (1-car)

6. Plan 1212 (1-car garage) shall have a minimum driveway depth of 18 feet from property line to garage door frame.

7. Maximum lot coverage is 65% unless specifically approved through a residential site plan review or variance.
8. Maximum building (main structure) height shall not exceed thirty-five (35) feet.
9. The applicant shall notify all property owners along streets where new water and sewer utilities will be constructed to determine if they wish to purchase a lateral connection per City policy.
10. This rezone is subject to the development standards of the Herndon-Shepherd Specific Plan.
11. The developer shall install slot ramps facing west and east to cross the proposed tract entrance on the south side of Alluvial Avenue.
12. As an amenity for the Project, the developer shall contribute funds to the construction of shade structures over playground equipment on neighborhood parks located within the Herndon-Shepherd Specific Plan area.

EXHIBIT "A-1"
Conditions of Approval – TM6202

PLANNING DIVISION CONDITIONS
(George González, Division Representative – (559) 324-2383)

1. This Project is subject to the development standards of the Herndon-Shepherd Specific Plan.
2. The developer to contribute a proportionate share towards the acquisition and development of the neighborhood park.
3. The developer shall enter into a Covenant Agreement regarding a "right to farm." Such agreement shall be disclosed to all future home buyers.
4. All transformers shall be located underground. Pad mounted transformers may be considered through an Administrative Use Permit.
5. This tentative map is approved per the attached Exhibit "B" of this report.
6. All landscaping (open space and private yards) shall conform to the City of Clovis Water Efficient Landscape Ordinance.
7. Maximum building (main structure) height shall not exceed thirty-five (35) feet.
8. The developer shall construct a minimum six-foot high solid split face masonry wall along the Alluvial and Ash Avenue frontages.
9. The applicant shall notify all property owners along streets where new water and sewer utilities will be constructed to determine if they wish to purchase a lateral connection per City policy.
10. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Development Code.
11. Alluvial Avenue shall have a 10-foot landscape/pedestrian setback, with a 6-foot parkway and a 4-foot sidewalk.
12. The main tree to be utilized along the Alluvial Avenue frontage shall be evaluated during the residential site plan review process.
13. The applicant shall obtain City approval in advance of temporary and permanent subdivision signs through separate sign review, consistent with the development criteria of the Clovis Municipal Code Sign Ordinance.

14. The developer shall construct 45 degree angle walls at the tract entrance.
15. The applicant shall construct a right turn lane at Armstrong Avenue per the requirements of the City Engineer (Exhibit G).
16. The applicant shall restripe the left turn lane at Fowler Avenue per the requirements of the City Engineer (Exhibit H).
17. The applicant shall construct a continuous two-way left turn lane on Alluvial Avenue within the frontage of TM6202 per the requirements of the City Engineer (Exhibit I).
18. Maximum lot coverage is 65% for Vesting Tentative Tract Map TM6202.
19. Upon final recordation of this tentative tract map, it shall be the applicant's responsibility to furnish to the Planning Department an electronic (PDF) copy of the original map obtained from the Fresno County Recorder's Office.
20. The applicant shall relay all conditions of approval for Tentative Tract Map TM6202 to all subsequent purchasers of individual lots, if applicable, and/or to subsequent purchasers of this entire tract map development.
21. The applicant shall record a Notice of Nonconformance dealing with any structure used for model homes where the garage is converted for the use as a sales office.
22. There shall be no street parking allowed on Alluvial Avenue and N. Ash Avenue.
23. The developer shall comply with all mitigation measures as identified in the adopted mitigation monitoring program for this vesting tentative tract map.
 - **3.1-d** The developer shall direct all lighting downward and provide physical shields to prevent direct view of the light source from adjacent residential properties.
 - **3.4-a** If any trees or shrubs are to be removed during the nesting season (Feb – Aug) then a preconstruction survey should be conducted within 30-15 days of commencement of construction. If vegetation removal occurs outside the nesting period then no preconstruction survey is needed.

POLICE DEPARTMENT CONDITIONS
(Curt Shurtliff, Department Representative - 324-2400)

24. Construction work shall be limited to the hours set forth in the Clovis Municipal Code. (CMC § 5.18.15.)

25. It shall be the responsibility of the property owner to maintain the structures and adjoining fences to the project free of graffiti. All forms of graffiti shall be removed within 72 hours. (CMC §§ 5.18.02(r), 5.18.06 (b).)
26. Emergency phone numbers for responsible parties shall be kept current during the building phase of the project.
27. All construction materials shall be located within a secured area or monitored by security staff during non-construction hours.
28. Parking enforcement within the subdivision shall be the responsibility of the Home Owners Association. The developer shall include a statement in the Covenants, Conditions and Restrictions regarding this condition.
29. The development shall require "No Parking" signs placed on the south side of the Alluvial Avenue adjacent to the project frontage.
30. The development shall place "No Parking" signs on Ash Avenue.
31. There shall be no pedestrian gates to and from Ash Avenue.

FIRE DEPARTMENT CONDITIONS
(Gary Sawhill, Department Representative - 324-2224)

32. *Street Width:* Fire apparatus access width shall be determined by measuring from "base of curb" to "base of curb" for roadways that have curbs. When roadways do not have curbs, the measurements shall be from the edge of the roadway surface (approved all weather surface).
33. *Street Width for Single Family Residences:* Shall comply with Clovis Fire Standard #1.1.
34. *Turning Radius:* All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45').
35. *Security Gates:* All security gates shall comply with Clovis Fire Department Gates Standard #1.5. Plans shall be submitted for review and permits issued by Fire Department prior to installation.
36. *Temporary Street Signs:* The applicant shall install temporary street signs that meet City Temporary Street Sign Standard #1.9 prior to issuance of building permits within a subdivision.
37. *All Weather Access & Water Supply:* The applicant shall provide all weather access to the site during all phases of construction to the satisfaction of the approved Clovis Fire Department Standard #1.2 or #1.3.

38. *Two Points of Access:* Any development to this parcel will require a minimum of two (2) points of access to be reviewed and approved by the Clovis Fire Department. All required access drives shall remain accessible during all phases of construction which includes paving, concrete work, underground work, landscaping, perimeter walls.
39. *Residential Fire Hydrant:* The applicant shall install 7 4 ½" x 2 ½" approved Residential Type fire hydrant(s) and "Blue Dot" hydrant locators, paint fire hydrant(s) yellow with blue top and caps, and paint the curb red as specified by the adopted Clovis Fire Department Standard #1.4. Plans shall be submitted to the Clovis Fire Department for review and approval prior to installation. The hydrant(s) shall be charged and in operation prior to any framing or combustible material being brought onto the site. Hydrants curb markings and blue dots to be completed prior to occupancy of any homes.
40. *Looped Water Main:* The applicant shall install approved looped water main capable of the necessary flow of water for adequate fire protection and approved by the Clovis Fire Department.

CLOVIS UNIFIED SCHOOL DISTRICT CONDITIONS
(Michael Johnston, CUSD Representative – 559-327-9000)

41. The development of this project is subject to the Clovis Unified School District impact fee. See the attached letter.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT CONDITIONS
(Neda Shakeri, FMFCD Representative - 456-3292)

42. The Applicant shall refer to the attached FMFCD requirements. If the list is not attached, please contact the District for the list of requirements.

FRESNO IRRIGATION DISTRICT CONDITIONS
(Laurence Kimura, FID Representative - 233-7161)

43. The Applicant shall refer to the attached FID correspondence. If the list is not attached, please contact the District for the list of requirements.

COUNTY OF FRESNO COMMENTS
(Steve Farmer, County of Fresno Representative - 488-2892)

44. The Applicant shall pay the County of Fresno's facilities impact fees set forth in the applicable Schedule of Fees adopted by the County Board of Supervisors, in County Ordinance, Chapter 17.90.

ENGINEERING / UTILITIES / SOLID WASTE DIVISION CONDITIONS

(Sean Smith, Engineering Division Representative – 324-2363)

(Paul Armendariz, Department Representative – 324-2649)

(Scott Redelfs, Solid Waste Division Representative – 324-2648)

Maps and Plans

45. The applicant shall have a final tract map prepared, in the form prescribed by the Subdivision Map Act and City of Clovis Municipal Code. The final tract map shall be submitted to the City of Clovis Engineering Division, and should include, but not be limited to, final tract map, the current filing fee, closure calculations, current preliminary title report, legal descriptions and drawings of required dedications.
46. The applicant shall submit to the City of Clovis Engineering Division, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements. These plans shall be prepared by a registered civil engineer, and shall include a site grading and drainage plan and an overall site utility plan showing locations and sizes of sewer, water, irrigation, and storm drain mains, laterals, manholes, meters, valves, hydrants, other facilities, etc. Plan check and inspection fees per City of Clovis Resolution No. 03-152 shall be paid with the first submittal of said plans. All plans shall be approved by the City and all other involved agencies prior to the release of any development permits.
47. Prior to the initial submittal of the improvement plans, the applicant shall contact Sean Smith at (559) 324-2363 to setup a coordination meeting (Pre-submittal Meeting).
48. Upon approval of improvement plans, the applicant shall provide the City with the appropriate number of copies. After all improvements have been constructed and accepted by the City, the applicant shall submit to the City of Clovis Engineering Division one bond copy of the approved set of construction plans revised to accurately reflect all field conditions and revisions and marked "AS-BUILT" for review and approval. Upon approval of the AS-BUILTs by the City the applicant shall provide (1) reproducible and (3) copies of the AS-BUILTs to the City.

General

49. Applicant shall pay all applicable development fees at the rate in effect at the time of payment and prior to final map approval by Council or have the fees payable directly to the City through a separate escrow account at the time of recordation of the map.
50. For any sewer or water main, or undergrounding of utilities, or major street to be installed by the applicant and eligible for reimbursement from future developments, the applicant shall submit to the City of Clovis, all reimbursement requests in accordance with the current version of the "Developer Reimbursement Procedures"; a copy can be obtained at the City Engineer's Office.

51. The applicant shall submit a soils report or a waiver of soils report to the City of Clovis Engineering Division for approval by the City Engineer.
52. The applicant shall address all the requirements of the local utility, telephone, and cable companies. It shall be the responsibility of the applicant to notify the local utility, telephone, and cable companies for the removal or relocation of utility poles where necessary. The City shall not accept first submittals without proof that the applicant has provided the improvement plans and documents showing all proposed work to the utility, telephone, and cable companies. All utility vaults in which lids cannot be sloped to match proposed finished grading, local utilities have 5% max slope, shall be located in sidewalk areas with pedestrian lids so the lid slope matches sidewalk cross slope.
53. The applicant shall contact and address all requirements of the United States Postal Service - Clovis Office for the location and type of mailboxes to be installed. The location of the facilities shall be approved by the City Engineer prior to approval of improvement plans or any construction.
54. The applicant shall contact and address Caltrans requirements.
55. The applicant shall address all conditions, and be responsible for obtaining encroachment permits from the City of Clovis for all work performed within the City's right-of-way and easements.
56. The applicant shall install all improvements within public right-of-way and easements in accordance with the City of Clovis standards, specifications, master plans, and record drawings in effect at the time of improvement plan approval.
57. The applicant shall provide and pay for any compaction tests in recompacted areas as a result of failure to pass an original compaction test. Original compaction tests shall be provided and paid for by the City and their locations designated by the City Engineer.
58. All new utility facilities located on-site, within alleys, or within the street right-of-way along the streets adjacent to this tract shall be undergrounded unless otherwise approved by the City Engineer.

Dedications and Street Improvements

59. The applicant shall provide right-of-way acquisition or dedicate free and clear of all encumbrances and/or improve the following streets to City standards. The street improvements shall be in accordance with the City's specific plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the type, location, and grades of existing improvements.

60. Alluvial Avenue - along development frontage, provide right-of-way acquisition for 42' (exist 20') south of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, landscaping, irrigation, permanent paving and overlay as necessary to match the existing permanent pavement, 3' paved swales, and all transitional paving as required.
61. Ash Avenue - along development frontage, provide right-of-way acquisition for 25' (exist 15') west of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, permanent paving and overlay as necessary to match the existing permanent pavement, 3' paved swales, and all transitional paving as required.
62. For gated developments, the applicant shall provide ample vehicle stacking area outside the travel lanes Alluvial Avenue that will allow vehicles to wait as vehicles are accessing the control panel to open the security gates. The applicant shall design a turn-a-round to allow vehicles that cannot enter the complex to return to the street without backing the vehicle up. The applicant shall provide the Solid Waste Division with remote controls that will allow access for all solid waste and recycling vehicles.
63. The applicant shall provide for a solid waste garbage covenant for lots 1, 2, 16-18, 31-33, 44 and 45.
64. The applicant shall relinquish all vehicular access to Alluvial and Ash Avenues for all the lots backing or siding onto these streets.
65. Applicant shall provide a dedication for a 10' public utility easement, where applicable, along all frontages or alternate widths approved by the utilities companies.
66. Applicant shall provide preliminary title report, legal description and drawings for all dedications required which are not on the site. All contact with owners, appraisers, etc. of the adjacent properties where dedication is needed shall be made only by the City. The City will prepare an estimate of acquisition costs including but not limited to appraised value, appraisal costs, legal costs, negotiation costs, and administrative costs. The applicant shall pay such estimated costs as soon as they are determined by the City.
67. The sideyard side of all corner lots shall have full width sidewalk except where planter strips or meandering sidewalk is proposed.
68. The applicant shall obtain "R Value" tests in quantity sufficient to represent all street areas, and have street structural sections designed by a registered civil engineer based on these "R Value" tests.
69. The applicant shall, at the ends of any permanent pavement abutting undeveloped property, install 2" x 6" redwood header boards that shall be placed prior to the street surfacing.

70. Standard barricades with reflectors shall be installed at ends of streets abutting undeveloped property and any other locations to be specified by the City Engineer.

Sewer

71. The applicant shall identify and abandon all septic systems to City standards.
72. The applicant shall install sanitary sewer mains of the size and in the locations indicated below, prior to occupancy. The sewer improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.
- Interior streets - install 8" mains.
73. The applicant shall install one (1) 4" sewer service house branch to each lot within the tentative tract.
74. The applicant shall notify all property owners annexed to the City and along streets where a new sewer main will be constructed to determine if they wish to be connected to City sewer. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that sewer connection fees are required if they choose to connect.

Water

75. The applicant shall identify and abandon all water wells to City standards.
76. The applicant shall install water mains of the sizes and in the locations indicated below, and provide an adequately looped water system prior to occupancy. The water improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.
- Alluvial Avenue - install 12" main between the west property line and Ash Avenue.
 - Ash Avenue - install 8" main between the project exit only and Chennault Avenue.
77. The applicant shall provide dedication of 15-foot wide utility easements for all on-site water mains, hydrants, blow-offs, and water meters not located in otherwise dedicated rights-of-way.
78. The applicant shall install a City standard water service to each lot of the proposed subdivision. Water services shall be grouped at property lines to accommodate automatic meter reading system, including installation of connecting conduit.

79. The applicant shall notify all property owners' annexed to the City and along streets where a new water main will be constructed to determine if they wish to be connected to City water. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that water connection fees are required if they choose to connect.
80. Prior to recording a final map of any phase, the applicant shall demonstrate to the satisfaction of the City Fire Chief and City Engineer that there is adequate water pressure to serve the units to be constructed. The applicant shall work with the City Engineer to determine the adequacy of water supply/pressure for the proposed development.

Grading and Drainage

81. The applicant shall contact the Fresno Metropolitan Flood Control District (FMFCD) and address all requirements, pay all applicable fees required, obtain any required NPDES permit, and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution. Plans for these requirements shall be included in the previously required set of construction plans, and shall be submitted to and approved by FMFCD prior to the release of any development permits.
82. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Clovis Standard Drawing No. M-4 as modified by the City Council. Any retaining walls required on-site or in public right of way shall be masonry construction. All retaining walls shall be designed by a registered civil engineer.

Irrigation and Landscaping Facilities

83. The applicant, as a portion of the required tract improvements, shall provide landscaping and irrigation as required herein. The landscaping and irrigation shall be installed in public right-of-way and the area reserved for landscaping. The irrigation and landscape improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Plans for the required landscaping and irrigation systems shall be prepared by an appropriately registered professional at the applicant's expense and shall be approved by the City of Clovis Planning and Development Services Department and Public Utilities Department prior to the beginning of construction or the recording of the final tract map, whichever occurs first. Landscape and irrigation facilities that the City Landscape Maintenance District shall maintain: the landscape strips along Alluvial Avenue. The landscape strip around the planned unit development may be maintained by a perpetual maintenance covenant.
84. All landscape improvements shall be installed, accepted for maintenance by the City prior to issuance of 40% of the Tract's building permits. If the landscape improvements are not

constructed on the Outlot for any reason within two (2) years of the recordation of the final map of Tract, City shall have the right to request from surety and receive upon City's demand, sufficient funding to complete the construction of landscape improvements.

85. The owner shall request annexation to and provide a covenant for the Landscape Maintenance District. The property owner acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election will be required for the establishment of the initial assessment. The assessment for each lot must be obtained from the City for the tax year following the recordation of the final map. The estimated annual assessment per average sized lot is \$214.76, which is subject to change prior to issuance of building permit or final tract map approval and is subject to an annual change in the range of the assessment in the amount of the Consumer Price Index, U.S. City Average, All Urban Consumers (CPI Index), plus two percent (2%). The owner/developer shall notify all potential lot buyers before they actually purchase a lot that this tract is a part of a Landscape Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The owner/developer shall supply all pertinent materials for the Landscape Maintenance District.
86. The applicant shall comply with the City of Clovis Water Efficient Landscape Requirements Ordinance.
87. The applicant shall contact and address all requirements of the Fresno Irrigation District (FID). This may include dedicating easements, piping or relocating any existing FID canals and ditches, replacing any existing irrigation piping, concrete lining or improving any existing canals, construction or reconstruction of any canals, culverts, and bridge crossings. Plans for these requirements and improvements shall be included as in the previously required set of construction plans, and shall be submitted to and approved by FID prior to the release of any development permits or recording of the final tract map. If a FID or private irrigation line is to be abandoned, the applicant shall provide waivers from all downstream users.
88. The applicant shall indicate on construction drawings the depth, location and type of material of any existing Fresno Irrigation District's irrigation line along the proposed or existing street rights-of-way or onsite. Any existing canals shall be piped. The material of the existing pipe shall be upgraded to the proper class of rubber gasket pipe at all locations unless otherwise approved by the City Engineer.
89. All existing agricultural irrigation systems either on-site or in public right of way, whether FID or privately owned, shall be identified prior to any construction activity on the site. Service to all downstream users of irrigation water shall be maintained at all times through preservation of existing facilities or, if the existing facilities are required to be relocated, the relocation and replacement of the existing facilities. It is the intent that downstream users not bear any burden as a result of development of the site. Therefore, the applicant shall pay all costs related to modification, relocation, or repair of any existing irrigation facilities

resulting from or necessitated by the development of the site. The applicant shall identify on site plans and construction plans, all existing irrigation systems and their disposition (abandonment, repair, relocation, and/or piping). The applicant shall consult with the Fresno Irrigation District for any additional requirements for lines to be abandoned, relocated, or piped. The applicant shall provide waivers from all users in order to abandon or modify any irrigation pipelines or for any service interruptions resulting from development activities.

90. The applicant shall provide a landscape and irrigation perpetual maintenance covenant recorded for landscaping installed in the public right-of-way behind the curb including easements that will not be maintained by the Clovis Landscape Maintenance District. A recordable covenant must be submitted to and approved by the City of Clovis City Engineer prior to final map approval.
91. The applicant shall provide a perimeter wall perpetual maintenance covenant on all properties that have a perimeter wall that is installed on private property. A recordable covenant must be submitted to and approved by the City of Clovis City Engineer prior to final map approval.

