



# CITY of CLOVIS

AGENDA • CLOVIS CITY COUNCIL  
Council Chamber, 1033 Fifth Street, Clovis, CA 93612 (559) 324-2060  
[www.cityofclovis.com](http://www.cityofclovis.com)

*In compliance with the Americans with Disabilities Act, if you need special assistance to access the City Council Chamber to participate at this meeting, please contact the City Clerk or General Services Director at (559) 324-2060 (TTY – 711). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the Council Chamber.*

*Any writings or documents provided to a majority of the City Council regarding any item on this agenda will be made available for public inspection at City Hall, in the City Clerk's office, during normal business hours. In addition, such writings and documents may be posted on the City's website at [www.cityofclovis.com](http://www.cityofclovis.com).*

October 16, 2017

6:00 PM

Council Chamber

**The City Council welcomes participation at Council Meetings. Members of the public may address the Council on any item of interest to the public that is scheduled on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less, or 10 minutes per topic.**

Meeting called to order by Mayor Whalen  
Flag salute led by Councilmember Flores

## ROLL CALL

**PUBLIC COMMENTS** (This is an opportunity for the members of the public to address the City Council on any matter within the City Council's jurisdiction that is not listed on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less, or 10 minutes per topic. Anyone wishing to be placed on the Agenda for a specific topic should contact the City Manager's office and submit correspondence at least 10 days before the desired date of appearance.)

**ORDINANCES AND RESOLUTIONS** (With respect to the approval of resolutions and ordinances, the reading of the title shall be deemed a motion to waive a reading of the complete resolution or ordinance and unless there is a request by a Councilmember that the resolution or ordinance be read in full, further reading of the resolution or ordinance shall be deemed waived by unanimous consent of the Council.)

**CONSENT CALENDAR** Consent Calendar items are considered routine in nature and voted upon as one item unless a request is made to give individual consideration to a specific item. (See Attached Consent Agenda.)

## **1. PUBLIC HEARINGS**

- A. Consider items associated with approximately 38.68 acres of land located at the northwest corner of Gettysburg and Leonard Avenues. Joginder Matharu & Jaswant Chahal-Matharu Family Trust, owners; Tri-Wilson, L.P., applicant; Harbour & Associates, representative. (Staff: G. Gonzalez)
  - 1. Consider Introduction - Ord. 17-\_\_\_\_, R2016-17, A request to approve an amendment to the Master Plan Community (M-P-C) Zone District to modify the Circulation Plan and Planning Areas #7, #8 and #9 within the Loma Vista Community Center South. Additionally, create two new Planning Areas within the Loma Vista Community Center South, titled Planning Area #7A and Planning Area #8A. Planning Area #7A and Planning Area #8A are proposed to be classified to the R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential) Zone Districts, respectively.
  - 2. Consider Approval - Res. 17-\_\_\_\_, TM6168, A request to approve a vesting tentative tract map for a 200-lot, gated, single-family residential subdivision.
- B. Consider Introduction - Ord. 17-\_\_\_\_, R2017-13, A request to approve a prezone of approximately 10.61 acres of land located near the southwest corner of Ashlan and Thompson Avenues from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential) Zone District. Roman Catholic Bishop of Fresno, owner; Divine Mercy Catholic Church, applicant; Harbour & Associates, representative. (Staff: G. Gonzalez)
- C. Consider Introduction - Ord. 17-\_\_\_\_, R2017-09, A request to approve a rezone from the R-A (Single Family Residential - 24,000 Sq. Ft.) Zone District to the R-1-7500 (Single Family Residential – 7,500 Sq. Ft.) Zone District for approximately one acre of property located at 3072 De Wolf Avenue. Ekam Construction, Inc, owner/applicant; Dale G. Mell & Associates, representative. (Staff: O. Ramirez)

## **2. CITY MANAGER COMMENTS**

## **3. COUNCIL ITEMS**

- A. Council Comments

## **4. CLOSED SESSION**

- A. Government Code Section 54957.6  
CONFERENCE WITH LABOR NEGOTIATORS  
Agency Designated Representatives: L. Serpa, L. Shively  
Employee Organization: Clovis Fire Fighters Association

## **ADJOURNMENT**



<b>Meetings and Key Issues</b>			
Nov. 6, 2017 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Nov. 13, 2017 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Nov. 20, 2017 (Mon.)	6:00 P.M.	Regular Meeting (To Be Cancelled)	Council Chamber
Dec. 4, 2017 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Dec. 11, 2017 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Dec. 18, 2017 (Mon.)	6:00 P.M.	Regular Meeting (To Be Cancelled)	Council Chamber
Jan. 2, 2018 (Tue.)	6:00 P.M.	Regular Meeting	Council Chamber
Jan. 8, 2018 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Jan. 16, 2018 (Tue.)	6:00 P.M.	Regular Meeting	Council Chamber

**CONSENT CALENDAR** - Items considered routine in nature are to be placed upon the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Councilmember requests individual consideration. A Councilmember's vote in favor of the Consent Calendar is considered and recorded as a separate affirmative vote in favor of each action listed. Motions in favor of adoption of the Consent Calendar are deemed to include a motion to waive the reading of any ordinance or resolution on the Consent Calendar. For adoption of ordinances, only those that have received a unanimous vote upon introduction are considered Consent items.

**A. CITY CLERK**

- 1) Approval - Minutes for the October 9, 2017 Council meeting.

**B. ADMINISTRATION**

- 1) No items.

**C. COMMUNITY AND ECONOMIC DEVELOPMENT**

- 1) No items.

**D. FINANCE**

- 1) No items.

**E. GENERAL SERVICES**

- 1) No items.

**F. PLANNING AND DEVELOPMENT SERVICES**

- 1) Approval – Res. 17-\_\_\_\_, Final Map for Tract 6170, located on the southwest corner Santa Ana Avenue and Sierra Vista Parkway (BN Micro LP – Bonadelle Neighborhoods).
- 2) Approval – Res. 17-\_\_\_\_, Annexation of Proposed Tract 6170, located on the southwest corner Santa Ana Avenue and Sierra Vista Parkway, to the Landscape Maintenance District No. 1 of the City of Clovis (BN Micro LP – Bonadelle Neighborhoods).

**G. PUBLIC SAFETY**

- 1) Approval – Res. 17-\_\_\_\_, Amending the Police Department's Budget for FY 2017-2018 to reflect the grant award from the Office of Traffic Safety Selective Enforcement Traffic Program in the amount of \$90,000.00.

**H. PUBLIC UTILITIES**

- 1) No items.

**I. REDEVELOPMENT SUCCESSOR AGENCY**

- 1) No items.

**CLOVIS CITY COUNCIL MEETING**

**October 9, 2017**

**6:00 P.M.**

**Council Chamber**

Meeting called to order by Mayor Whalen  
Flag Salute led by Councilmember Bessinger

Roll Call: Present: Councilmembers Ashbeck, Bessinger, Flores, Mouanoutoua  
Mayor Whalen  
Absent: None

**6:05 - PUBLIC COMMENTS**

Dale Mitchell, Dry Creek Preserve resident, commented on negotiations between City and residents on proposed development in the Dry Creek Preserve.

**CONSENT CALENDAR**

Motion by Councilmember Ashbeck, seconded by Councilmember Flores, that the items on the Consent Calendar be approved. Motion carried by unanimous vote.

- A1) Approved - Minutes for the October 2, 2017 Council meeting.
- C1) Approved – Amend Agreement with Habitat for Humanity Fresno County to Provide Inspection Services for Implementation of the Clovis Home Rehabilitation Grant Program.
- C2) Received and Filed – Business Organization of Old Town (BOOT) First Quarter Report, July through September 2017.
- D1) Approved - **Res. 17-109**, Amending the 2017-18 Budget to reappropriate carryover funding from the 2016-17 Budget.
- D2) Approved - **Res. 17-110**, Approving the 2017-2018 Local Transportation Fund Claim to the Council of Fresno County Governments.
- F1) Approved - Final Acceptance for CIP 15-06, Shaw Avenue Sidewalk Improvements.

**6:10 ITEM 1A1 - APPROVED - RES. 17-111, A RESOLUTION ANNEXING TERRITORY (ANNEXATION #50 – T6174- SOUTHEAST CORNER ASHLAN/LEONARD, T6102- SOUTHEAST CORNER SHAW/HIGHLAND, PM2017-1 SOUTHEAST CORNER SHEPHERD/LOCAN) TO THE CITY OF CLOVIS COMMUNITY FACILITIES DISTRICT NO. 2004-1 (POLICE AND FIRE SERVICES) AND CALLING A SPECIAL LANDOWNER ELECTION TO ANNEX TERRITORY (ANNEXATION #50) TO CITY OF CLOVIS COMMUNITY FACILITIES DISTRICT NO. 2004-1 (POLICE AND FIRE SERVICES); AND ITEM 1A2 - APPROVED - RES. 17-112, A RESOLUTION OF THE CITY OF CLOVIS DECLARING THE RESULTS OF A SPECIAL LANDOWNER ELECTION AND DIRECTING RECORDING OF THE NOTICE OF SPECIAL TAX LIEN FOR CITY OF CLOVIS COMMUNITY FACILITIES DISTRICT NO. 2004-1 (POLICE AND FIRE SERVICES).**

Finance Director Jay Schengel presented a report on various actions related to Annexation of Territory (#50 – T6174- Southeast Corner Ashlan/Leonard, T6102-



Southeast Corner Shaw/Highland, PM2017-1 Southeast Corner Shepherd/Locan) to the City of Clovis Community Facilities District No. 2004-1 (Police and Fire Services). Since the condition to establish a CFD was imposed on the developments being processed by the City, developments proceeding after March 8, 2004 must petition to be annexed to the existing CFD. This action is required to begin the process of annexation provided by the conditions of approval of the development entitlements. Jay Schengel provided an overview of Annexation #50. There being no comment, Mayor Whalen closed the public portion. Discussion by the Council.