Miscellaneous

92. The applicant shall install street lights on metal poles to local utility provider's standards at the locations designated by the City Engineer. Street light locations shall be shown on the utility plans submitted with the final map for approval. Street lights along the major streets shall be owned and maintained by local utility providers. Proof of local utility provider's approval shall be provided.
93. The applicant shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City Standard ST-32 prior to final acceptance of the project. Monumentation shall include all section corners, all street centerline intersection points, angle points and beginning and end of curves (E.C.'s & B.C.'s). The applicant/contractor shall furnish brass caps. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Brass caps required for installation of new monuments or replacement of existing monuments shall be provided by the contractor/applicant and approved by City prior to installation. Within five days after the final setting of all monuments has been completed, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.
94. A deferment, modification, or waiver of any engineering conditions will require the express written approval of the City Engineer.

95. The conditions given herein are for the entire development. Additional requirements for individual phases may be necessary pending review by the City Engineer.

Administration Department Conditions

(John Holt, Department Representative – (559) 324-2111)

96. Prior to approval, recordation or filing of an annexation, final map, or site plan, the property covered by the project shall be included within or annexed to a Community Facilities District (CFD), established by the City for the provision of public facilities and services, for which proceedings have been consummated, and shall be subject to the special tax approved with the formation or annexation to the CFD. The CFD applies only to residential projects.
97. The applicant and the property owner acknowledge and agree that if the project were not part of a CFD, the City might lack the financial resources to operate facilities and provide public services, such as police protection, fire protection, emergency medical services, park and recreation services, street maintenance and public transit. Absent the requirement for inclusion of the project within a CFD, the City might not be able to make the finding that the project is consistent with the General Plan and relevant specific plans and might not be able to make the findings supporting approval of the project as required by the Subdivision Map Act and the California Environmental Quality Act, and the City might be required to deny the application for the project.
98. The owner/developer shall notify all potential lot buyers prior to sale that this project is a part of a Community Facilities District and shall inform potential buyers of the special tax amount. Said notification shall be in a manner approved by the City. This requirement may be waived at the discretion of the City Council if, at the time of the approval, recordation or filing of the project, the City Council has determined that it is not necessary that the project be included in the CFD.
99. The applicants shall reimburse the City for any expense associated with the transition agreement for fire services with the Fresno County Fire Protection District that would apply to this proposal.

DRAFT ORDINANCE & RESOLUTION

ATTACHMENT 1

**DRAFT
ORDINANCE 18-__**

**AN ORDINANCE AMENDING AND CHANGING THE OFFICIAL ZONE MAP OF THE CITY
OF CLOVIS IN ACCORDANCE WITH SECTIONS 9.08.020 AND 9.86.010 OF THE CLOVIS
MUNICIPAL CODE TO RECLASSIFY LAND LOCATED ON THE SOUTH SIDE OF
ALLUVIAL AVENUE, BETWEEN FOWLER AND ARMSTRONG AVENUES AND
CONFIRMING ENVIRONMENTAL FINDINGS**

LEGAL DESCRIPTION:

See the attached Exhibit "One."

WHEREAS, Wilson Premier Homes, Inc., 7550 North Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a Rezone R2017-14; and

WHEREAS, this is a request to rezone approximately 9.6 acres from the R-1-7500 (Single-Family Residential – 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District for property located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues, in the City of Clovis, California; and

WHEREAS, the Planning Commission held a noticed Public Hearing on December 21, 2017, to consider the Project Approval, at which time interested persons were given opportunity to comment on the Project; and

WHEREAS, the Planning Commission recommended that the Council deny Rezone R2017-14; and

WHEREAS, the Planning Commission's recommendations were forwarded to the City Council for consideration; and

WHEREAS, the City published Notice of a City Council Public Hearing for April 9, 2018, to consider Rezone R2017-14. A copy of the Notice was delivered to interested parties within 800 feet of the project boundaries and published in The Business Journal; and

WHEREAS, the City Council does approve a Mitigated Negative Declaration pursuant to CEQA guidelines; and

WHEREAS, the City Council held a noticed public hearing on April 9, 2018, to consider the approval of Rezone R2017-14; and

WHEREAS, on April 9, 2018, the City Council considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings relating to Rezone R2017-14, which are maintained at the offices of the City of Clovis Planning and Development Services Department; and

WHEREAS, the City Council has evaluated and considered all comments, written and oral, received from persons who reviewed Rezone R2017-14, or otherwise commented on the Project; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CLOVIS DOES ORDAIN AS FOLLOWS:

SECTION 1: FINDINGS. The Council finds as follows:

1. That the proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

SECTION 2: The Official Map of the City is amended in accordance with Sections 9.8.020 and 9.86.010 of the Clovis Municipal Code by reclassification of certain land in the City of Clovis, County of Fresno, State of California, to wit:

From Classification R-1-7500 to Classification R-1-PRD

The property so reclassified is located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues in the City of Clovis, County of Fresno, California, and is more particularly described as shown in "Exhibit One."

SECTION 3: This Ordinance shall go into effect and be in full force from and after thirty (30) days after its final passage and adoption.

SECTION 4: The record of proceedings is contained in the Planning and Development Services Department, located at 1033 Fifth Street, Clovis, California 93612, and the custodian of record is the City Planner.

APPROVED: April 9, 2018

_____ Mayor	_____ City Clerk
* * * * *	* * * * *

The foregoing Ordinance was introduced at a regular meeting of the City Council held on April 9, 2018, and was adopted at a regular meeting of said Council held on _____, by the following vote, to wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED:

City Clerk

**DRAFT
RESOLUTION 18-__**

**A RESOLUTION OF THE CITY COUNCIL APPROVING TM6202, CONSISTING OF 123 LOTS
TO BE LOCATED ON 9.6 ACRES OF PROPERTY LOCATED ON THE SOUTH SIDE OF
ALLUVIAL AVENUE, BETWEEN FOWLER AND ARMSTRONG AVENUES AND
CONFIRMING ENVIRONMENTAL FINDINGS**

The City Council of the City of Clovis resolves as follows:

WHEREAS, a vesting tentative subdivision map of Subdivision Tract No. TM6202 has been filed with and considered by the City Council of the City of Clovis; and

WHEREAS, the proposed Project was assessed under the provisions of the California Environmental Quality Act (CEQA) and the potential effects on the environment were considered by the City Council, together with comments received and public comments, and the entire public record was reviewed; and

WHEREAS, the Planning Commission has considered said map on December 21, 2017, and adopted its Resolution No. 17-91, denying said tentative map; and

WHEREAS, the City Council does approve a Mitigated Negative Declaration pursuant to CEQA guidelines.

WHEREAS, this Council finds and determines that approval of said map should be conditioned on all conditions recommended by the City staff, as set forth in Exhibit "A-1" which is on file with the City Clerk's office.

NOW, THEREFORE, BE IT RESOLVED as follows:

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan;
2. The site is physically suitable for the type and proposed density of development;
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems;
5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has

acquired easements of access through or use of property within the proposed subdivision;

6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;
7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and
8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on April 9, 2018, by the following vote, to wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED: April 9, 2018

Mayor

City Clerk

PLANNING COMMISSION MINUTES

ATTACHMENT 2

CLOVIS PLANNING COMMISSION MINUTES

December 21, 2017

- A. Consider items associated with approximately 9.6 acres of land located on the south side of Alluvial Avenue, between Fowler and Armstrong Avenues. Cleo L. Tomlinson, Kenneth R. & Marilyn B. Springston Trs., owners; Wilson Premier Homes, Inc., applicant; Harbour & Associates, representative.
1. Consider Approval Res. 17-__, Approval of a finding of a Mitigated Negative Declaration for GPA2017-06, R2017-14, and TM6202.
 2. Consider Approval Res. 17-__, **GPA2017-06**, A request to amend the General Plan and Herndon-Shepherd Specific Plan to re-designate from Low Density Residential (2.1 to 4.0 DU/Ac) to Medium High Density Residential (7.1 to 15.0 DU/Ac).
 3. Consider Approval Res. 17-__, **R2017-14**, A request to approve a rezone from the R-1-7500 (Single Family Residential – 7,500 Sq. Ft.) Zone District to the R-1-PRD (Planned Residential Development) Zone District.
 4. Consider Approval Res. 17-__, **TM6202**, A request to approve a vesting tentative tract map for a 123-lot single-family planned residential development.

Associate Planner George Gonzalez presented the staff report.

Commissioner Terrence requested clarification on the traffic issue, in terms of exits/entrances from the proposed project, given that only one would be public and one for emergency access, and how much discussion on this there had been with other agencies. Associate Planner Gonzalez responded that staff is working with the Fire Department to incorporate their requirements. City Planner Araki provided more in-depth information.

Commissioner Cunningham inquired about the lack of sidewalks and paseos within the proposed subdivision, concerned about pedestrians walking in the streets. Associate Planner Gonzalez clarified that while such features are required by the Loma Vista Specific Plan, they are not within the Herndon-Shepherd Specific Plan, within which this project falls.

Commissioner Antuna inquired as to the concerns of the area residents in terms of schools and their capacities. City Planner Araki remarked that the concerns were fairly general and deferred to the present residents for further clarification.

Chair Hinkle inquired as to traffic impact on Alluvial Avenue and the possibility of overburdening it. Associate Civil Engineer Smith responded that the traffic study for the area pointed to an increase in such traffic even with a lower density project, however the increase would be within acceptable parameters.

Chair Hinkle then sought clarification on the solid waste covenant in the conditions, in order to ensure people understand what is being put forth. Associate Civil Engineer Smith provided a detailed explanation.

At this point, the Chair opened the floor to the applicant.

Dirk Poeschel of 923 Van Ness Avenue, representing the applicant, provided background information on the project.

Commissioner Antuna inquired as to the reasoning behind not including sidewalks in the plans. Mr. Poeschel provided the reasoning. Commissioner Antuna followed up with an inquiry as to the presumed lack of pedestrian activity in projected residents. Mr. Poeschel explained the applicant's reasoning. Commissioner Antuna inquired also as to the price point of these homes, as Mr. Poeschel had mentioned that. He provided that information, along with resale value.

Commissioner Cunningham followed up on Commissioner Antuna's inquiry by expressing strong concern for the lack of area beside the street for children to play, pointing out that professionals do grow families after a point, and inquiring as to the applicant's reasoning for the lack of such areas. Mr. Poeschel addressed the applicant's reasoning.

Chair Hinkle inquired as to garage dimensions on the plans. Lorren Smith of Harbour & Associates provided information.

Commissioner Terrence requested more information on the applicant's claim of the transitional nature of the project in terms of density, compared to the apartment complex on one side of the area versus the residential subdivision on the other side. Mr. Poeschel explained the applicant's reasoning behind calling the project 'transitional.'

At this point, the Chair opened the floor to those in favor.

There were no comments in support.

At this point, the Chair opened the floor to those in opposition.

Sarah Anderson, a resident of Chennault Avenue speaking for herself and a number of others present, protested in terms of lifestyle change, not enough proposed improvements to Alluvial Avenue to prevent traffic congestion at a nearby stop sign, fear of parking overflow into their neighborhood, and lack of family and pedestrian friendly features and amenities.

Ron Flores, a police officer residing in the same neighborhood as the previous speaker, protested on the basis of the density increase and low price points leading to a crime increase, the potential effect on traffic and first responder times, the effects on neighborhood schools, and the possibility of many of the project homes becoming rentals. Chair Hinkle provided clarification on the daily trips issue for Mr. Flores and inquired as to his experience with rising crime in gated communities such as the proposed subdivision. Mr. Flores stated that he had seen such, that it is easy for criminals to enter gated communities.

Tim Monteath, a resident of the same area, objected to the increase due to increased traffic and traffic congestion, and the resulting potential threat to not only his special needs children but to all neighborhood children. He also protested the possible effects on nearby Clovis schools.

Andrea Gregory, a teacher residing in the same neighborhood, protested against the project on the basis of the enrollment capacity of the nearby schools and the possibility of students being

bussed away. She also protested the lack of parking for guests of the residents of the project community.

Henry Ortata, a nurse living in the neighborhood, protested against the project on the basis of his employment possibly being in jeopardy due to increasing traffic leading to difficulty for him getting to work in 30 minutes or less, as he is required to do when on-call.

Adam Tomlinson, a resident of the Chennault area, protested based on the lack of connectedness/community with the project area and family-friendliness, lack of cohesiveness with the surrounding area, the impact to the school capacities, unsafe traffic, the size of the density increase, and lack of parking and potential overflow into their neighborhood.

Tyler Rourke, a neighborhood resident with a background in criminology, stated that there is a correlation between house price point and crime -the lower the entry price of a house is (one of the selling features of the proposed project), the higher the crime rate goes.

John Barbery, a road inspector with the County of Fresno, protested because of safety issues, primarily due to traffic. He expressed uncertainty about the extent of the proposed improvements on Alluvial Avenue, the lack of sidewalk on Alluvial, the impact on their daily lifestyle, the traffic when driving out onto Alluvial, and sight distance to the west being impacted.

Matt Anderson, a local resident, protested the density increase, stating that with the number of apartments to the west, it would actually be a rise in density rather than a transition.

At this point, the Chair re-opened the floor to the applicant.

Mr. Poeschel addressed both the neighbor concerns and attendance at the neighborhood meetings.

Commissioner Cunningham inquired as to what discussions the applicant had with Clovis Unified School District regarding their concerns on student numbers and their effect on neighborhood schools. Mr. Poeschel responded that they were surprised by the change in correspondence, had not discussed it with Clovis Unified, and depended on planning staff to do so. He then also addressed overflow parking concerns, with Chair Hinkle seeking confirmation of walking distances from the Chennault Avenue neighborhood to the proposed gates.

Commissioner Hatcher confirmed with Mr. Poeschel that there would be no entry onto Chennault Avenue and that there would be parking on both sides of the streets within the project.

Chair Hinkle sought clarification on the presence of a wall setback and angle at the intersection of Ash and Alluvial Avenues, improving access onto Alluvial Avenue from Ash Avenue. Mr. Poeschel confirmed the presence of the setback, creating a clear line of sight.

At this point, the Chair closed the public portion.

Commissioner Hatcher expressed that, despite Wilson creating a good product, a 2-step density increase does not fit the area, assured that her attention is being given to the neighbor concerns about safety, and that the school impacts would happen no matter where in Clovis someone moves. She cannot support such a density increase at this time.

Commissioner Cunningham seconded Commissioner Hatcher's concerns and expressed his own on the lack of sidewalks and places for children to play. He also remarked that, though Wilson has created good products, in this case the density would, in numerical terms, be a reverse transition. He cannot support the project with the number of obstacles. Commissioner Cunningham also addressed the audience, remarking that notice letters are often thrown away (in response to several speakers having stated that they didn't know about the project until it was too late to do research) and that the meetings with the developer are the appropriate time to air grievances and try to work out compromises.

Commissioner Antuna thanked everyone for coming out to be heard and expressed concurrence with the two prior commissioners. She expressed that she had several concerns with the project, such as the density increase and the lack of family-friendliness. She cannot support the project at this time.

Commissioner Terrence expressed agreement with his fellow commissioners and applauded the audience for coming in and making themselves heard. He expressed concern about traffic and density, and also commended the developer for working with the neighborhood and addressing their concerns. He cannot, however, support the 2-step jump in density, and therefore cannot support this project.

Chair Hinkle clarified with Associate Planner Gonzalez that this area does not require paseos.

Chair Hinkle then stated that the lifestyles of the two biggest groups of current homebuyers match this development, that those with families will recognize the traffic safety within a gated community (driving slower and therefore making it safer for children), and that a Home Owners Association will take care of the community in terms of such issues, thereby reducing the burden on the City. Chair Hinkle also warned that affordable housing mandates from the state capitol may force more impactful (in terms of density) projects in infill lots such as this one, and that there are signs of such already. He urged reconsideration of this project as a better option than what may come in the future, that it fulfills Planning Commission requirements, and that the City Council that will take into account emotional components.

Commissioner Cunningham pointed out that this will indeed be going before the City Council for consideration, and, while he acknowledged the Chair's points, the community still has a say on what goes on within its boundaries. His opposition to this development is based on his current frame of reference rather than what mandates may or may not come from Sacramento, and will remain that way until a law is passed that changes this. He also stated that, as Chair Hinkle claimed, such laws are coming.

Chair Hinkle responded that he made his points to ensure all present were aware of the issues, especially in light of a similar previous infill project that he believes will have a future negative impact on the neighborhood homeowners.

At this point a motion was made by Commissioner Hatcher and seconded by Commissioner Cunningham to approve a Mitigated Negative Declaration for GPA217-06, R2017-14, and TM6202. The motion was approved by a vote of 4-1.

At this point a motion was made by Commissioner Hatcher and seconded by Commissioner Cunningham to deny GPA2017-06. The motion was approved by a vote of 4-1.

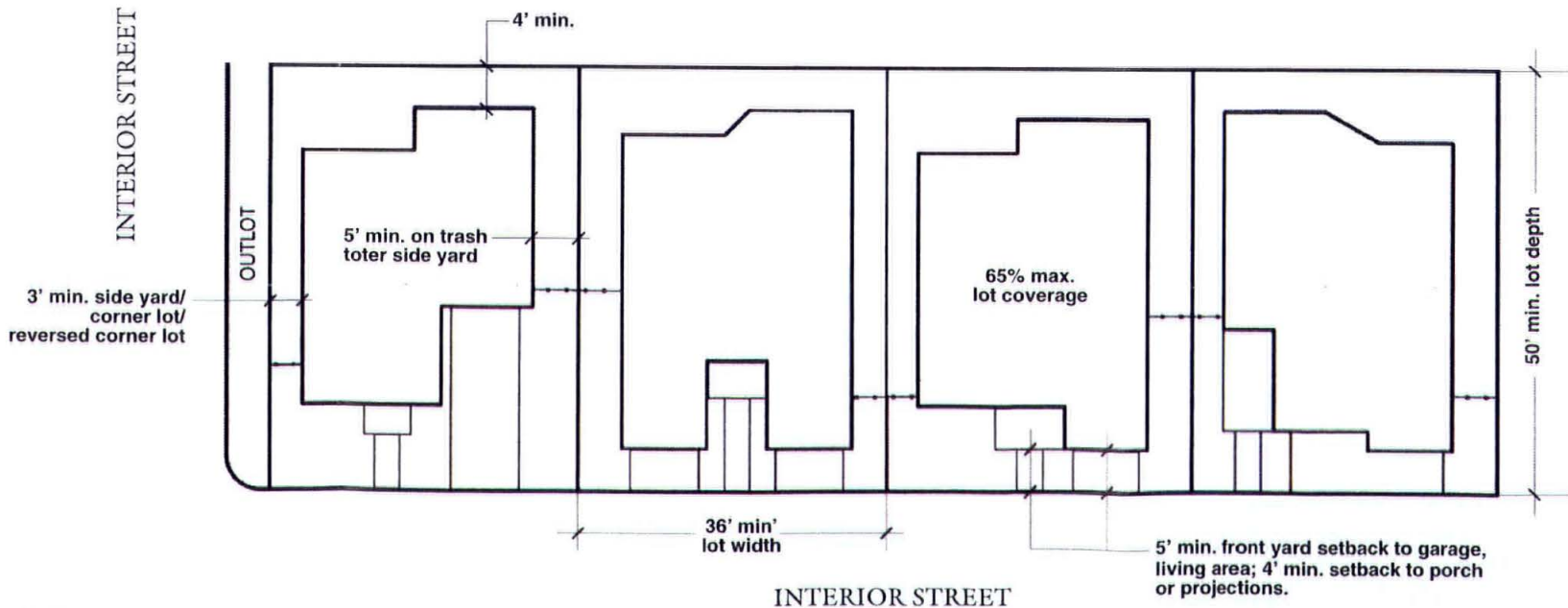
At this point a motion was made by Commissioner Hatcher and seconded by Commissioner Cunningham to deny R2017-14. The motion was approved by a vote of 4-1.