Motion by Councilmember Ashbeck, seconded by Councilmember Flores, for the Council to approve **Resolution 17-111**, for the Council to approve a Resolution annexing territory (#50 – T6174- Southeast Corner Ashlan/Leonard, T6102- Southeast Corner Shaw/Highland, PM2017-1 Southeast Corner Shepherd/Locan) to the City of Clovis Community Facilities District No. 2004-1 (Police and Fire Services) and calling a special landowner election to annex territory (Annexation #50) to City of Clovis Community Facilities District No. 2004-1 (Police and Fire Services). Motion carried by unanimous vote.

City Clerk John Holt reported out that he was in receipt of 3 ballots representing 30 votes all in favor and noted unanimous passage of the ballot measure. There being no comment, Mayor Whalen closed the public portion. Discussion by the Council.

Motion by Councilmember Ashbeck, seconded by Councilmember Flores, for the Council to approve **Resolution 17-112**, a Resolution of the City of Clovis declaring the results of a special landowner election and directing recording of the Notice of Special Tax Lien for City of Clovis Community Facilities District No. 2004-1 (Police and Fire Services). Motion carried by unanimous.

6:14 ITEM 2A1 - ADOPTED - **ORD. 17-21**, REPEALING SECTION 2.4.01, OF CHAPTER 2.4, OF TITLE 2 AND ADDING NEW SECTIONS 2.4.01 THROUGH 2.4.03, OF CHAPTER 2.4, OF TITLE 2 OF THE CLOVIS MUNICIPAL CODE PERTAINING TO THE USE OF THE CITY SEAL AND LOGOS. (VOTE: 3-0-2 WITH MAYOR WHALEN AND COUNCILMEMBER ASHBECK ABSENT)

City Clerk John Holt reported out that this item was on the regular agenda because at introduction it was approved 3-0-2 with Councilmember Ashbeck and Mayor Whalen absent. John Holt provided Council an update and changes made to the ordinance at the October 2, 2017 meeting. There being no public comment, Mayor Whalen closed the public portion. Discussion by the Council.

Motion by Councilmember Mouanoutoua, seconded by Councilmember Flores, for the Council to adopt Ord. 17-21, Repealing Section 2.4.01, of Chapter 2.4, of Title 2 and Adding New Sections 2.4.01 Through 2.4.03, of Chapter 2.4, of Title 2 of the Clovis Municipal Code Pertaining to the Use of the City Seal and Logos. Motion carried 3-0-2 with Councilmember Ashbeck and Mayor Whalen abstaining.

6:20 ITEM 2B1 - RECEIVED AND FILED – COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT JULY 2016 – JUNE 2017 REPORT AND DEPARTMENT OVERVIEW



Community and Economic Development Director Andy Haussler presented a report on the Community and Economic Development Department July 2016 – June 2017 Report and Department Overview. Andy Haussler provided an overview of the department and highlights. There being no public comment, Mayor Whalen closed the public portion. Discussion by the Council. It was the consensus of City Council to receive and file the report and department overview.

**7:03 ITEM 2C1 - APPROVED – RES. 17-113, AMENDING THE CITY'S MASTER ADMINISTRATIVE FEE SCHEDULE PERTAINING TO SENIOR CENTER FACILITY RENTAL FEES**

General Services Director Shonna Halterman presented a report on a request to amend the City's Master Administrative Fee Schedule Pertaining to Senior Center Facility Rental Fees. Fees for renting the Senior Center facility have not been updated since 2008 and are below fees of comparable facilities. In an effort to increase revenue for the Senior Center, an increase to the facility rental fees is recommended. The proposed revisions to the Master Administrative Fee Schedule allow for appropriate increases to current facility rental fees while remaining competitive in the market. Fees for Senior Center classes and services will be reviewed during the FY 18-19 budgetary process.

There being no comment, Mayor Whalen closed the public portion. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Mouanoutoua, for the Council to approve Resolution 17-113, amending the City's Master Administrative Fee Schedule Pertaining to Senior Center Facility Rental Fees. Motion carried by unanimous vote.

**7:08 ITEM 2D1 - APPROVED – RES. 17-114, FINAL MAP FOR TRACT 6102, LOCATED ON THE SOUTH SIDE OF SHAW AVENUE AT HIGHLAND AVENUE (DYP 6068 L.P. – DEYOUNG PROPERTIES)**

City Engineer Mike Harrison presented a report on a request to approve a Final Map for Tract 6102, located on the south side of Shaw Avenue at Highland Avenue. The owner, DYP 6068, L.P., acting as the subdivider, has submitted a final map. The improvement plans are being processed by City staff. The improvements to be installed include curb, gutter, sidewalk, street paving, sanitary sewers, and water mains. The subject tract is located on the south side of Shaw Avenue at Highland Avenue. It contains approximately 15.92 acres and consists of 69 units, zoned R-1.

There being no comment, Mayor Whalen closed the public portion. Discussion by the Council. Motion by Councilmember Bessinger, seconded by Councilmember Ashbeck, for the Council to approve Resolution 17-114, Final Map for Tract 6102, located on the south side of Shaw Avenue at Highland Avenue. Motion carried by unanimous vote.

**7:09 ITEM 2D2 - APPROVED – RES. 17-115, ANNEXATION OF PROPOSED TRACT 6102, LOCATED ON THE SOUTH SIDE OF SHAW AVENUE AT HIGHLAND AVENUE, TO THE LANDSCAPE MAINTENANCE DISTRICT NO. 1 OF THE CITY OF CLOVIS (DYP 6068 L.P. – DEYOUNG PROPERTIES)**



City Engineer Mike Harrison presented a report on a request to approve the annexation of Proposed Tract 6102, located on the south side of Shaw Avenue at Highland Avenue, to the Landscape Maintenance District No. 1 of the City of Clovis.

There being no comment, Mayor Whalen closed the public portion. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Flores, for the Council to approve the annexation of Proposed Tract 6102, located on the south side of Shaw Avenue at Highland Avenue, to the Landscape Maintenance District No. 1 of the City of Clovis. Motion carried by unanimous vote.

**7:10 IEM 2D3 - APPROVED - FINAL ACCEPTANCE FOR CIP 15-07, NEES AVENUE RECYCLED WATER MAIN**

City Engineer Mike Harrison presented a report on a request to approve the final acceptance for CIP 15-07, Nees Avenue Recycled Water Main. The project consisted of construction of a recycled water main and appurtenances along Nees Avenue and Owens Mountain Parkway, from N. Temperance Avenue to Kenosha Avenue, and north of Owens Mountain Parkway, between N. DeWolf Avenue and N. Pamela Avenue to provide recycled water for all public landscaped areas in Harlan Ranch and nearby developments. The project also included installation of seven recycled water meter assemblies at various locations within the Harlan Ranch development to accommodate conversion to recycled water. Staff is recommending that Council accept the improvements.

Brian Bury, representing the Harlan Ranch HOA, commented on the project and noted that ten of the common areas in Harlan Ranch did not receive purple pipe when initially installed. He noted that 61% of Harlan Ranch was plumbed with purple pipe, and 39% was not plumbed with purple pipe and requested Council to direct staff to work with Harlan Ranch to see if there was a way to get the remaining 39% plumbed. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Bessinger, for the Council to approve the final acceptance for CIP 15-07, Nees Avenue Recycled Water Main and directed staff to work with Harlan Ranch on the remaining 39%. Motion carried by unanimous vote.

**7:27 ITEM 2D4 - CONSIDERED - POLICY DIRECTION ON A REQUEST TO INITIATE AN ORDINANCE AMENDMENT REQUIRING A HOME OCCUPATION PERMIT FOR OPERATION OF SHORT TERM VACATION RENTALS AND IMPLEMENTING OPERATING REGULATIONS AND STANDARDS**

Associate Planner Orlando Ramirez presented a report on a request to initiate an Ordinance Amendment requiring a home occupation permit for operation of short term vacation rentals and implementing operating regulations and standards. Over the past year, staff has begun to receive complaints regarding short term vacation rentals. There is currently nothing in the municipal code regulating short term vacation rentals. Short term rental generally means the rental of a dwelling by the owner to another person for a period of less than thirty (30) consecutive days. This does not include city-approved hotels, motels, bed and breakfasts, and time-share projects. Staff is recommending the City Council provide policy direction to initiate an ordinance amendment requiring a home occupation permit for operation of short term vacation rentals and implementing



operating regulations and standards. Having something in place would provide a means and provide direction on how to manage and deal with complaints and property owners who use their property for short term vacation rentals.

Greg Terzakus, Executive Director, California Apartment Association, commented on and provided recommendations on how city could implement. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Flores, for the Council to initiate an Ordinance Amendment requiring a home occupation permit for operation of short term vacation rentals and implementing operating regulations and standards with the following areas of specific direction:

1. Include a fire safety component; and
2. Use examples from other cities to craft the ordinance; and
3. Ensure equitable treatment for all similar uses (hotel, bed and breakfast, etc.); and
4. Ensure there is a nexus for any fees charged; and
5. Reach out to impacted stakeholders.

Motion carried by unanimous vote.

#### **7:47 ITEM 3 - CITY MANAGER COMMENTS**

City Manager Luke Serpa commented on a Western City magazine article in the October 2017 edition highlighting the Police Department's Cops and Kids Sports Camp as an example of creative approaches to build public trust.

#### **7:49 ITEM 4A - COUNCIL COMMENTS**

Councilmember Bessinger also commented on the Western City magazine article.

Councilmember Ashbeck indicated that she was approached by a youth with a request to have the Council consider the creation of a youth commission.

Councilmember Mouanoutoua commented on the opening of Fresno Fair, and attending the Clovis Unified Superintendents breakfast. He also commented on the City's response to the racial texts reported in the media allegedly involving some Clovis Unified Students and whether a crime was committed and questioned if the City should have taken more of a position. Mayor Whalen and City Manager Luke Serpa provided Council an update on the Police Departments and the City's response when the issue was raised.