At this point a motion was made by Commissioner Hatcher and seconded by Commissioner Cunningham to deny TM6202. The motion was approved by a vote of 4-1.

TRACT 6202

Residential Land Use Development Standards

LAND USE	DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL	STANDARD	NOTES
DESIGNATION		
Zone District	R-1-PRD	
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential
Dwelling Units	123	
BUILDING INTENSITY		
Minimum Lot Area	1,800 sq ft	
Minimum Lot Width	36'	
Minimum Lot Depth	50'	
Maximum Coverage	65%	
Maximum Height	35'	
Curved, Cul-de-sac or Corner Lot	36' min/50' min	For street frontage/For lot depth
BUILDING SETBACKS		
All setbacks measured from PL.		
Front Yard	5' min/4' min	To garage, living area/porch or projections
Side Yard	5' min/3' min	5' min garage side/3' min other side
Corner/Reversed Corner	3' min	
Rear Yard	4' min	
GARAGES/STREETS/PARKING		
Garages	1-car	10'x16' min
	2-car	20'x20' min or tandem 10'x38' min
Streets (Interior)	36' wide	Curb-to-curb
Parking	1.5 spaces/unit min	1 covered space per unit min
ACCESSORY USES		
General list of requirements and restrictions.		
Walls/Fences	6' min - 8' high max	
Trellises	12' high max	
Pools and Spas	3' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.
Equipment	Pool, spa and fountain equipment allowed in side yard setback.	
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.
Accessory Buildings		



NOTE: Construction of more than two of the same plan type in a row or more than three 2-car garage models in a row (excepting tandem garage units) shall be addressed through the Residential Site Plan Review process.

The imagery conveys samples of the architectural character intended for these neighborhoods.

NOT TO SCALE

CORRESPONDENCE

ATTACHMENT 4



October 16, 2017

Joyce Roach
Planning and Development Services Dept.
1033 Fifth St.
Clovis, CA 93612

SUBJECT: GPA2017-06, APN 563-153-03 & 04
TM-6202

Dear Ms. Roach:

The purpose of this letter is to provide school district information relative to the above-referenced subdivision and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the subdivider/owner and the State Department of Real Estate.

In regards to this project with GPA2017-06 the district has concern regarding the re-designation of the land located on the south side of Alluvial avenue, east of Fowler Avenue. Currently this project site has a designation of Low Density Residential (2.1 to 4.0 DU/AC), the district does not feel confident in the ability to accommodate students associated with a re-designation to Medium High Density Residential (7.1 to 15.0 DU/AC). The district would like to bring this concern to the attention of the planning department and owner/sub divider.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Century Elementary*
Address: *965 N Sunnyside Ave Clovis CA 93611-2061*
Telephone: *(559) 327-8400*
Capacity: *842*
Enrollment: *640 (CBEDS enrollment 2016-17 school year)*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

Governing Board

Sandra A. Budd
Christopher Casado
Steven G. Fogg, M.D.
Brian D. Heryford
Ginny L. Hovseplan
Elizabeth J. Sandoval
Jim Van Volkinburg, D.D.S.

Administration

Elmear O'Farrell, Ed.D.
Superintendent

Don Ulrich, Ed.D.
Deputy Superintendent

Norm Anderson
Associate Superintendent

Barry S. Jager, Jr.
Associate Superintendent

Michael Johnston
Associate Superintendent

2. Intermediate School Information:

School Name: *Alta Sierra Intermediate*
Address: *380 W Teague Ave Clovis CA 93619-8332*
Telephone: *(559) 327-3500*
Capacity: *1500*
Enrollment: *1406 (CBEDS enrollment 2016-17 school year)*

3. High School Information:

School Name: *Buchanan High School*
Address: *1560 N Minnewawa Ave Clovis CA 93619-7600*
Telephone: *(559) 327-3000*
Capacity: *3000*
Enrollment: *2699 (CBEDS enrollment 2016-17 school year)*

3. Bus transportation is currently provided for grades K-6 students residing further than one mile from school and for grades 7-12 students residing further than two and one-half miles from school. Transportation will be available for students attending the above-identified elementary, intermediate and high schools in accordance with District standards in effect at the time of enrollment.
4. The District currently levies a school facilities fee of \$4.63 per square foot (as of July 1, 2017) for residential development. The fee is adjusted periodically in accordance with law. New development on the subject property will be subject to the fee in place at the time fee certificates are obtained.

The District hereby requests that the information in this letter be provided by the owner/subdivider to all prospective purchasers of property within the project.

Thank you for the opportunity to comment on the project. Please contact me if you have any questions regarding this letter.

Sincerely,



Michael Johnston
Associate Superintendent
Administrative Services



County of Fresno

DEPARTMENT OF PUBLIC HEALTH

David Pomaville, Director
Dr. Ken Bird, Health Officer

October 17, 2017

LU0019117
2604

George Gonzalez, Associate Planner
City of Clovis
Planning and Development Services Department
1033 Fifth Street
Clovis, CA 93612

Dear Mr. Gonzalez:

PROJECT NUMBER: **GPA2017-06, R2017-14, TM6202**

GPA2017-06, A request to amend the General Plan to redesignate approximately 9.6 acres of land located on the south side of Alluvial Avenue, east of Fowler Avenue from Low Density Residential (2.1 to 4.0 DU/Ac) to Medium High Density Residential (7.1 to 15.0 DU/Ac). **R2017-14**, A request to approve a rezone of approximately 9.6 acres of land located on the south side of Alluvial Avenue, east of Fowler Avenue, from the R-1 Zone District to the R-1-PRD Zone District. **TM6202**, A request to approve a tentative tract map for a 123-lot single-family residential development for land located on the south side of Alluvial Avenue, east of Fowler Avenue.

APN: 563-135-03, -04

ADDRESS: South side of Alluvial Avenue, East of Fowler Avenue

Recommended Conditions of Approval:

- Construction permits for the proposed development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the proposed development should be subject to assurance that the City of Clovis community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- The proposed construction project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.
- Prior to the issuance of building permits, the applicant shall submit complete pool facility plans and specifications to the Fresno County Department of Public Health, Environmental Health Division, for review and approval. Contact the Recreational Health Program at (559) 600-3357 for more information.

Promotion, preservation and protection of the community's health
1221 Fulton Mall / P. O. Box 11867, Fresno, CA 93775
(559) 600-3271 • FAX (559) 600-7629
The County of Fresno is an Equal Opportunity Employer
www.co.fresno.ca.us • www.fcdph.org

- Prior to operation, the applicant shall apply for and obtain a permit to operate a public swimming pool from the Fresno County Department of Public Health, Environmental Health Division. A permit, once issued, is nontransferable. Contact the Recreational Health Program at (559) 600-3357 for more information.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- If any underground storage tank(s) are found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

REVIEWED BY:

Kevin Tsuda, R.E.H.S.
Environmental Health Specialist II

(559) 600-3271

kt

cc: Aaron Baruti- Environmental Health Division (CT. 55.12)
Lorren Smith- Representative (lorrens@harbour-engineering.com)
Jeff Harris- Applicant (jharris@wilsondevelopment.com)



FRESNO METROPOLITAN FLOOD CONTROL DISTRICT

File 210.434
210.45 "6202"
400.11
550.10 "7D"

November 21, 2017

Mr. George Gonzalez, MPA, Associate Planner
City of Clovis
Department of Planning & Development Services
1033 Fifth Street
Clovis, CA 93612

Dear Mr. Gonzalez,

Rezone Application No. R2017-14
General Plan Amendment GPA 2017-06
Drainage Area "7D"

The proposed rezone lies within the District's Drainage Area "7D". The existing Master Plan system has been designed for runoff from a medium density residential land use at this location and proposed rezone (R-1-C PRD) is similar to the R-3 type land use. However, based on information submitted at this time, the District's system can accommodate the proposed rezone. Lot coverage must be provided to the District prior to submittal of improvement plans for this project and should the density of the project be commensurate with a density higher than medium high density residential, mitigation may be required.

Please contact us if you need further information at (559) 456-3292.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Robert Villalobos'.

Robert Villalobos
Design Technician III

RV/lrl

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San Joaquin Valley

AIR POLLUTION CONTROL DISTRICT



October 26, 2017

George Gonzalez
City of Clovis
Planning and Development Services
1033 Fifth Street
Clovis, CA 93612

Project: GPA2017-06, R2017-14, and TM6202

District CEQA Reference No: 20171124

Dear Mr. Gonzalez:

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the project referenced above consisting of the following:

- GPA2017-06: a request to amend the General Plan to re-designate 9.6 acres of land from Low Density Residential to Medium High Density Residential.
- R2017-14: a request to approve a rezone of approximately 9.6 acres of land from the R-1 Zone District to the R-1 PRD Zone District.
- TM6202: a request to approve a tentative tract map for a 123-lot single family residential development.

The project is located on the south side of Alluvial Avenue, east of Fowler Avenue, in Clovis, CA. The District offers the following comments:

1. Significance Impact for Criteria Pollutants – The project specific emissions of criteria pollutants are not expected to exceed District significance thresholds of 10 tons/year NOx, 10 tons/year ROG, and 15 tons/year PM10. Therefore, the District concludes that Project specific criteria pollutant emissions would have no significant adverse impact on air quality.
2. District Rule 9510 (Indirect Source Review) - At full build-out, the project will be equal to or exceed 50 residential dwelling units. Therefore, the District concludes that the project is subject to District Rule 9510.

Seyed Sadredin

Executive Director/Air Pollution Control Officer

Northern Region

4800 Enterprise Way
Modesto, CA 95356-8718
Tel: (209) 557-6400 FAX: (209) 557-6475

Central Region (Main Office)

1990 E. Gettysburg Avenue
Fresno, CA 93726-0244
Tel: (559) 230-6000 FAX: (559) 230-6061

Southern Region

34946 Flyover Court
Bakersfield, CA 93308-9725
Tel: 661-392-5500 FAX: 661-392-5585

District Rule 9510 is intended to mitigate a project's impact on air quality through project design elements or by payment of applicable off-site mitigation fees. Any applicant subject to District Rule 9510 is required to submit an Air Impact Assessment (AIA) application to the District no later than applying for final discretionary approval, and to pay any applicable off-site mitigation fees. If approval of the subject project constitutes the last discretionary approval by your agency, the District recommends that demonstration of compliance with District Rule 9510, including payment of all applicable fees, be made a condition of project approval. Information about how to comply with District Rule 9510 can be found online at: <http://www.valleyair.org/ISR/ISRHome.htm>. The AIA application form can be found online at: <http://www.valleyair.org/ISR/ISRFormsAndApplications.htm>.

3. District Rule 4002 (National Emissions Standards for Hazardous Air Pollutants) - In the event an existing building will be renovated, partially demolished or removed, the project may be subject to District Rule 4002. This rule requires a thorough inspection for asbestos to be conducted before any regulated facility is demolished or renovated. Information on how to comply with District Rule 4002 can be found online at: <http://www.valleyair.org/busind/comply/asbestosbultn.htm>.
4. Nuisance Odors - The project should be evaluated to determine the likelihood that the project would result in nuisance odors. Nuisance orders are subjective, thus the District has not established thresholds of significance for nuisance odors. Nuisance odors may be assessed qualitatively taking into consideration of project design elements and proximity to off-site receptors that potentially would be exposed objectionable odors.
5. Regulation VIII (Fugitive PM10 Prohibitions) - The project will be subject to Regulation VIII. The project proponent is required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to commencing any earthmoving activities as described in District Rule 8021 – *Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities*. Information on how to comply with Regulation VIII can be found online at: http://www.valleyair.org/busind/comply/PM10/compliance_PM10.htm
6. Other District Rules and Regulations - The above list of rules is neither exhaustive nor exclusive. For example, the project may be subject to the following District rules, including: Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations). To identify other District rules or regulations that apply to this project or to obtain information on the District's permit requirements, such as an Authority to Construct (ATC), the project proponent is strongly encouraged to contact the District's Small Business Assistance Office at (559) 230-5888 or e-mail SBA@valleyair.org. Current District rules can be found online at the District's website at: www.valleyair.org/rules/1ruleslist.htm.

7. Potential Air Quality Improvement Measures - The District encourages the following air quality improvement measures to further reduce project related emissions from construction and operation. A complete list of potential air quality improvement measures can be found online at:

<http://www.valleyair.org/ceqaconnected/aqimeasures.aspx>.

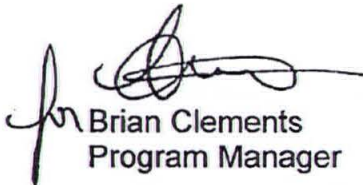
- a. Cleaner Off-Road Construction Equipment – This measure is to utilize off-road construction fleets that can achieve fleet average emissions equal to or cleaner than the Tier II emission standards. This can be achieved through any combination of uncontrolled engines and engines complying with Tier II and above engine standards.
- b. Improve Walkability Design – This measure is to improve design elements to enhance walkability and connectivity. Improved street network characteristics within a neighborhood include street accessibility, usually measured in terms of average block size, proportion of four-way intersections, or number of intersections per square mile. Design is also measured in terms of sidewalk coverage, building setbacks, street widths, pedestrian crossings, presence of street trees, and a host of other physical variables that differentiate pedestrian-oriented environments from auto-oriented environments.
- c. Improve Destination Accessibility – This measure is to locate the project in an area with high accessibility to destinations. Destination accessibility is measured in terms of the number of jobs or other attractions reachable within a given travel time, which tends to be highest at central locations and lowest at peripheral ones. The location of the project also increases the potential for pedestrians to walk and bike to these destinations and therefore reduces the (vehicle miles traveled) VMT.
- d. Increase Transit Accessibility – This measure is to locate the project with high density near transit which will facilitate the use of transit by people traveling to or from the Project site. The use of transit results in a mode shift and therefore reduced VMT. A project with a residential/commercial center designed around a rail or bus station, is called a transit-oriented development (TOD). The project description should include, at a minimum, the following design features:
 - A transit station/stop with high-quality, high-frequency bus service located within a 5-10 minute walk (or roughly ¼ mile from stop to edge of development), and/or
 - A rail station located within a 20 minute walk (or roughly ½ mile from station to edge of development)
 - Fast, frequent, and reliable transit service connecting to a high percentage of regional destinations
 - Neighborhood designed for walking and cycling

- e. Voluntary Emission Reduction Agreement (VERA) - Design elements, mitigation measures, and compliance with District rules and regulations may not be sufficient to reduce project-related impacts on air quality to a less than significant level. In such situation, project proponents may enter into a Voluntary Emission Reduction Agreement (VERA) with the District to reduce the project related impact on air quality to a less than significant level. A VERA is a mitigation measure by which the project proponent provides pound-for pound mitigation of air emissions increases through a process that funds and implements emission reduction projects. A VERA can be implemented to address impacts from both construction and operational phases of a project.

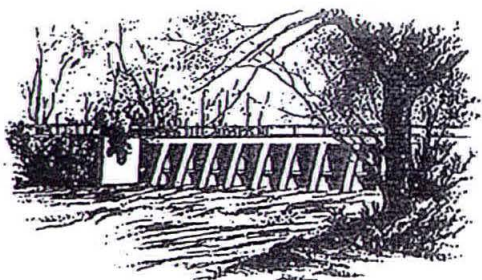
The District recommends that a copy of the District's comment letter be provided to the project proponent. District staff is available to meet with you and/or the applicant to further discuss the regulatory requirements that are associated with this project. If you have any questions or require further information, please call Sharla Yang at (559) 230-5934 or e-mail sharla.yang@valleyair.org. When calling or emailing the District, please reference District CEQA number 20171124.

Sincerely,

Arnaud Marjollet
Director of Permit Services


for Brian Clements
Program Manager

AM: sy



YOUR MOST VALUABLE RESOURCE - WATER



TELEPHONE (559) 233-7161
FAX (559) 233-8227
2907 S. MAPLE AVENUE
FRESNO, CALIFORNIA 93725-2208

October 30, 2017

George Gonzalez
Planning and Development Services Department
City of Clovis
1033 Fifth Street
Clovis, CA 93612

RE: Tentative Tract Map No. 6202
S/E Alluvial and Fowler avenues

Dear Mr. Gonzalez:

The Fresno Irrigation District (FID) has reviewed the Tentative Tract Map No. 6206 for which the applicant request approval for a 123 lot single family planned residential development. This request is being processed concurrently with GPA2017-06 and R2017-14, APN: 563-135-03 and 04. FID has the following comments:

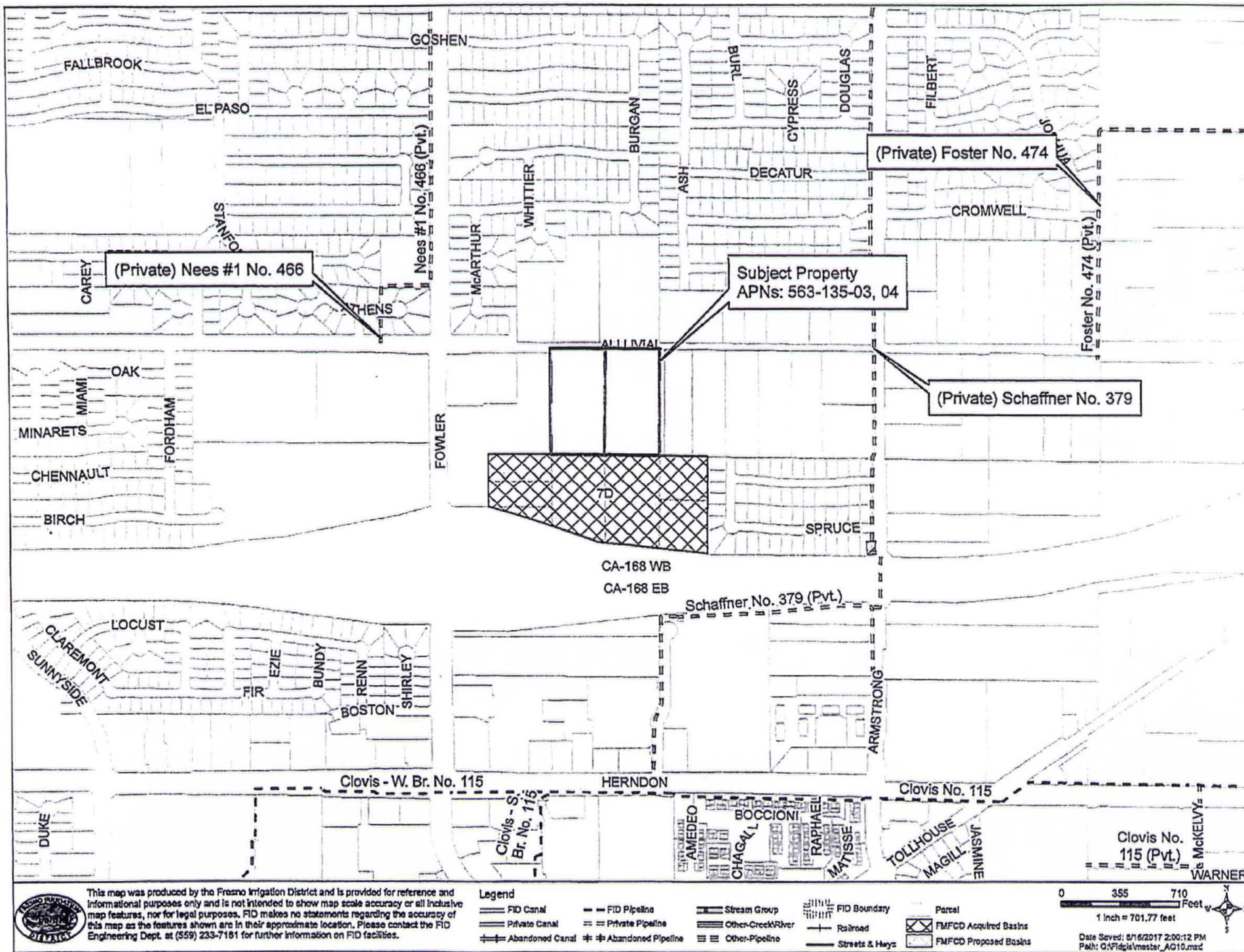
1. This site was previously reviewed and commented on by FID on August 29, 2017 as Development Review Committee Application No. 2017-41. Those comments and conditions still apply and a copy is attached for your reference.

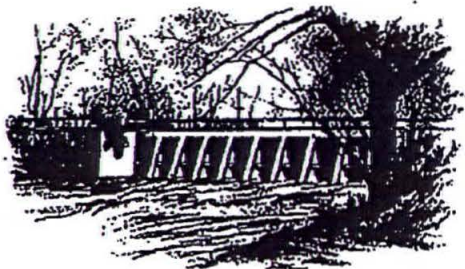
Thank you for submitting the this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or jlandrith@fresnoirrigation.com.

Sincerely,

Laurence Kimura, P.E.
Chief Engineer

Attachment





YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF
FRESNO
IRRIGATION DISTRICT

TELEPHONE (559) 233-7161
FAX (559) 233-8227
2907 S. MAPLE AVENUE
FRESNO, CALIFORNIA 93726-2208

August 29, 2017

Lily Cha
Planning Division
City of Clovis
1033 Fifth Street
Clovis, CA 93612

RE: Development Review Committee Application No. 2017-41
S/E Alluvial and Fowler avenues

Dear Ms. Cha:

The Fresno Irrigation District (FID) has reviewed the Development Review Committee Application No. 2017-41 for which the applicant proposes a single family residential development, APNs: 563-135-03, 04. FID has the following comments:

1. FID does not own, operate, or maintain any facilities located on the subject property, as shown on the attached FID exhibit map.
2. For informational purposes, a Private pipeline known as the Nees #1 No. 466 runs southerly and crosses Alluvial Avenue approximately 1,000 feet west of the subject property, as shown on the attached FID exhibit map. FID records indicate that this pipeline may currently be inactive.
3. For informational purposes, a Private pipeline known as the Schaffner No. 379 runs southerly along the west side of Armstrong Avenue and crosses Alluvial Avenue approximately 1,300 feet east of the subject property, as shown on the attached FID exhibit map. FID records indicate that this pipeline is currently active and should be treated as such. FID can supply the City with a list of known users upon request.
4. The proposed land use (or change in land use) should be such that the need for water is minimized and/or reduced so that groundwater impacts to the proposed project area and any surrounding areas are eliminated. The "demand" side of water consumed needs to be evaluated or scrutinized as much as the "supply" side of the water supply. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a significant increase in dependence on groundwater, this deficit will increase. FID recommends the City of Clovis require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.

G:\Agencies\Clovis\DRC Meetings\2017-41.doc

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.
CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

5. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Clovis and FID service area. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.
6. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Clovis are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Clovis should consider the impacts of the development on the City's ability to comply with requirements of SGMA.

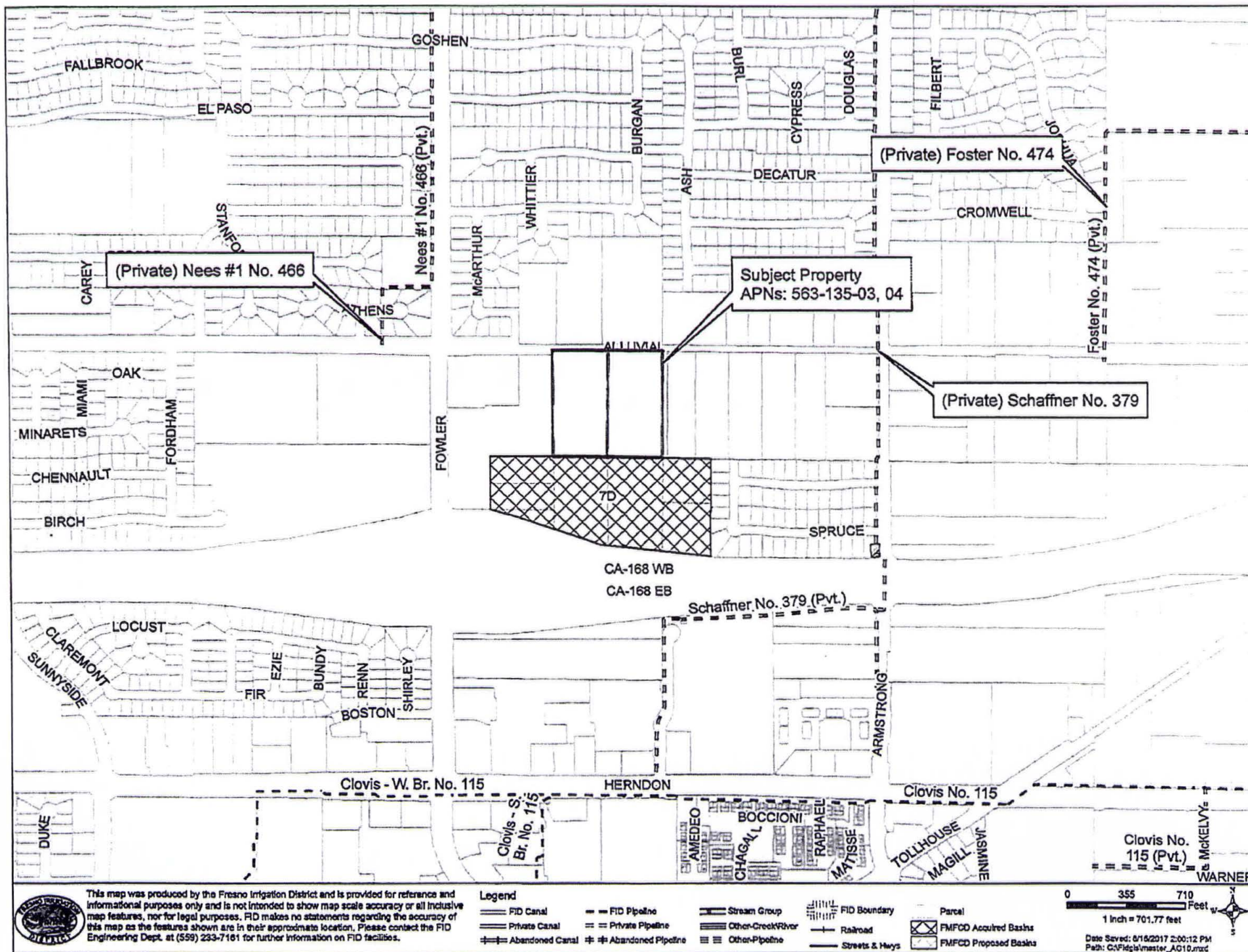
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



DEPARTMENT OF TRANSPORTATION**DISTRICT 6**

1352 WEST OLIVE AVENUE

P.O. BOX 12616

FRESNO, CA 93778-2616

PHONE (559) 445-5868

FAX (559) 445-5875

TTY 711

www.dot.ca.gov

*Making Conservation a
California way of life.*

October 24, 2017

FRE-168-7.813
GPA2017-06, R2017-14, TM6202
Wilson Premier SubdivisionMr. George Gonzalez
Associate Planner
City of Clovis
1033 Fifth Street
Clovis, California 93612

Dear Mr. Gonzalez:

We have completed our review of the request for a 123-lot single-family residential development with 15 unit out lot, Tract Map (TM 6202). The project is located on the southern side of Alluvial Avenue at the eastern side of Fowler Avenue. Caltrans offers the following comments:

It is anticipated that trips generated from this project would impact SR 168 due to its proximity. Given the proposed development's location, project trips are likely to impact SR 168 at Fowler Avenue where there is an identified future improvement. The improvement involves adding a right lane for the southbound approach to the westbound on-ramp (estimated cost \$330,000). Without this improvement, Caltrans expects vehicle queuing to become problematic along Fowler Avenue.

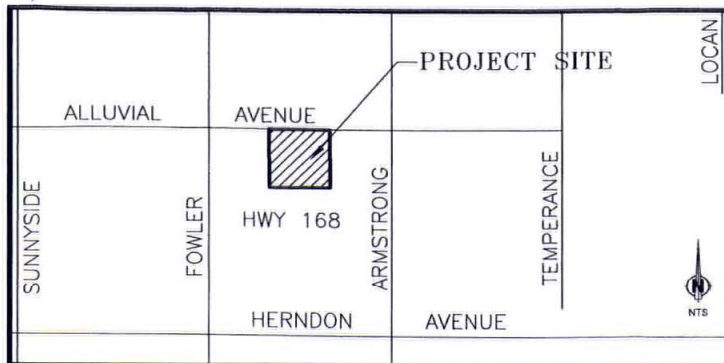
Caltrans continues to recommend that the City of Clovis establish a traffic impact fee program, with identified future improvements, to capture a fair-share mitigation from new developments. In the absence of an all-inclusive fee program the State Highway Systems in Clovis may not be able to sustain the thriving economy and quality of life which residents now enjoy.

If you have any questions please contact me at (559) 488-7307.

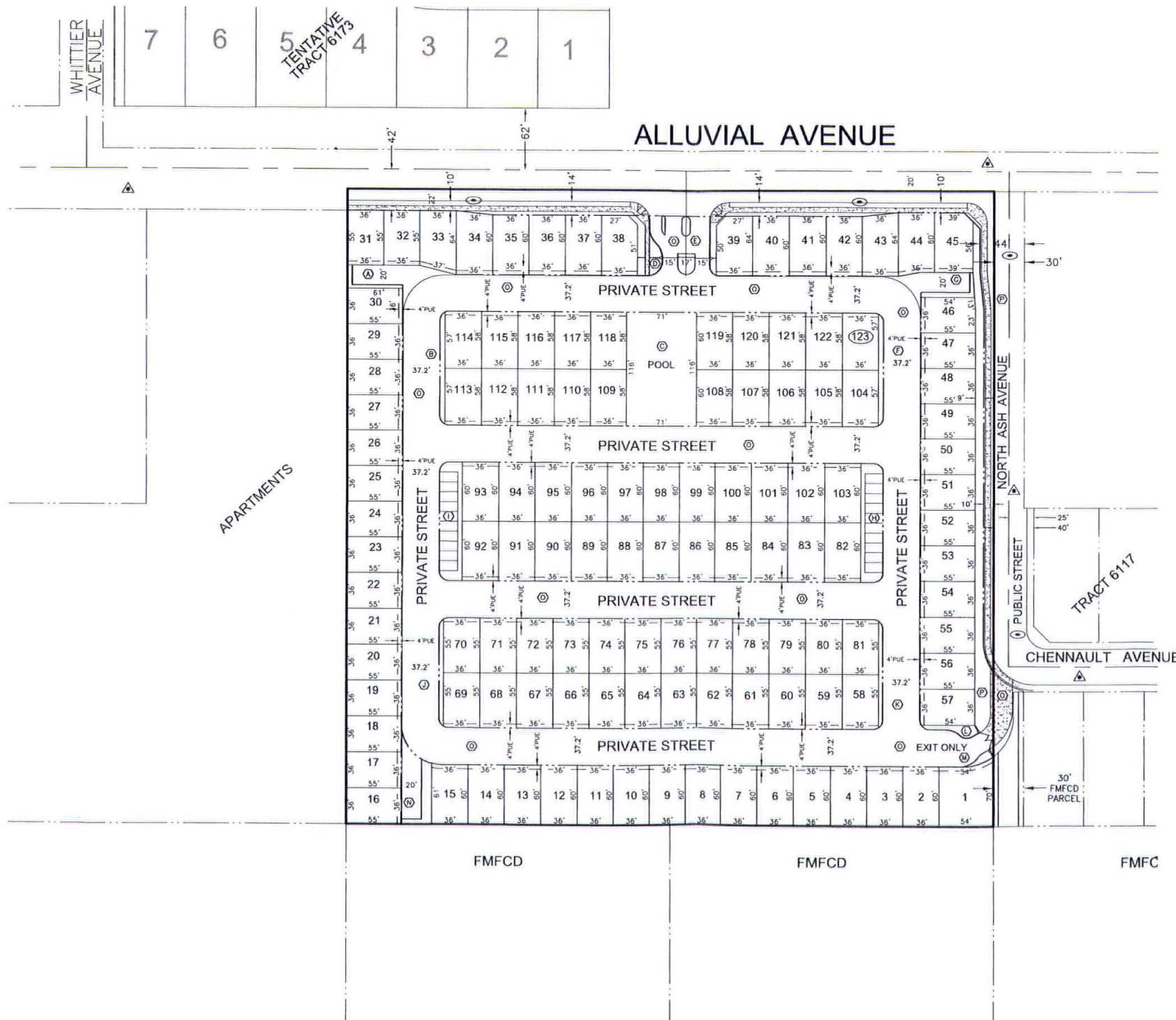
Sincerely,

A handwritten signature in black ink, appearing to read "Jamaica Gentry".

JAMAICA GENTRY
Transportation Planner
Planning North Branch



VICINITY MAP
N.T.S.



TRACT NO. 6202

A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA

LEGAL DESCRIPTION:

PARCEL 1: (APN: 563-135-19)

THE WEST HALF OF THE EAST HALF OF LOT 13 OF NEES COLONY, AS PER MAP RECORDED IN BOOK 2, PAGE 57 OF PLATS, RECORDS OF SAID COUNTY AND APPURTENANCES THERETO.

PARCEL 2: (APN: 563-135-20)

THE EAST HALF OF THE EAST HALF OF LOT 13 OF NEES COLONY, AS PER MAP RECORDED IN BOOK 2, PAGE 57 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS.

NOTES:

1. THIS AREA IS SUBJECT TO FLOODZONE X (UNSHADED).
2. ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS TO CITY STANDARDS, AND SHALL INCLUDE SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVEMENT STREET LIGHTS, ETC.
3. THERE SHALL BE NO GRADE DIFFERENTIALS OF GREATER THAN 6" WITHIN 200 FEET OF THE SITE UNLESS APPROVED BY THE CITY OF CLOVIS DEVELOPMENT DEPARTMENT.
4. SUBDIVIDER INTENDS TO FILE MULTIPLE FINAL MAPS ON THIS TENTATIVE MAP. CAL. GOV. CODE SEC. 86456.1

EXISTING BUILDINGS

EXISTING BUILDINGS TO BE REMOVED

EXISTING TREES

EXISTING TREES TO BE REMOVED

EXISTING USE

RURAL RESIDENTIAL

EXISTING ZONING

R-1-FRD

PROPOSED ZONING

R-1-FRD

PROPOSED USE

SINGLE FAMILY RESIDENTIAL SUBDIVISION

SOURCE OF WATER

CITY OF CLOVIS

SOURCE OF SEWAGE DISPOSAL

CITY OF CLOVIS

SOURCE OF WASTE DISPOSAL

CITY OF CLOVIS

SOURCE OF ELECTRICITY

PG&E

SOURCE OF GAS

PG&E

SOURCE OF CABLE T.V.

COMCAST

SOURCE OF TELEPHONE

AT&T

ASSESSOR'S PARCEL NUMBER

563-135-19 & 20

SITE AREA

9.6 AC. (GROSS)

NUMBER OF LOTS

123 + 15 OUTLOTS

DENSITY

12.81 UNITS PER ACRE

AVERAGE LOT SIZE

2,092 SF

OUTLOT SCHEDULE

OUTLOTS A, B, E, F, G, J, K, L, M & N ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES

OUTLOT C IS FOR POOL & RECREATION PURPOSES

OUTLOT D IS FOR PRIVATE LANDSCAPE, PUBLIC PEDESTRIAN & PUBLIC UTILITY PURPOSES

OUTLOTS H & I ARE FOR PRIVATE LANDSCAPE, PUBLIC UTILITY & PARKING PURPOSES

OUTLOT O IS FOR PRIVATE STREET & PUBLIC UTILITY PURPOSES

OUTLOT P IS FOR PUBLIC LANDSCAPING & PUBLIC UTILITY PURPOSES

LEGEND:

- INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
- PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
- OUTLOT IDENTIFIER

OWNERS

KENNETH R. & MERILYN B. SPRINGSTON
1930 ALLUVIAL AVENUE
CLOVIS, CA 93611
CLEO L. TOMLINSON
4531 W. FLINT STREET
CHANDLER, AZ 85226

TENTATIVE SUBDIVISION MAP

WILSON PREMIER HOMES, INC.

1700 NORTH PALM AVENUE SUITE 102
FRESNO, CA 93711
559-224-7550



REVISIONS
-21-17-
EXHIBIT B

SHEET NO.
1
OF
1

DATE: 8-25-17 SCALE: 1"=60' DRAWN BY: KPA

FLOOR & ELEVATION PLANS

EXHIBIT C



FLOOR AREA TABLE	PLAN 1212
LOWER FLOOR PLAN	650 SQ. FT.
UPPER FLOOR PLAN	722 SQ. FT.
TOTAL	1,372 SQ. FT.
GARAGE	280 SQ. FT.

SCALE: 1/4" = 1'-0"

PLAN 1212

ELEV8IONS III
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER	PROJECT TYPE
--------------	--------------

PI AN 1212A

2013272-08-06-14



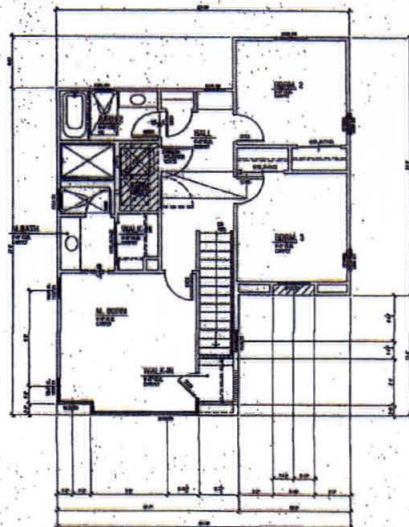
ROOF PLAN SCALE: 1/8" = 1'-0"

RIGHT

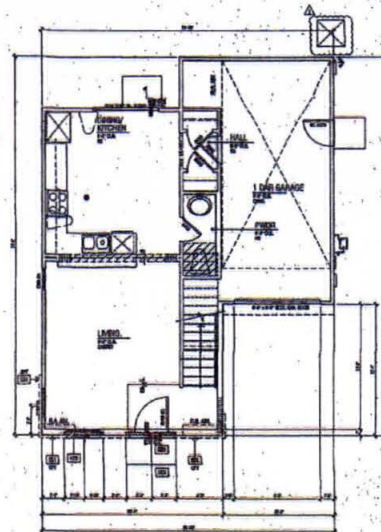


2013272 : 08-06-14

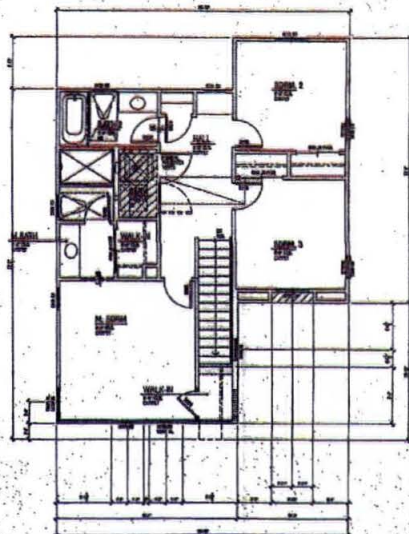
SCALE: 1/4" = 1'-0"



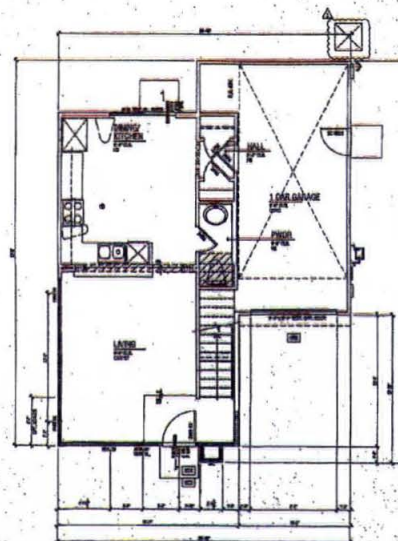
UPPER FLOOR PLAN 1212C



LOWER FLOOR PLAN 1212C



UPPER FLOOR PLAN 1212B



LOWER FLOOR PLAN 1212B

FLOOR PLAN KEY NOTES	
1	CONCRETE SLAB ON GRADE
2	CONCRETE FLOOR SLAB ON CHASED SLAB ON POST-TENSIONED
3	CONCRETE FLOOR SLAB ON CHASED SLAB ON POST-TENSIONED
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10	CONCRETE FLOOR SLAB ON CHASED SLAB ON POST-TENSIONED

WILLIAM H. HALL
ARCHITECTS INC.
1000 N. 1ST ST. SUITE 100
FRESNO, CA 93703



TRACT NUMBER
PROJECT TYPE

FLOOR AREA TABLE	PLAN 1212C
UPPER FLOOR PLAN	450 SQ. FT.
LOWER FLOOR PLAN	716 SQ. FT.
TOTAL	1,166 SQ. FT.
GARAGE	289 SQ. FT.