Mayor Whalen reported out on Council of Government's meeting he attended and reported that Mayor Pro Tem Bessinger now requires an FPPC Form 700 be submitted for his position as alternate to the Mayor.

#### **8:01 ITEM 5A - CLOSED SESSION**

Government Code Section 54956.9

**CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Significant Exposure to Litigation Pursuant to Paragraph (2) or (3) of Subdivision (d) of Section 54956.9.

2 potential cases

**5B - GOVERNMENT CODE SECTION 54956.9**

**CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Initiation of Litigation Pursuant to Paragraph (4) of Subdivision (d) of Section 54956.9 (Deciding Whether to Initiate Litigation):

1 potential case

**5C - GOVERNMENT CODE SECTION 54956.9(D)(1)**

**CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION**

Serna Construction, Inc. v. City of Clovis

**ADJOURNMENT**

Mayor Whalen adjourned the meeting of the Council to October 16, 2017

Meeting adjourned: 8:35 p.m.

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Mayor

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City Clerk





AGENDA ITEM NO: CC-F-1

City Manager: AA

## CITY of CLOVIS

### REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: October 16, 2017

SUBJECT: Approval – Res. 17-\_\_, Final Map for Tract 6170, located on the southwest corner Santa Ana Avenue and Sierra Vista Parkway (BN Micro LP – Bonadelle Neighborhoods).

ATTACHMENTS: (A) Res. 17-\_\_  
(B) Vicinity Map  
(C) Copy of Final Map

#### CONFLICT OF INTEREST

None

#### RECOMMENDATION

For the City Council to approve Res. 17-\_\_, which will:

1. Accept the offer of dedication of parcels and public utility easements within Tract 6170, and;
2. Authorize recording of the final map.

#### EXECUTIVE SUMMARY

The owner, BN Micro LP, acting as the subdivider, has submitted a final map. The improvement plans are being processed by City staff. The improvements to be installed include curb, gutter, sidewalk, street paving, sanitary sewers, water mains and landscaping. The subject tract is located on the southwest corner Santa Ana Avenue and Sierra Vista Parkway. It contains approximately 7.76 acres and consists of 83 units, zoned P-C-C.

## FISCAL IMPACT

The subdivider will be installing sidewalk, sanitary sewers, water mains, and street landscaping, which will be perpetually maintained by the City of Clovis.


## REASON FOR RECOMMENDATION

The subdivision agreement has been executed by the subdivider and all development fees paid or deferred in accordance with Municipal Code. The agreement provides for the developer to complete a technically correct map and improvement plans and to complete all required improvements in compliance with the conditions of approval. The improvements are adequately secured.

## ACTIONS FOLLOWING APPROVAL

The final map will be filed with the Fresno County Recorder's office for recording.

Prepared by: Gene G. Abella, Assistant Engineer

Submitted by:   
Michael Harrison  
City Engineer

Recommended by:   
Dwight Kroll, AICP  
Director of Planning  
And Development  
Services

## **RESOLUTION 17-\_\_**

### **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING FINAL SUBDIVISION MAP FOR TRACT NO. 6170**

WHEREAS, a final map has been presented to the City Council of the City of Clovis for Tract 6170, by The City of Clovis, a Municipal Corporation, and

WHEREAS, said final tract conforms to the requirements of Chapter 2, Part 2, of Division 4 of the Business and Professions Code and to local ordinances;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Clovis as follows:

1. The final map of Tract 6170, consisting of three (3) sheets, a copy of which is on file with the City Clerk, be and the same is hereby approved.

2. Approval of the Subdivision improvement plans for said tract are being completed by City Staff.

3. The preliminary Engineer's Cost Estimate of development cost of said tract, a copy of which is on file with the City Clerk, be and the same is hereby approved and adopted as the estimated cost of improvements for said subdivision in the sum of \$3,303,371.00.

4. The offer and dedication for public use of the parcels and easements specified on said map are accepted by the City of Clovis and the City Clerk is authorized and directed to execute said subdivision map.

5. This Council finds that the proposed subdivision, together with the provisions for its design and improvement, are consistent with applicable general and specific plans of the City of Clovis.

6. Improvement Security, as provided hereunder and in said Subdivision Agreement, is fixed at one hundred percent (100%) of the remaining improvements to



be constructed or the sum of \$3,035,000.00 for guaranteeing specific performance of said agreement and fifty percent (50%) of the remaining improvements or the sum of \$1,518,000.00 for payment of labor and materials furnished by contractors, subcontractors, laborers and materialmen in connection with the improvements required to be made or constructed by said subdivider in conformity with said subdivision map or said agreement.