REQUIRED FLOOR CLEARANCES
AT WATER CLOSETS - TYPICAL



ADDENDA FLOOR PLAN NOTES	
1	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.
2	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.
3	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.
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5	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.



INTERIOR ELEVATION KEY

FLOOR PLAN NOTES	
1	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.
2	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.
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10	NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN. IF DIMENSIONS ARE DIFFERENT, THE DIMENSIONS ON THIS PLAN SHALL PREVAIL.

FLOOR AREA TABLE	PLAN 1212B
UPPER FLOOR PLAN	450 SQ. FT.
LOWER FLOOR PLAN	716 SQ. FT.
TOTAL	1,166 SQ. FT.
GARAGE	289 SQ. FT.

SCALE: 1/4" = 1'-0"

PLAN 1212
ELEVATIONS III
CLAVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

© 2014 WILSON HOMES, INC. ALL RIGHTS RESERVED.

REVISIONS

NO.	DATE	DESCRIPTION
1	08-06-14	ISSUED FOR PERMITS
2	08-06-14	ISSUED FOR PERMITS
3	08-06-14	ISSUED FOR PERMITS
4	08-06-14	ISSUED FOR PERMITS
5	08-06-14	ISSUED FOR PERMITS
6	08-06-14	ISSUED FOR PERMITS
7	08-06-14	ISSUED FOR PERMITS
8	08-06-14	ISSUED FOR PERMITS
9	08-06-14	ISSUED FOR PERMITS
10	08-06-14	ISSUED FOR PERMITS

PROJECT NUMBER	1212
DATE	08-06-14
SCALE	1/4" = 1'-0"
PROJECT TYPE	RESIDENTIAL
PROJECT LOCATION	CLAVIS, CALIFORNIA
PROJECT OWNER	WILSON HOMES
PROJECT ARCHITECT	WILLIAM H. HALL
PROJECT ENGINEER	WILLIAM H. HALL
PROJECT LANDSCAPE ARCHITECT	WILLIAM H. HALL
PROJECT STRUCTURAL ENGINEER	WILLIAM H. HALL
PROJECT MECHANICAL ENGINEER	WILLIAM H. HALL
PROJECT ELECTRICAL ENGINEER	WILLIAM H. HALL
PROJECT PLUMBING ENGINEER	WILLIAM H. HALL
PROJECT FIRE ENGINEER	WILLIAM H. HALL
PROJECT ENVIRONMENTAL ENGINEER	WILLIAM H. HALL
PROJECT HISTORIC PRESERVATION ENGINEER	WILLIAM H. HALL
PROJECT TRANSPORTATION ENGINEER	WILLIAM H. HALL
PROJECT AERONAUTICAL ENGINEER	WILLIAM H. HALL
PROJECT MARINE ENGINEER	WILLIAM H. HALL
PROJECT NUCLEAR ENGINEER	WILLIAM H. HALL
PROJECT CHEMICAL ENGINEER	WILLIAM H. HALL
PROJECT METALLURGICAL ENGINEER	WILLIAM H. HALL
PROJECT CIVIL ENGINEER	WILLIAM H. HALL
PROJECT MECHANICAL ENGINEER	WILLIAM H. HALL
PROJECT ELECTRICAL ENGINEER	WILLIAM H. HALL
PROJECT PLUMBING ENGINEER	WILLIAM H. HALL
PROJECT FIRE ENGINEER	WILLIAM H. HALL
PROJECT ENVIRONMENTAL ENGINEER	WILLIAM H. HALL
PROJECT HISTORIC PRESERVATION ENGINEER	WILLIAM H. HALL
PROJECT TRANSPORTATION ENGINEER	WILLIAM H. HALL
PROJECT AERONAUTICAL ENGINEER	WILLIAM H. HALL
PROJECT MARINE ENGINEER	WILLIAM H. HALL
PROJECT NUCLEAR ENGINEER	WILLIAM H. HALL
PROJECT CHEMICAL ENGINEER	WILLIAM H. HALL
PROJECT METALLURGICAL ENGINEER	WILLIAM H. HALL
PROJECT CIVIL ENGINEER	WILLIAM H. HALL

DATE: 08-06-14 SCALE: 1/4" = 1'-0"

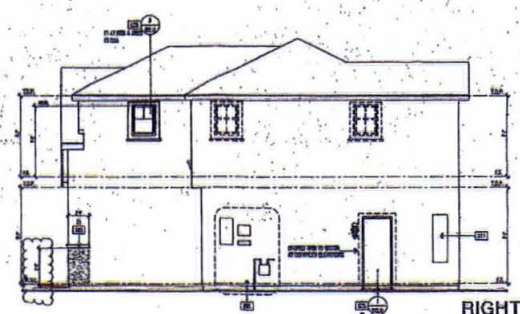
2013272 - 08-06-14

SCALE: 1/4" = 1'-0"

The collage displays a variety of international train timetables and schedules. Visible elements include:

- Top Left:** A section with the heading "RECHERCHER UN TRAIN" (Find a train) and a table with columns for departure times and destinations.
- Top Center:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Top Right:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Middle Left:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Middle Center:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Middle Right:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Bottom Left:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Bottom Center:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.
- Bottom Right:** A section titled "Lignes de voyageurs" (Passenger lines) with a table listing routes and frequencies.

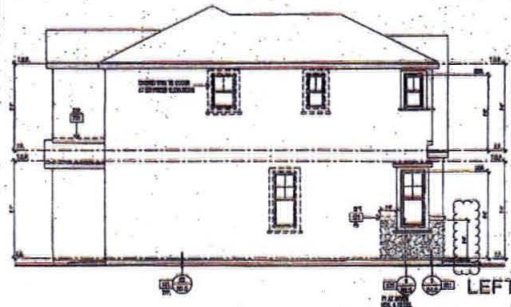
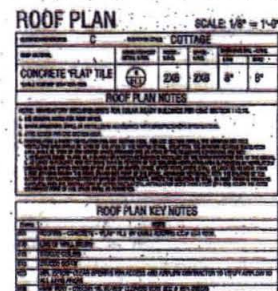
The timetables use different colors, fonts, and layouts, reflecting the unique branding and information needs of each railway system.



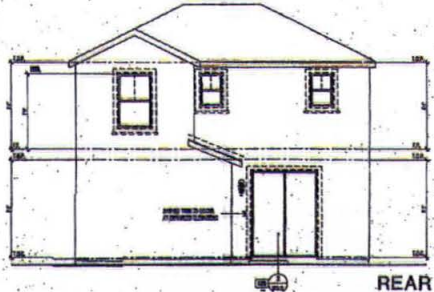
RIGHT

[illegible]

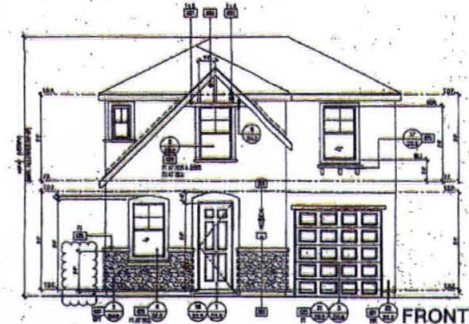
TRACT NUMBER
PROJECT TYPE



LEFT



REAR



FRONT

SCALE: 1/4" = 1'-0"

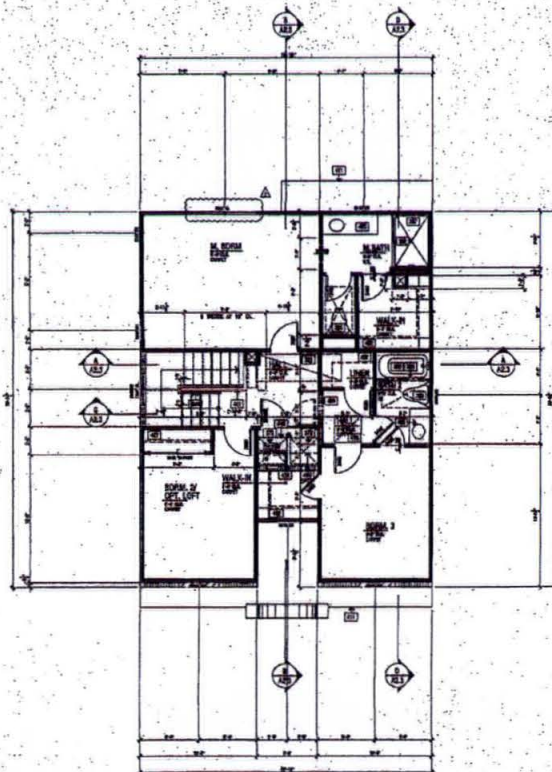
ELEVATIONS - PLAN 1212C

ELEV8IONS III
CLOVIS, CALIFORNIA

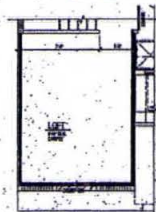
WILSON HOMES
FRESNO, CALIFORNIA

[illegible]

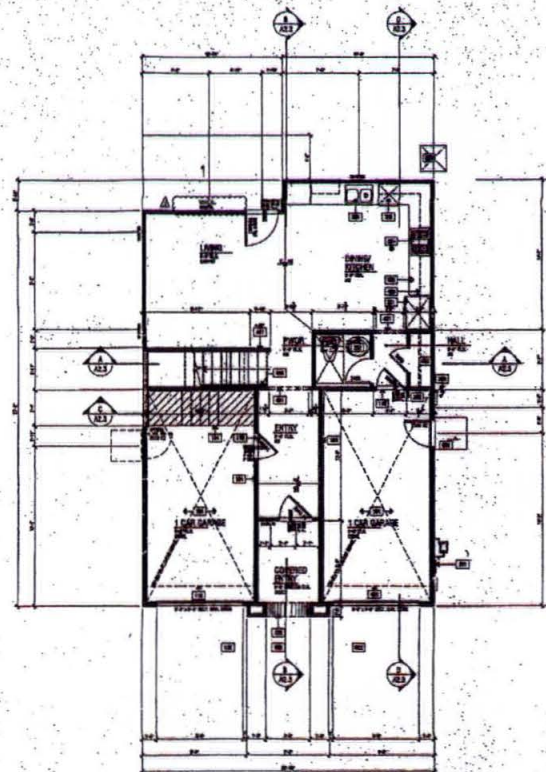
2013272 - 08-06-14



UPPER FLOOR PLAN



OPT. LOFT FLOOR PLAN



LOWER FLOOR PLAN

FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
3. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
4. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
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10. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
11. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
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16. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
17. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
18. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
19. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
20. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.

FLOOR PLAN KEY NOTES

1. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
2. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
3. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
4. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.
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20. FINISH FLOOR IS 1/2" THICK CONCRETE ON 4" THICK REINFORCED CONCRETE SLAB.

REVISIONS

NO.	DATE	DESCRIPTION
1	10-24-14	AS BUILT

FLOOR AREA TABLE

AREA	PLAN 1413A
LOWER FLOOR PLAN	888 SQ. FT.
UPPER FLOOR PLAN	107 SQ. FT.
TOTAL	995 SQ. FT.
COVERED PATIO/DECK	10 SQ. FT.

WILLIAM HERRERA-ALLEN
ARCHITECT, INC.
1000 N. G STREET, SUITE 100
FRESNO, CALIFORNIA 93703

TRACT NUMBER
PROJECT TYPE

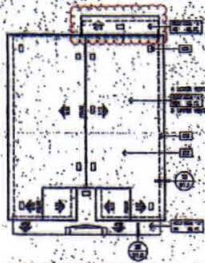
- PLAN 1413
ELEVATIONS III
CLAVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

SCALE: 1/4" = 1' - 0"

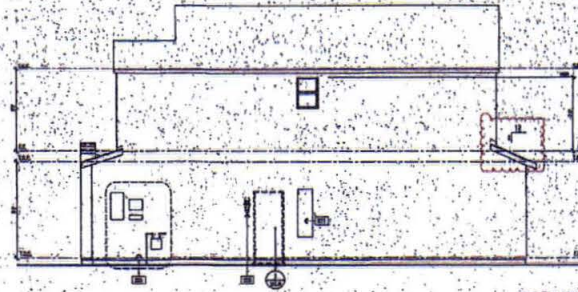
DATE: 10-24-14 **REV:** A2.1

2013272-10-24-14

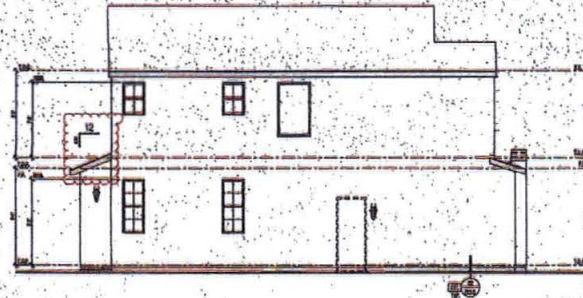


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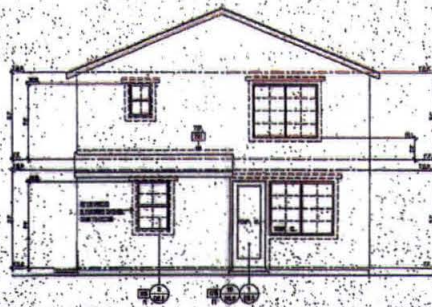
ROOF PLAN		SCALE: 1/8" = 1'-0"	
NO.	DESCRIPTION	DATE	BY
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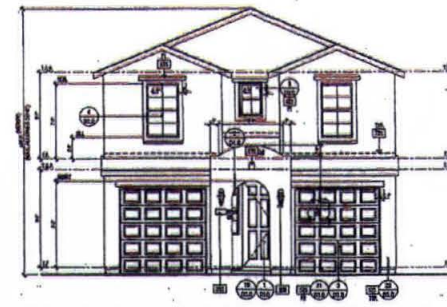
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REAR



FRONT

ELEVATION KEY NOTES	
1	REVISION
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9	REVISION
10	REVISION



TRACT NUMBER
PROJECT TYPE

ELEVATIONS III
PLAN 1413
CLONE, CALIFORNIA

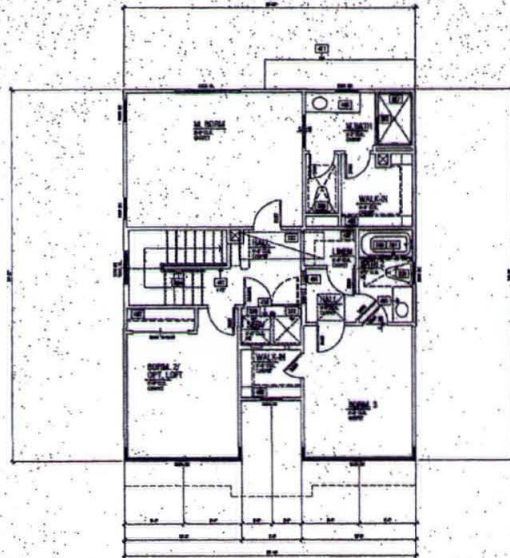
WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS	
NO.	DESCRIPTION
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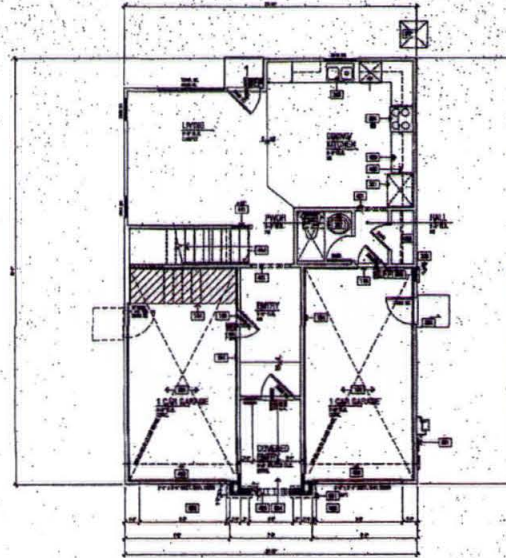
SCALE: 1/4" = 1'-0"

ELEVATIONS III
PLAN 1413A

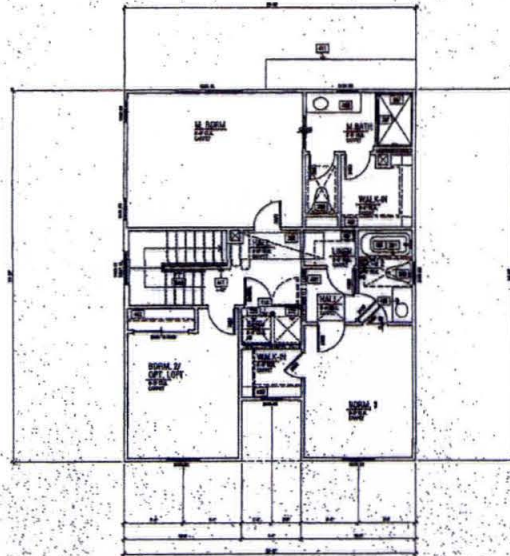
2013272 - 08-06-14



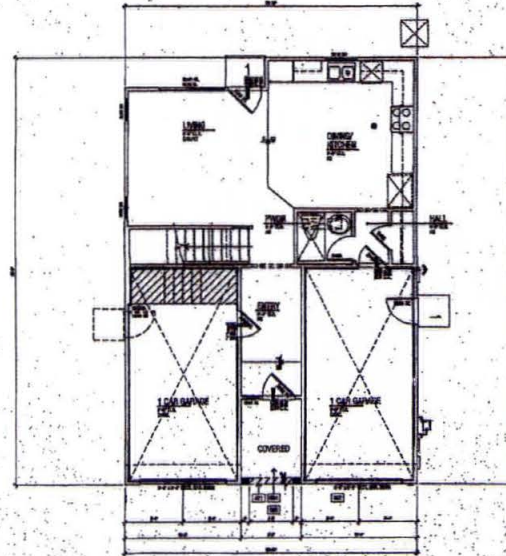
UPPER FLOOR PLAN 2C



LOWER FLOOR PLAN 2C



UPPER FLOOR PLAN 2B



LOWER FLOOR PLAN 2B

FLOOR PLAN KEY NOTES	
1. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.	
2. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.	
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WILLIAMS DESIGN GROUP
ARCHITECTS
1000 N. G STREET, SUITE 100
FRESNO, CALIFORNIA 93703
TEL: (559) 233-1111
WWW.WILLIAMSDESIGNGROUP.COM



TRACT NUMBER
PROJECT TYPE

FLOOR AREA TABLE	PLAN 2C
LOWER FLOOR PLAN	300 - SQ. FT.
UPPER FLOOR PLAN	287 - SQ. FT.
TOTAL	587 - SQ. FT.
GARAGE	400 - SQ. FT.
COVERED PATIO/DECK	100 - SQ. FT.

REQUIRED FLOOR CLEARANCES
AT WATER CLOSETS - TYPICAL



ADDENDA FLOOR PLAN NOTES	
1. SEE ADDENDA FLOOR PLAN FOR NOTES THAT ARE DIFFERENT FROM THE FLOOR PLAN.	
2. SEE ADDENDA FLOOR PLAN FOR NOTES THAT ARE DIFFERENT FROM THE FLOOR PLAN.	
3. SEE ADDENDA FLOOR PLAN FOR NOTES THAT ARE DIFFERENT FROM THE FLOOR PLAN.	
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FLOOR PLAN NOTES	
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10. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.	

FLOOR AREA TABLE	PLAN 2B
LOWER FLOOR PLAN	300 - SQ. FT.
UPPER FLOOR PLAN	287 - SQ. FT.
TOTAL	587 - SQ. FT.
GARAGE	400 - SQ. FT.
COVERED PATIO/DECK	100 - SQ. FT.

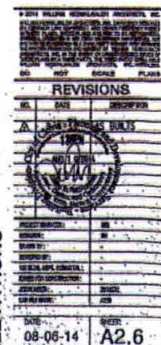
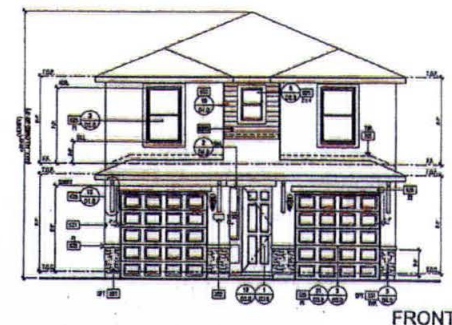
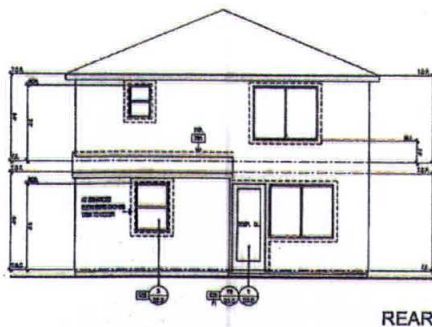
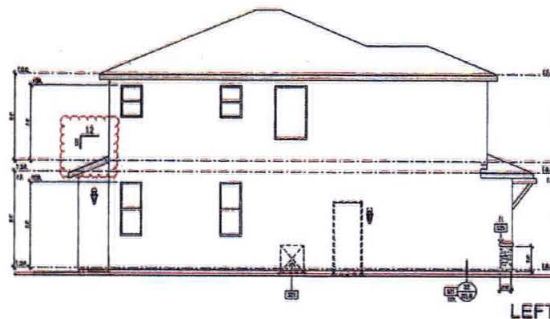
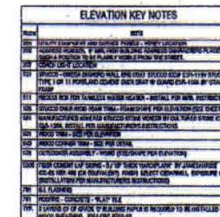
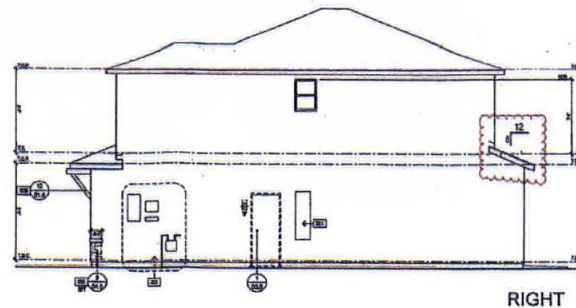
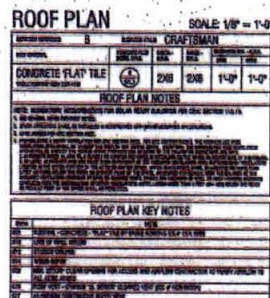
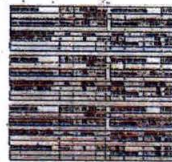
SCALE: 1/4" = 1'-0"

PLAN 1413
ELEVATIONS III
CLAMS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA
PLAN 1413B, PLAN 1413C

REVISIONS

NO.	DATE	DESCRIPTION
1	08-06-14	ISSUED FOR PERMIT
2	08-06-14	ISSUED FOR PERMIT
3	08-06-14	ISSUED FOR PERMIT
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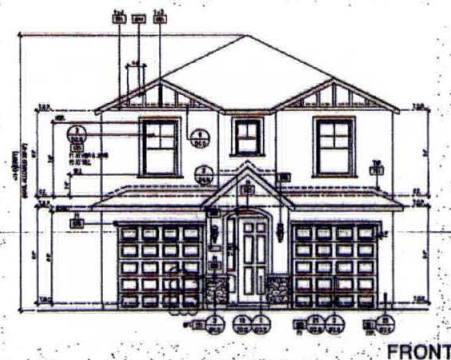
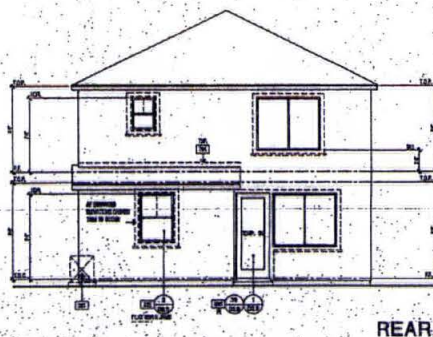
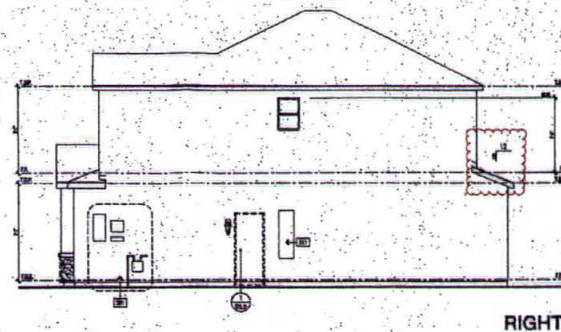
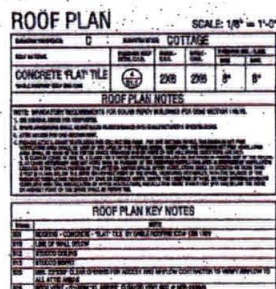
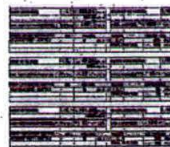
2013272-08-06-14



ELEVATIONS

SCALE: 1/4" = 1'-0"

2013272-08-06-14

[illegible]

WILLIAM H. H. ARCHITECTS INC.
 1000 WEST 10TH AVENUE SUITE 1000
 DENVER, CO 80202-1000

TRACT NUMBER	PROJECT TYPE
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ELEV8IONS III
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

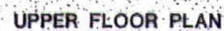
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ELEVATIONS - PLAN 2C

08-06-14 A2.7

013272 08-08-14

SCALE: 1/4" = 1'-0"

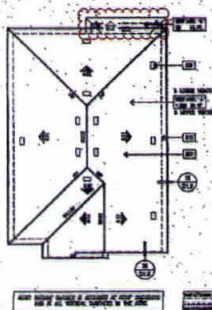



INTERIOR ELEVATION KEY
REQUIRED FLOOR CLEARANCES
AT WATER CLOSET - PHYSICAL


FLOOR AREA TABLE		PLAN 1648
LOWER FLOOR PLAN	1000	SQ. FT.
SEWER FLOOR PLAN	200	SQ. FT.
TOTAL	1200	SQ. FT.
GARAGE	200	SQ. FT.
COARDED DISTANCE	100	SQ. FT.

**WILSON HOMES,
FRESNO, CALIFORNIA**

[illegible]



ROOF PLAN SCALE: 1/4" = 1'-0"

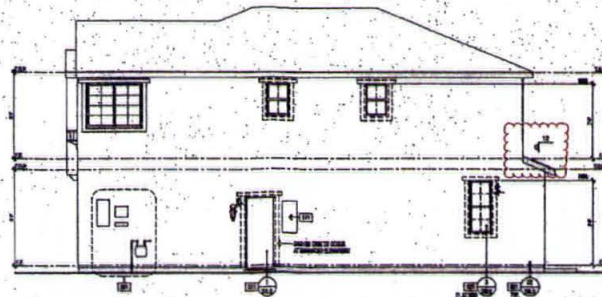
DESCRIPTION	QUANTITY	UNIT	NOTES
CONCRETE 12" TILE	228	SQ	1-2" TIGHT

ROOF PLAN NOTES

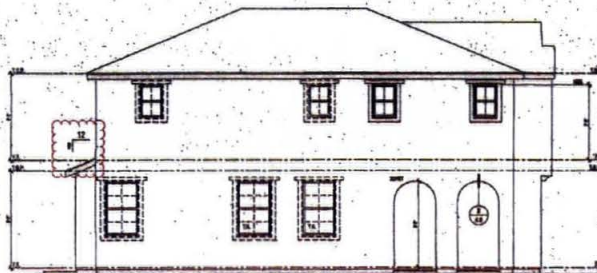
1. ROOFING MATERIALS AND METHODS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS.
2. ROOFING SHALL BE INSTALLED OVER A SMOOTH, IMPERMEABLE MEMBRANE.
3. ROOFING SHALL BE INSTALLED OVER A SMOOTH, IMPERMEABLE MEMBRANE.
4. ROOFING SHALL BE INSTALLED OVER A SMOOTH, IMPERMEABLE MEMBRANE.
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ROOF PLAN KEY NOTES

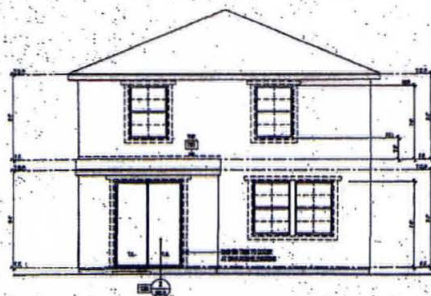
1. ROOFING SHALL BE INSTALLED OVER A SMOOTH, IMPERMEABLE MEMBRANE.
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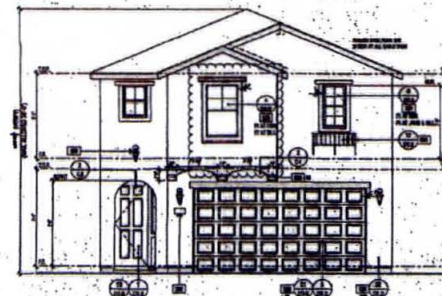
RIGHT



LEFT



REAR



FRONT

ELEVATION KEY NOTES

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TRACT NUMBER
PROJECT TYPE

- PLAN 1648

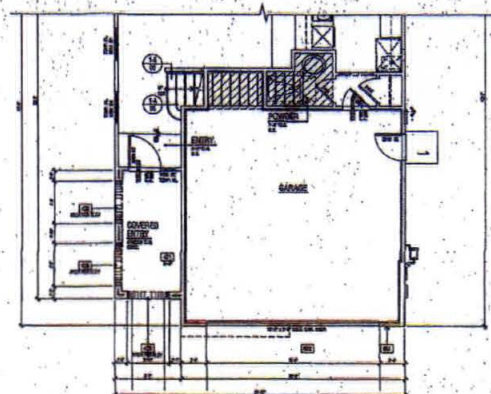
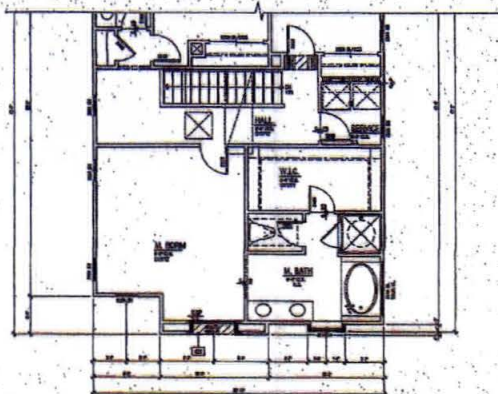
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION
1	08-06-14	ISSUED FOR PERMIT

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



FLOOR PLAN KEY NOTES	
Code	Notes
000	CONCRETE DRIVE BY OTHERS
001	CONCRETE WALK BY OTHERS
002	CONCRETE PAVES IN AN OTHERS BLOK OF PAVES FOR (MATERIALS)
003	CONCRETE DRIVE BY OTHERS
004	CONCRETE DRIVE BY OTHERS
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W
WILLIAM HERZMAHLER
ARCHITECTS INC.
3000 LEXINGTON AVENUE, SUITE 200, NEW YORK, NY 10017
212 692 1200 FAX 212 692 1201 www.willherz.com 800 451 5555



TRACT NUMBER	PROJECT TYPE
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FLOOR AREA TABLE	PLAN 1680C
UPPER FLOOR PLAN	699 SQ. FT.
UPPER FLOOR PLAN	1,049 SQ. FT.
TOTAL	1,748 SQ. FT.
BASE	637 SQ. FT.
COVERED ENCLOSURE	71 SQ. FT.

REQUIRED FLOOR CLEARANCES
AT WATER CLOSETS - TYPICAL



ADDENDA FLOOR PLAN NOTES

NOTE: SHADER HATCHES INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A-1 FOR ADDITIONAL NOTES AND DIMENSIONS.

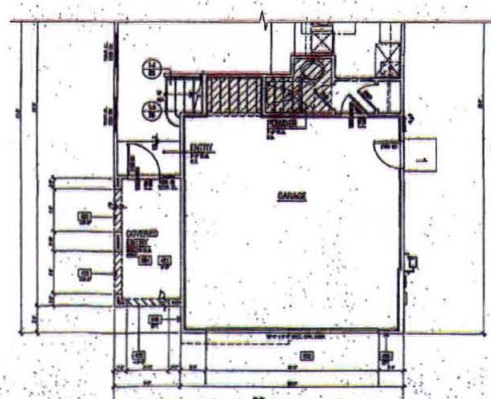
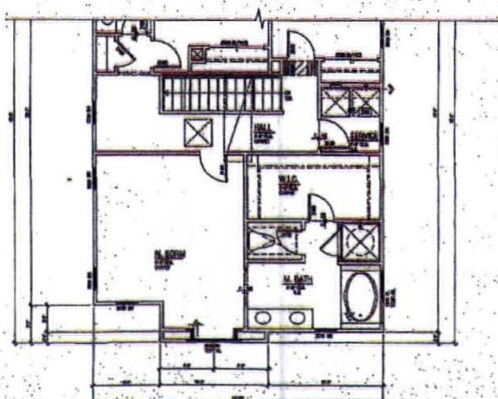


INTERIOR ELEVATION NET

[illegible]

FLOOR AREA TABLE		PLAN 16608
LOWER FLOOR PLAN	100	SQ. FT.
UPPER FLOOR PLAN	100	SQ. FT.
TOTAL	200	SQ. FT.
ROOFING	100	SQ. FT.
COVERED OUTDOOR	74	SQ. FT.

SCALE: 1/4" = 1'-0"



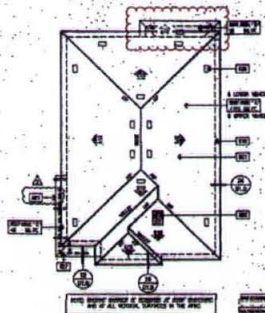
- PLAN 1648

GLOVIS, CALIFORNIA
WILSON HOMES
PRESNO, CALIFORNIA

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PROJECT NUMBER:	00
DRAWING:	01
REVISION:	
ISSUED BY:	
FOR: B&B, INC., ALABAMA	
QUANTITY OF CONNECTIONS:	1
JOB NUMBER:	19-0001
CITY AND STATE:	ANN
DATE:	08-06-14
WELL:	A3.5

71171111
2013272 - 08-06-14



ROOF PLAN

DESCRIPTION	QUANTITY	UNIT	SCALE
CONCRETE PLANT TILE	225	SQ	1'-0"
WOOD SHAKES (SHEDS)	225	SQ	1'-0"

ROOF PLAN NOTES

1. ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.

2. ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.

3. ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.

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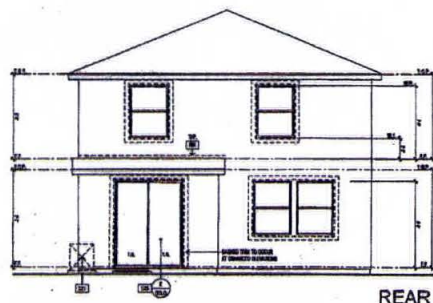
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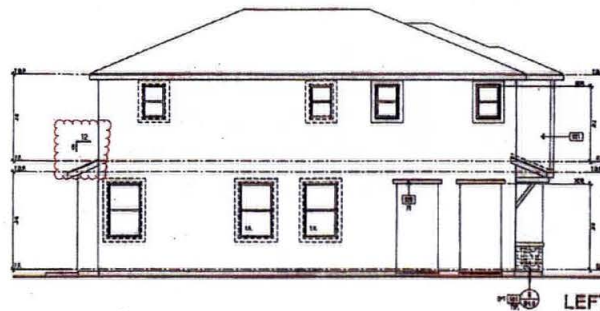
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10. ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.

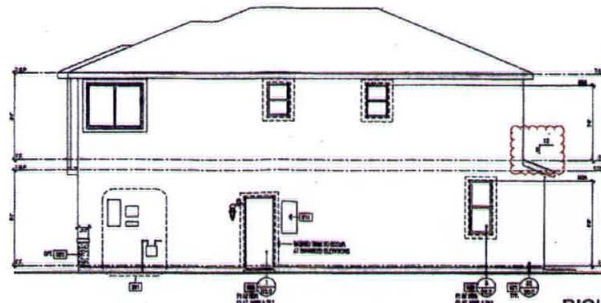
DESCRIPTION	QUANTITY	UNIT	SCALE
CONCRETE PLANT TILE	225	SQ	1'-0"
WOOD SHAKES (SHEDS)	225	SQ	1'-0"



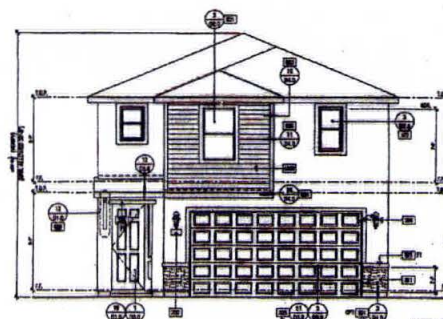
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RIGHT



FRONT

NO.	DESCRIPTION
1	ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.
2	ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.
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9	ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.
10	ROOF SHAKES TO BE INSTALLED OVER CONCRETE PLANT TILE.