7. Subdivider shall furnish a bond in the sum of \$330,300.00 being the amount determined by the City Council of the City as necessary for the guarantee and warranty of the work for a period of one year following the completion and acceptance of the tract against any defective work or labor done, or defective materials furnished. Said bond is required to be furnished prior to acceptance of the tract by the City Council.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on October 16, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

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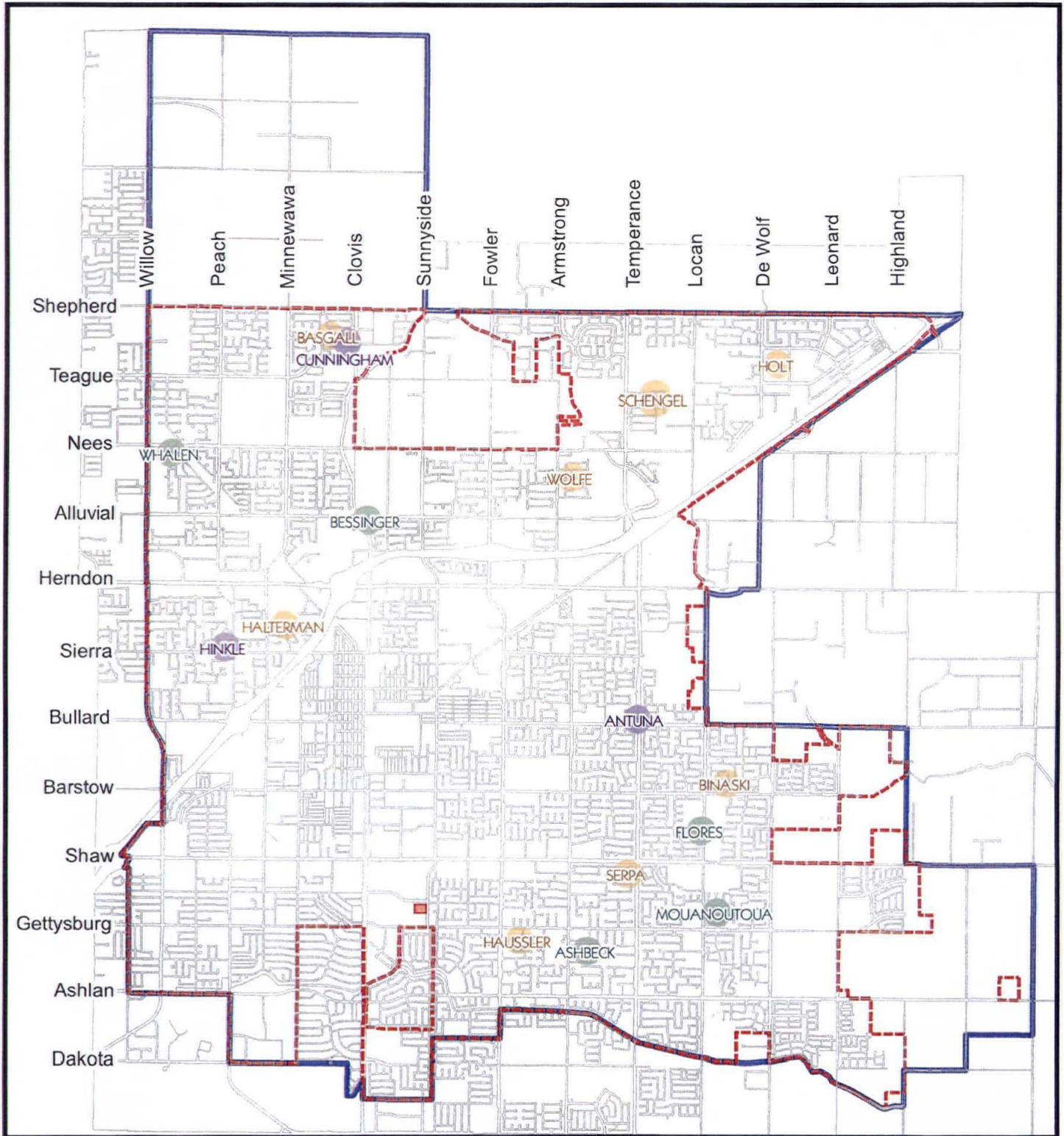
Mayor

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City Clerk

# VICINITY MAP

Tract 6170 - BN Micro LP (Bonadelle Neighborhoods)



## ATTACHMENT B



  CITY LIMITS   SPHERE OF INFLUENCE

October 6, 2017

Prepared By: Gene Abella



SUBDIVISION MAP OF  
**TRACT NO. 6170**  
IN THE CITY OF CLOVIS, FRESNO COUNTY, CALIFORNIA  
SURVEYED AND PLATTED IN MARCH, 2017 BY HARBOUR & ASSOCIATES  
CONSISTING OF 3 SHEETS  
SHEET 1 OF 3

**OWNER'S STATEMENT**

THE UNDERSIGNED, BEING ALL PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND WITHIN THIS SUBDIVISION, HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP AND OFFER FOR DEDICATION FOR PUBLIC USE THE PARCELS AND EASEMENTS SPECIFIED ON SAID MAP AS INTENDED FOR PUBLIC USE FOR THE PURPOSES SPECIFIED THEREIN.