- PLAN 1648

CLOVIS, CALIFORNIA
WILSON HOMES
PRESNO, CALIFORNIA

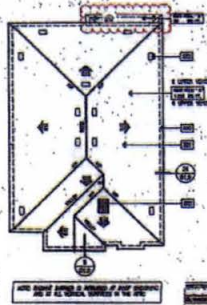
ELEVATIONS - PLAN 1648B

NO.	DESCRIPTION	DATE
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9	REVISIONS	
10	REVISIONS	

SCALE: 1/4" = 1'-0"

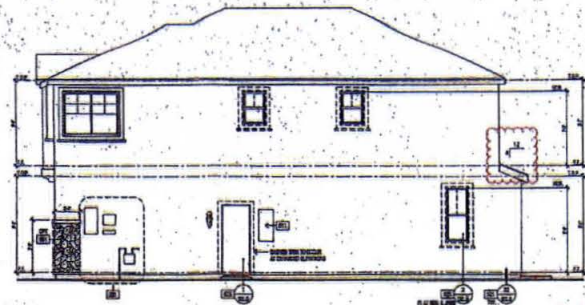
08-08-14 A3.6

2013272 - 08-08-14



ROOF PLAN SCALE: 1/8" = 1'-0"

PROJECT	WILSON HOMES
DATE	08-06-14
CONCRETE FLAT TILE	240 240 8" 8"
<p>ROOF PLAN NOTES</p> <p>1. ALL ROOFING MATERIALS TO BE AS SHOWN ON THE ROOF PLAN.</p> <p>2. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.</p> <p>3. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.</p> <p>4. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REQUIREMENTS.</p> <p>5. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL HEALTH DEPARTMENT REQUIREMENTS.</p> <p>6. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL ENVIRONMENTAL REQUIREMENTS.</p> <p>7. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL HISTORIC PRESERVATION REQUIREMENTS.</p> <p>8. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL LANDMARK REQUIREMENTS.</p> <p>9. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL MONUMENT REQUIREMENTS.</p> <p>10. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>11. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>12. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>13. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>14. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>15. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>16. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>17. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>18. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>19. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>20. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p>	
<p>ROOF PLAN KEY NOTES</p> <p>1. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>2. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>3. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>4. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>5. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>6. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>7. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>8. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>9. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>10. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>11. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>12. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>13. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>14. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>15. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>16. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>17. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>18. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>19. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p> <p>20. ALL ROOFING MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.</p>	



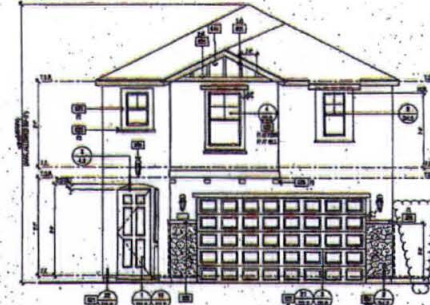
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ELEVATION KEY NOTES

1. ALL ELEVATION MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL NATIONAL MONUMENT REQUIREMENTS.
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WILSON HOMES
ARCHITECTS, P.C.
1000 WILSON DRIVE, SUITE 100
PACIFIC PALISADES, CA 91368



TRACT NUMBER
PROJECT TYPE

- PLAN 1648

CLOVIS, CALIFORNIA
WILSON HOMES
PACIFIC PALISADES, CALIFORNIA



REVISIONS

NO.	DATE	DESCRIPTION
1	08-06-14	ISSUED FOR PERMITS
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19	08-06-14	ISSUED FOR PERMITS
20	08-06-14	ISSUED FOR PERMITS

ELEVATIONS - PLAN 1648C

SCALE: 1/4" = 1'-0"

2013272 - 08-06-14

UPPER FLOOR PLAN

OPT. LOFT FLOOR PLAN

LOWER FLOOR PLAN

[illegible]

WILLIAM H. H. ARCHITECTS INC.
200 HUNTER STREET SUITE 200 LAUREL HILLS, CALIFORNIA
92037-1000 TEL: 949/453-1100 FAX: 949/453-1101



TRACT NUMBER
PROJECT TYPE

PLAN 1660

GLOVIS, CALIFORNIA

**WILSON HOMES
FRESNO, CALIFORNIA**



REQUIRED FLOOR CLEARANCES
AT WATER CLOSETS - TYPICAL



FLOOR AREA TABLE	PLAN 1
LOWER FLOOR PLAN	600 SQ. FT.
UPPER FLOOR PLAN	1,000 SQ. FT.
TOTAL	1,600 SQ. FT.
GARAGE	400 SQ. FT.
COVERED ENTRY PORCH	80 SQ. FT.

SCALE: 1/4" = 1'-0"

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REVISIONS		
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2013272--08-06-14

[illegible]

SCALE: 1/8" = 1'-0"

[illegible]

ROOF PLAN KEY NOTES

[illegible]

ELEVATION KEY NOTES	
DATE	NOTE
1/20	ADDITIONAL ELEVATION DATA FROM PLOT - NORTH BRANCH
2/20	ADDITIONAL ELEVATION DATA FROM PLOT - NORTH BRANCH
3/20	ADDITIONAL ELEVATION DATA FROM PLOT - NORTH BRANCH
4/20	ADDITIONAL ELEVATION DATA FROM PLOT - NORTH BRANCH
5/20	ADDITIONAL ELEVATION DATA FROM PLOT - NORTH BRANCH
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20/20	ADDITIONAL ELEVATION DATA FROM PLOT - NORTH BRANCH



TRACT NUMBER	PROJECT TYPE
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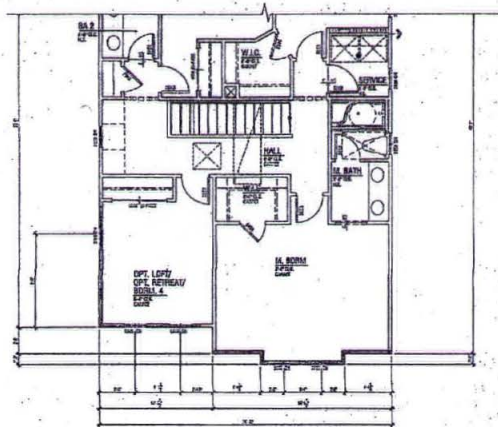
ELEV8IONS III
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

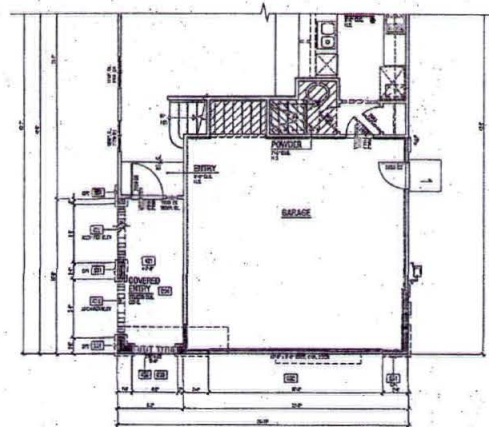
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2013272 - 08-06-14

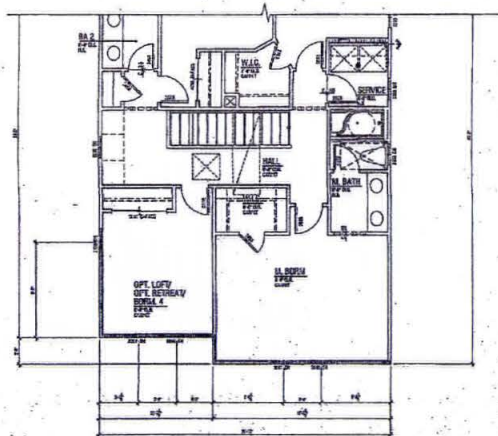
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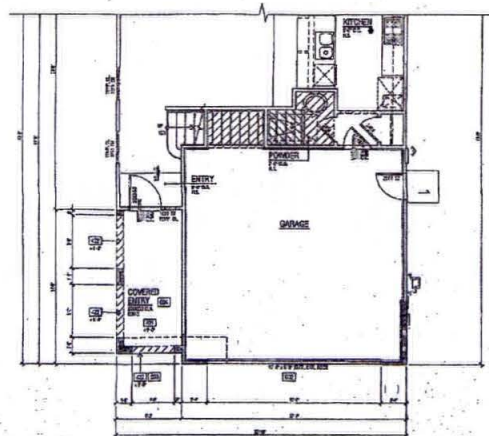
UPPER FLOOR PLAN 4C



LOWER FLOOR PLAN 1660C



UPPER FLOOR PLAN 4B



LOWER FLOOR PLAN 1660B

FLOOR PLAN KEY NOTES	
101	SEE SHEET 102 FOR DETAILS
102	SEE SHEET 103 FOR DETAILS
103	SEE SHEET 104 FOR DETAILS
104	SEE SHEET 105 FOR DETAILS
105	SEE SHEET 106 FOR DETAILS
106	SEE SHEET 107 FOR DETAILS
107	SEE SHEET 108 FOR DETAILS
108	SEE SHEET 109 FOR DETAILS
109	SEE SHEET 110 FOR DETAILS
110	SEE SHEET 111 FOR DETAILS
111	SEE SHEET 112 FOR DETAILS

FLOOR AREA TABLE	PLAN 1660C
LOWER FLOOR PLAN	559 SQ. FT.
UPPER FLOOR PLAN	1,046 SQ. FT.
TOTAL	1,605 SQ. FT.
SHADE	427 SQ. FT.
COVERED GARAGE/POORCH	89 SQ. FT.

REQUIRED FLOOR CLEARANCES
AT WATER CLOSURES - TYPICAL



ADDENDA FLOOR PLAN NOTES
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
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FLOOR PLAN NOTES
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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FLOOR AREA TABLE	PLAN 1660B
LOWER FLOOR PLAN	559 SQ. FT.
UPPER FLOOR PLAN	1,046 SQ. FT.
TOTAL	1,605 SQ. FT.
SHADE	427 SQ. FT.
COVERED GARAGE/POORCH	89 SQ. FT.

SCALE: 1/4" = 1' - 0"

WILLIAM FREDERICKSON
 ARCHITECT
 1000 N. G ST. SUITE 100
 FRESNO, CA 93703
 (559) 233-1111



TRACT NUMBER
PROJECT TYPE

ELEVATIONS III
 CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

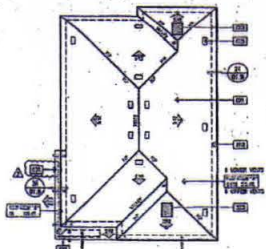
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NO.	DATE	REVISIONS
1	08-06-14	ISSUED FOR PERMIT

PLAN 1660B & PLAN 1660C

2013272 - 08-06-14



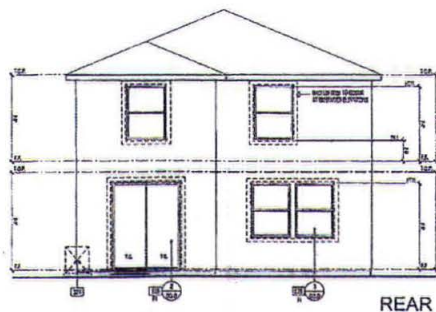
NOTE: ROOF PLAN SHOWN IN SECTION AT JUMP & JUMP
AND AT ALL VERTICAL SECTIONS IN THE SET

PROJECT NO.	11000000	DATE	08-06-14
PROJECT NAME	WILSON HOMES	PROJECT TYPE	RESIDENTIAL
PROJECT ADDRESS	11000000	PROJECT CITY	FRESNO, CA
PROJECT STATE	CA	PROJECT ZIP	93705
PROJECT COUNTY	FRESNO	PROJECT ELEVATION	0.00
PROJECT LOT	11000000	PROJECT AREA	0.00
PROJECT PERMIT	11000000	PROJECT DATE	08-06-14
PROJECT OWNER	WILSON HOMES	PROJECT ARCHITECT	WILSON HOMES
PROJECT ENGINEER	WILSON HOMES	PROJECT CONTRACTOR	WILSON HOMES
PROJECT SUBMITTER	WILSON HOMES	PROJECT REVIEWER	WILSON HOMES
PROJECT APPROVER	WILSON HOMES	PROJECT SIGNATURE	WILSON HOMES

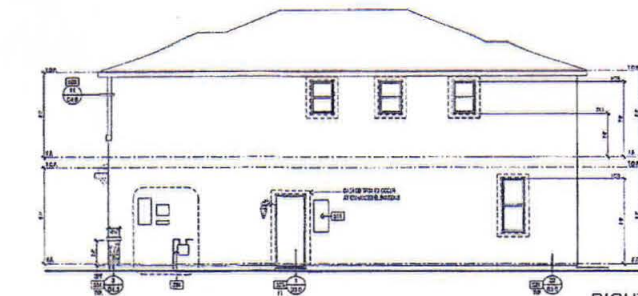
ROOF PLAN

SCALE: 1/8" = 1'-0"

CONCRETE FLAT TILE	2X8	2X8	1'-0"	1'-0"
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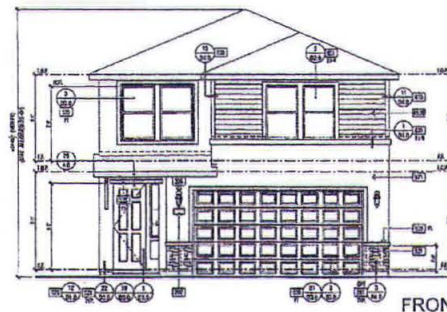
REAR



RIGHT



LEFT



FRONT

ELEVATION KEY NOTES
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WILSON HOMES
ARCHITECTS INC.
FRESNO, CALIFORNIA



TRACT NUMBER
PROJECT TYPE

ELEVATIONS III
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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DATE	BY	REVISION
08-06-14	A4.6	

SCALE: 1/4" = 1'-0"

ELEVATIONS - PLAN 1660B

2013272 - 08-06-14

[illegible]

SCALE: 1/8" = 1'-0"

[illegible]

SCALE: 1/4" = 1'-0"

[illegible]

**WILLIAM HERMALDO
ARCHITECTS INC.**
2105 ANDERSON AVENUE SUITE 200 SAN JOSE, CA 95128
408.333.0237 www.hermaldo.com fax 408.333.0238



TRACT NUMBER	PROJECT TYPE
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ELEV8IONS III
CLOVIS, CALIFORNIA

**WILSON HOMES
FRESNO, CALIFORNIA**

1-2015 TRAINING DEVELOPMENTAL APPROPRIATE, INC.
 10000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 (303) 755-1000
 WWW.TDAPRO.COM
 1-800-451-1000

REVISIONS
 NO. DATE DESCRIPTION
 1 8-5-14 AS BUILT
 2 10-10-14

PROJECT NUMBER: 10000 W. 10TH AVE. SUITE 100
 LOCATION: DENVER, CO
 DRAWING BY: TDAPRO
 CHECKED BY: TDAPRO
 APPROVED BY: TDAPRO
 DATE: 10-10-14

DATE: 08-06-14 SHEET: A4.7

2013272--08-06-14

ALLUVIAL AVE.

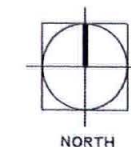


TRACT 6202
Wilson Homes

LANDSCAPE PLAN

Date: 02-28-18

EXHIBIT E



BROUSSARD
ASSOCIATES
landscape architects



TRACT 6202
Wilson Homes

LINEAR PARK PERSPECTIVE

EXHIBIT F
BROUSSARD
ASSOCIATES
landscape architects

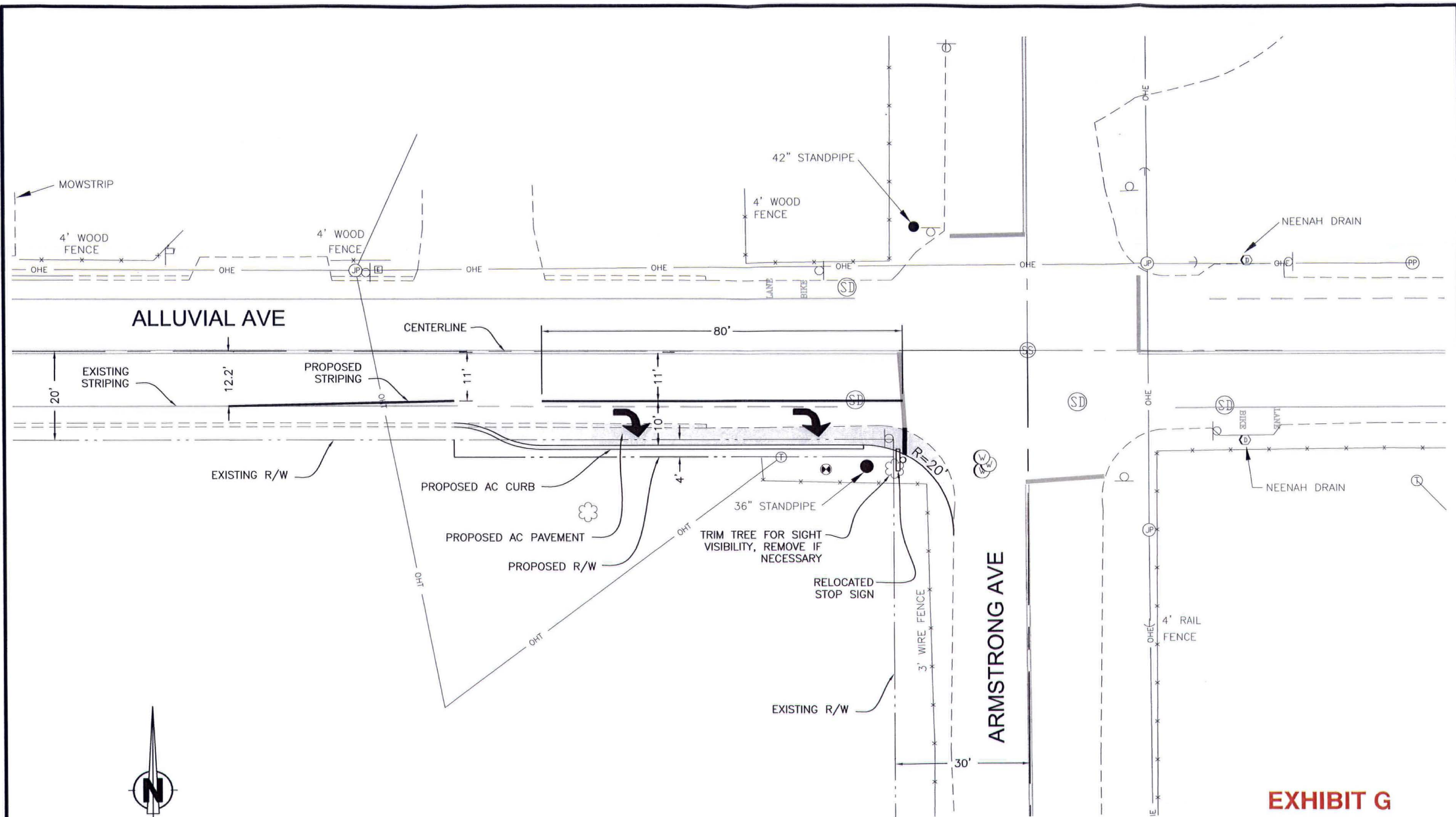


EXHIBIT G

ALLUVIAL & ARMSTRONG RIGHT TURN



Harbour & Associates
 Civil Engineers
 389 Clovis Avenue, Suite 300 • Clovis, California 93612
 (559) 325-7676 • Fax (559) 325-7699 • e-mail ha_ce@msn.com