BN MICRO LP, A CALIFORNIA LIMITED PARTNERSHIP

BY: BONADELLE HOMES INC., A CALIFORNIA CORPORATION,  
ITS GENERAL PARTNER

BY: \_\_\_\_\_  
JOHN A. BONADELLE, PRESIDENT

LANDVALUE 37, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY,  
AS BENEFICIARY

BY: \_\_\_\_\_  
JAMES HUELSKAMP, PRESIDENT

**NOTARY ACKNOWLEDGEMENT**

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA )  
COUNTY OF \_\_\_\_\_ )

ON \_\_\_\_\_, 2017, BEFORE ME \_\_\_\_\_, NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ JOHN A. BONADELLE, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT, WITNESS MY HAND.

NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_ COUNTY OF \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_

**NOTARY ACKNOWLEDGEMENT**

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA )  
COUNTY OF \_\_\_\_\_ )

ON \_\_\_\_\_, 2017, BEFORE ME \_\_\_\_\_, NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ JAMES HUELSKAMP, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT, WITNESS MY HAND.

NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_ COUNTY OF \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_



**SURVEYOR'S STATEMENT**

THE SURVEY FOR THIS MAP WAS MADE BY ME OR UNDER MY DIRECTION AND IS TRUE AND COMPLETE AS SHOWN.

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF BN MICRO LP, A CALIFORNIA LIMITED PARTNERSHIP. ON MARCH 1, 2017, I HEREBY STATE THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS ON OR BEFORE ONE YEAR AFTER THE DATE THIS MAP IS RECORDED, OR ANY TIME EXTENSION APPROVED BY THE CITY ENGINEER. THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

GARY J. DIXON L.S. 5277 DATE \_\_\_\_\_

**CITY ENGINEER'S STATEMENT**

I, MICHAEL J. HARRISON, CITY ENGINEER OF THE CITY OF CLOVIS, HEREBY STATE THAT I HAVE EXAMINED THIS MAP, THAT THE SUBDIVISION SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, AND ANY APPROVED ALTERATIONS THEREOF, THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND OF ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH, AND THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

MICHAEL J. HARRISON, P.L.S. 8088 DATE \_\_\_\_\_  
CITY ENGINEER

**CITY CLERK'S STATEMENT**

I, JOHN HOLT, HEREBY STATE THAT THE CITY COUNCIL OF THE CITY OF CLOVIS, BY RESOLUTION ADOPTED \_\_\_\_\_, APPROVED THE WITHIN MAP AND ACCEPTED, SUBJECT TO IMPROVEMENT, ON BEHALF OF THE PUBLIC, ANY REAL PROPERTY AND EASEMENTS OFFERED FOR DEDICATION FOR PUBLIC USE IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION.

DATE \_\_\_\_\_ JOHN HOLT, CITY CLERK

**RECORDER'S CERTIFICATE**

DOCUMENT NO. \_\_\_\_\_ FEE PAID \$ \_\_\_\_\_

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017, AT \_\_\_\_\_ M. IN

VOLUME \_\_\_\_\_ OF PLATS, AT PAGE(S) \_\_\_\_\_, FRESNO COUNTY

RECORDS, AT THE REQUEST OF FIRST AMERICAN TITLE COMPANY.