SCALE:
 1"=20'
 DATE:
 3-28-18

FWLER AVE

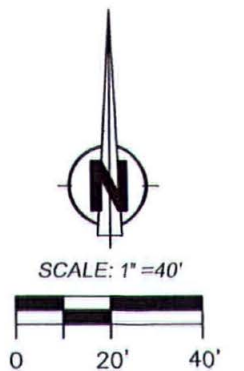
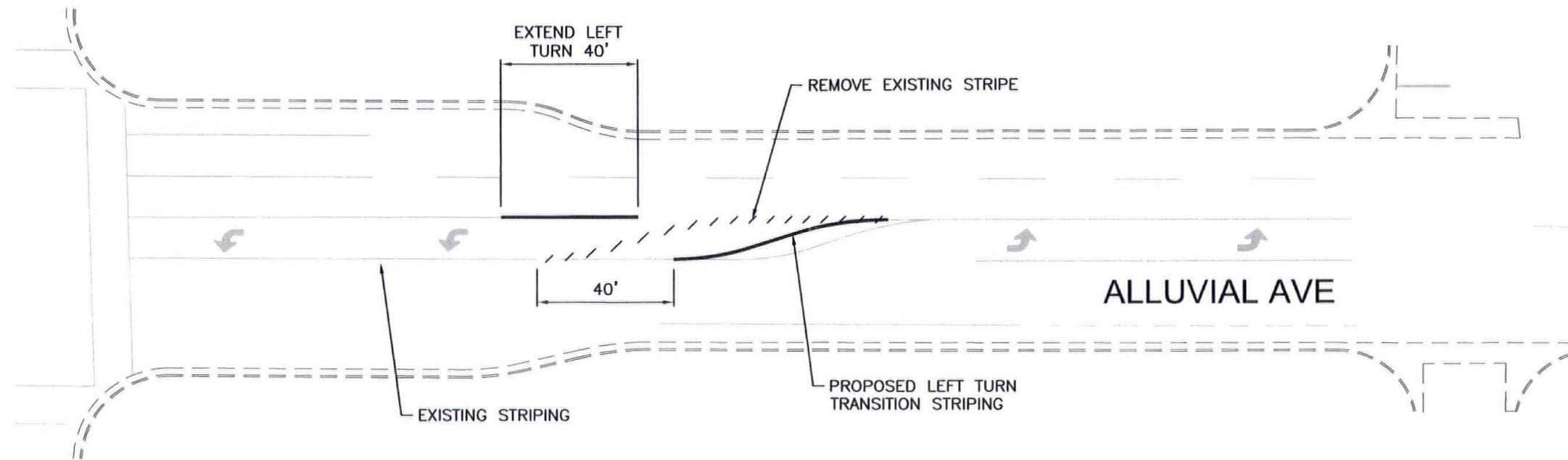
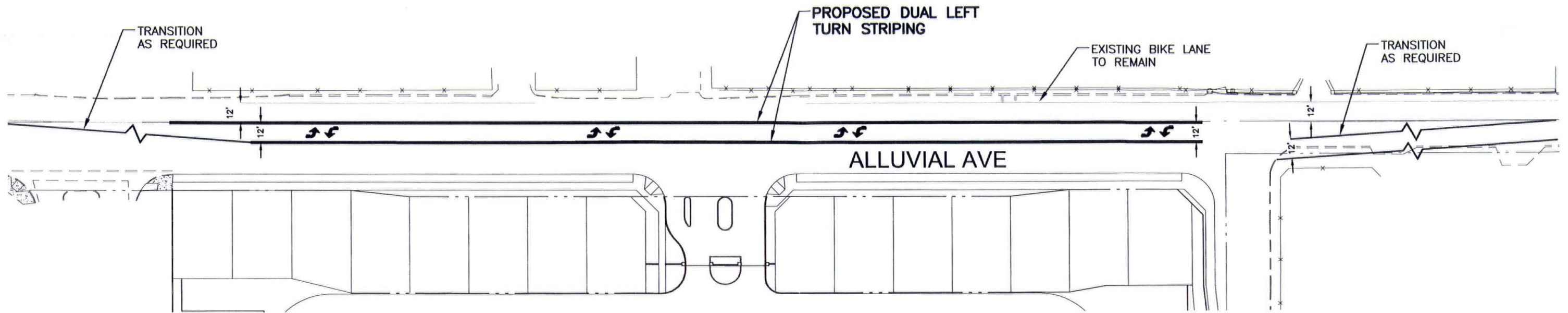


EXHIBIT H

ALLUVIAL LEFT TURN EXTENSION		
	Harbour & Associates Civil Engineers 389 Clovis Avenue, Suite 300 • Clovis, California 93612 (559) 325-7676 • Fax (559) 325-7699 • e-mail: ha_ce@msn.com	
	SCALE: 1"=40'	DATE: 3-30-18



SCALE: 1" = 60'

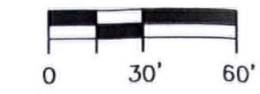
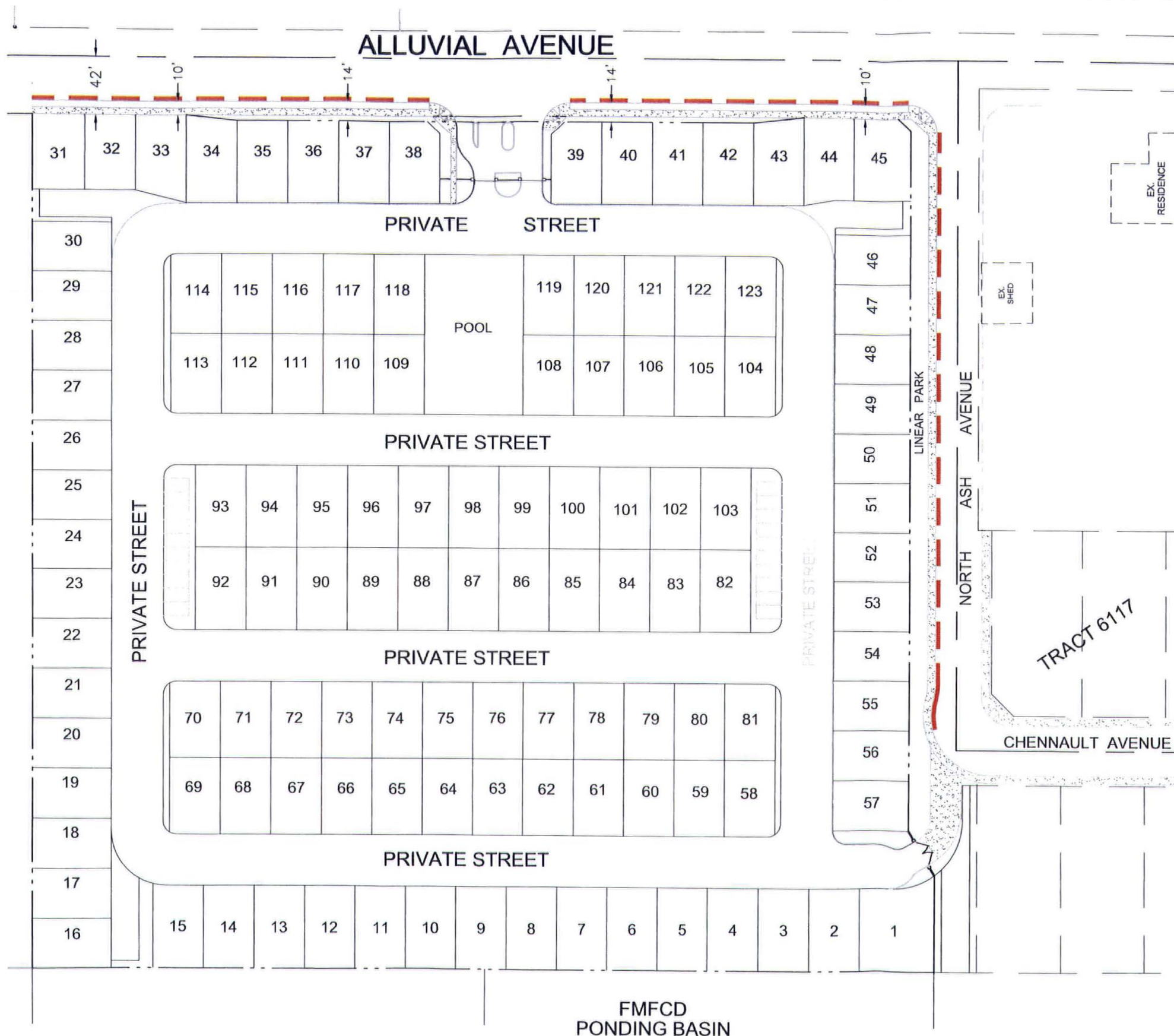


EXHIBIT I

Tr.6202 ALLUVIAL DUAL LEFT EXHIBIT	
 Harbour & Associates Civil Engineers 389 Clovis Avenue, Suite 300 • Clovis, California 93612 (559) 325-7676 • Fax (559) 325-7699 • e-mail ha_ce@msn.com	SCALE: 1"=60'
	DATE: 3-30-18



LEGEND

--- RED CURB/NO PARKING

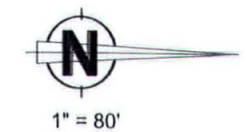


EXHIBIT K

NO PARKING EXHIBIT



Harbour & Associates
 Civil Engineers
 389 Clovis Avenue, Suite 300 • Clovis, California 93612
 (559) 325-7676 • Fax (559) 325-7699 • e-mail ha_ce@msn.com

SCALE:
 1"=60'
 DATE:
 3-30-18



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: April 9, 2018

SUBJECT: Consider - Budget Discussion, Update, Priorities and Provide Policy Direction.

City Manager Luke Serpa and Finance Director Jay Schengel will give a verbal presentation on this item. Please direct questions to the City Manager's office at 559-324-2060.



AGENDA ITEM NO: **4-A**
City Manager: LS

CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: April 9, 2018

SUBJECT: Consider Approval – Appointments to Personnel and Planning Commissions

ATTACHMENT: Application/Resume of Scott Fetterhoff

CONFLICT OF INTEREST

None.

RECOMMENDATION

For the Mayor, subject to approval by the City Council, to make appointments to the Personnel and Planning Commissions.

EXECUTIVE SUMMARY

There is an opening on the Personnel Commission due to the expired term of office of Kevin Dale, and he has requested not to be reappointed. Mayor Whalen conducted interviews with interested applicants, and is recommending the appointment of Scott Fetterhoff as Personnel Commissioner. (Please find attached the Application/Resume of Mr. Fetterhoff.) If appointed, his term of office will expire in May of 2022. Three other Personnel Commissioners' terms of office expire in May, and they have all requested to be reappointed. Mayor Whalen is recommending the reappointment of Jerry Schuber, Kari Mercer and Darren Rose as Personnel Commissioners.

Two Planning Commissioners' terms of office expire in May and they have requested to be reappointed. Mayor Whalen is recommending the reappointment of Alma Antuna and Amy Hatcher as Planning Commissioners.

BACKGROUND

Personnel Commissioner Kevin Dale's term of office expires in May and he has requested not to be reappointed. Mayor Whalen conducted interviews with interested applicants, and is recommending the appointment of Scott Fetterhoff as Personnel Commissioner. Three other Personnel Commissioners' terms of office expire in May, and they have requested reappointment. Mayor Whalen is recommending the reappointment of Jerry Schuber, Kari Mercer and Darren Rose as Personnel Commissioners. Their term of office will expire in May of 2022.

Planning Commissioners Alma Antuna and Amy Hatcher's terms of office expire in May and they have requested reappointment. Mayor Whalen is recommending the reappointment of Alma Antuna and Amy Hatcher as Planning Commissioners. Their term of office will expire in May of 2022.

FISCAL IMPACT

None.

REASON FOR RECOMMENDATION

Pursuant to Clovis Municipal Code Chapter 9.1, the Mayor, with the approval of the City Council, shall make appointment to the Personnel and Planning Commissions.

ACTIONS FOLLOWING APPROVAL

Staff will inform the appointed Personnel and Planning Commissioners of the action taken by the City Council.

Prepared by: Jacquie Pronovost, Exec. Asst.

Submitted by: Luke Serpa, City Manager 

CITY OF CLOVIS



APPLICATION FOR APPOINTMENT TO COMMISSION OR COMMITTEE

(Please complete a separate form for each commission or committee appointment desired.)

Name of commission or committee you are interested in serving on: Personnel Commission_____

Name: Scott Fetterhoff_____

Home Address: 76 West Prescott Ave_____ City: Clovis_____ Zip: 93619_____

Phone Number: 925-998-8100_____ Number of Years Clovis Resident: 10

Email Address: sfetterhoff@fresnohousing.org; scott.fetterhoff77@gmail.com_____

Current Employer & Position: Fresno Housing Authority – Director of Human Resources & Organizational Development_____

Business Address: 1331 Fulton Street, Fresno, CA 93721_____

Business Phone: 559-515-3365_____ Years/Months Employed: 2 years, 8 months_____

Please list past or present City appointments, as well as any other public service appointment or elected position held with dates served: N/A

Please list all clubs/organizations you belong to and any volunteer work you have performed:

- United Way Fresno Madera: Board of Directors
 - o UWFM: Personnel Committee
 - o UWFM: Policy / Advocacy Committee
- California Housing Worker's Compensation Authority: Board of Directors

What experience or special knowledge can you bring to your area of interest? Please list occupational experience, if applicable:

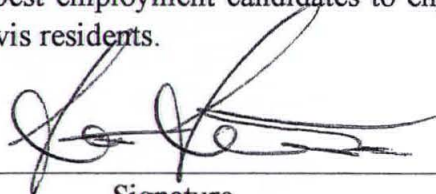
- Private sector experience (11yrs), public sector experience (almost 3yrs)
- 10 years experience in human resources and organizational development, 5 years in human resources supervisory capacity
- Central San Joaquin Valley native (raised in Lemoore, attended Lemoore HS)
- Subject matter expert: Staffing optimization, interviewing, selection and onboarding; organizational leadership; employee and labor relations, conducting investigations and preparing objective employee relations case files; training and organizational development; policy research and development

List any affiliation you believe may present a conflict with serving on a City Commission or Committee: N/A

Why do you want to be on the Commission or Committee?

I have been a resident of Clovis for 10 years, a resident of the Central San Joaquin Valley for most of my life, and was raised in Lemoore, CA by career public educators. I have been privileged and fortunate to be raised in a town and community that provided a safe environment for me to get an education, a community that has given me everything. I have the chance now to give back through public service.

I want to become a member of the City of Clovis Personnel Commission because this opportunity represents an important crossroads of my desire, need and responsibility to give back, of the professional areas I am passionate about, and of the professional areas where I am most skilled. That intersection represents a place wherein I can significantly and positively contribute to the City's ability to select the best employment candidates to engender the City's "Way of Life" and to most effectively serve Clovis residents.

A handwritten signature in black ink, appearing to be "J. L. ...", written over a horizontal line.

Signature

A handwritten date "2/28/2018" in black ink, written over a horizontal line.

Date

Scott Michael Fetterhoff

76 West Prescott Ave, Clovis, CA 93619

Phone: (925) 998-8100

scott.fetterhoff77@gmail.com

<https://www.linkedin.com/in/scott-fetterhoff-m-a-9920ab15>

Mission

To provide incomparable servant leadership by driving the cultivation and development of long term organizational capability and enablement in others.

Education

- Fresno State University - Master of Arts: Communication
- San Jose State University - Bachelor of Arts: Communication Studies

Professional Experience

- 5/15-Present **Director of Human Resources & Organizational Development:** Fresno Housing Authority (Fresno City and County, CA)
Plan, direct, and coordinate the activities of the Agency's human resources and organizational development functions. Design, implement, and lead strategies to meet the specific talent needs of the Agency. Oversee all human resources management functions, including human resources administration, employee and labor relations, risk management, training and development, organizational performance, leave case management, occupational safety, workers' compensation, recruitment and selection, benefits administration, job analysis and classification, and compensation. Identify gaps from strategic workforce planning and initiate plans to close gaps. Conduct departmental, organizational and operational studies and investigations; recommend modifications to programs, policies, and procedures as appropriate. Assist executive staff, directors, managers and staff in the interpretation of human resources policies and procedures; updates policy and procedures as needed for compliance with all federal, state, and local laws. Negotiate collective bargaining agreements with Union leadership partners; confer with legal counsel and human resource manager on the interpretation of terms and conditions of employment for staff and management based on union agreements, policies, and procedures, and applicable city, state, and federal laws.
- 10/13-5/15 **Regional Human Resource Manager:** Dollar General Corporation (CA/NV/OR emerging markets, East Coast, Southeast U.S.)
Lead the development and execution of strategic HR initiatives. Lead and implement HR functions including communication, employee and labor relations, succession planning, workforce planning, recruiting, training, leadership and organizational effectiveness, employee engagement, performance and risk management. Develop and lead change management, leadership, coaching and field training, and onboarding projects and strategies to increase productivity, efficiency and profitability. Drive high performance culture of continuous improvement through the development and use of comprehensive feedback mechanisms. Collaborate with TN-based support center workgroups (i.e. legal, payroll, compensation, HRIS, process improvement, labor and workforce planning) to consult on and implement California HR strategies, support and compliance initiatives.
- 5/12-9/13 **Human Resource & Training Representative:** Dollar General Corporation (CA/NV/OR emerging markets, East Coast, Southeast U.S.)
Drive talent acquisition, front-line and leadership retention and on-boarding, leadership development and short/long term succession strategies in two growth segments. Conduct hiring events, employee relations investigations and new leader assimilations. Design and implement company programs for on-boarding, organizational effectiveness, and leadership development. Identify barriers to change implementation, analyze organizational needs, and build high impact / lean programs. Facilitate store / district management operations and leadership development

training programs. Organize and oversee two week new Store Manager in-store training and 14 week new Store Manager on-boarding programs. Develop market training managers and District Managers to drive in-store training, computer-based learning, and new Store Manager on-boarding program execution. Drive overall training program execution, efficacy and ROI.

5/10-02/12

Change Management Representative (Sales Process & Technology): Frito-Lay North America (Western U.S.)

Participate in project planning and strategy phases. Organize and lead communication, readiness, training, implementation and sustainment phases, of large scale sales technology processes and solutions for regional and local field teams throughout the Western United States. Identify and partner with key HQ and Field stakeholders (HR, Sales Operations, and Account Mgmt teams), change agents and end users to identify communication and learning opportunities, and to determine planning, deployment and sustainment strategies. Serve as functional SME while participating in project and material design. Consult on communication and deployment strategy construction and coordination.

Achievements & Contributions

- **2018:** Appointed to California Housing Worker's Compensation Authority Board of Directors
- **2018:** Elected to serve on two United Way sub-committees (Personnel Committee, Policy/Advocacy Committee)
- **2017:** Appointed to United Way Fresno / Madera Counties Board of Directors
- **2016/2017:** Lead organizational restructure efforts two largest program administration Agency departments
- **2015:** Deployed and partnered on the development of new CA management compensation structure changes
- **2014:** Deployed new compensation and personnel management system (CA and Non-CA versions).
- **2013-2014:** Developed internal compliance and training workflows for CA stores selling alcohol.
- **2013:** Organizational development project leader for new Regional Operations Director assessment process (internal candidate development & external candidate final interview)
- **2012-2013:** Implement and re-design CA-specific leadership orientation and training program for new store and district managers
- **2012-2013:** Developed and implemented field training curriculum and training process for our point-of-sale system
- **2012:** Developed and implemented new employee orientation process.
- **2011-2012:** Managed and deployed new key account to front line management internal communication process across 3 western regions. Projected results: 6.2 hours time savings per front line sales manager per week, and a 50% reduction in paper and ink cost per sales manager across the country
- **2010-2012:** 40% increased usage in new customer ordering process, resulting in almost \$4.5 million in increased ticket sales, and approximately \$532,000 in overtime savings
- **2006-2007:** Better than 50% improvement in manager retention across two markets

Professional Learning / Certifications / Committees

- **2017:** SPHR certification in progress
- **Instructor-led, Webinar and Teleconference E-learning proficiencies:** Microsoft Lync, Webex, Captivate, LMS, Peoplesoft
- **Communication Technology / Web App / Report Building proficiencies:** Microsoft Office, SAP Business Objects, Microsoft SharePoint, PeopleSoft, Google Documents
- **2013:** Situational Leadership
- **2012/2013:** Lean Six Sigma training
- **2011:** Learning Design certification (ATD: Association for Talent Development)
- **2010:** Change Leadership certification (PepsiCo Strategic Business Innovation)
- **2010:** Project Life Cycle certification (PepsiCo Sales Processes & Technologies)