PAUL A. DICTOS, CPA  
FRESNO COUNTY ASSESSOR-RECORDER

BY: \_\_\_\_\_  
DEPUTY

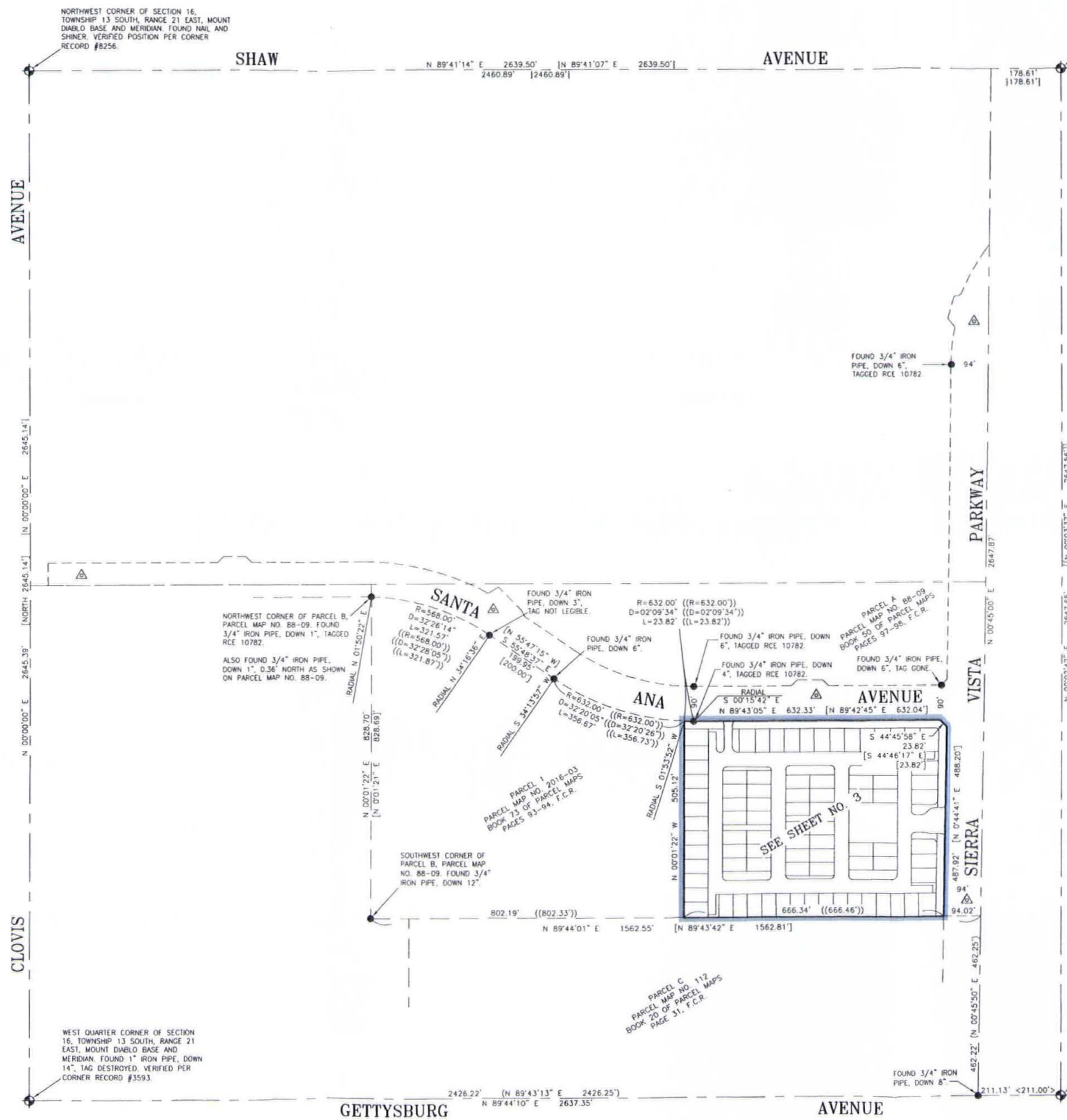


**Harbour & Associates**  
Civil Engineers  
389 Clovis Avenue, Suite 300 • Clovis, California 93612  
(559) 325-7676 • Fax (559) 325-7699

W.O. #16-028

**ATTACHMENT C**





# SUBDIVISION MAP OF TRACT NO. 6170

BEING IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA

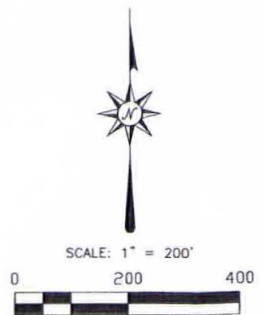
SURVEYED AND PLATTED IN MARCH, 2017 BY HARBOUR & ASSOCIATES

CONSISTING OF 3 SHEETS  
SHEET 2 OF 3 SHEETS

**BASIS OF BEARINGS**  
THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, WAS TAKEN TO BE NORTH 00°00'00" EAST AS SHOWN ON PARCEL MAP NO. 88-17 RECORDED IN BOOK 51 OF PARCEL MAPS AT PAGES 7 AND 8, FRESNO COUNTY RECORDS.

**NOTE**  
DISTANCES NOT MONUMENTED ARE CALCULATED.

- LEGEND**
- INDICATES FOUND AND ACCEPTED SECTION CORNER OR QUARTER CORNER, DESCRIBED AS NOTED.
  - INDICATES FOUND AND ACCEPTED MONUMENT, DESCRIBED AS NOTED.
  - INDICATES RECORD DATA AS SHOWN ON PARCEL MAP NO. 112 RECORDED IN BOOK 20 OF PARCEL MAPS AT PAGE 31, FRESNO COUNTY RECORDS.
  - INDICATES RECORD DATA AS SHOWN ON, OR CALCULATED FROM, PARCEL MAP NO. 88-09 RECORDED IN BOOK 50 OF PARCEL MAPS AT PAGES 97 AND 98, FRESNO COUNTY RECORDS.
  - INDICATES RECORD DATA AS SHOWN ON, OR CALCULATED FROM, PARCEL MAP NO. 88-17 RECORDED IN BOOK 51 OF PARCEL MAPS AT PAGES 7 AND 8, FRESNO COUNTY RECORDS.
  - INDICATES RECORD DATA AS SHOWN ON, OR CALCULATED FROM, PARCEL MAP NO. 2016-03 RECORDED IN BOOK 73 OF PARCEL MAPS AT PAGES 93 AND 94, FRESNO COUNTY RECORDS.
  - INDICATES RECORD DATA AS SHOWN ON PARCEL MAP NO. 2014-10 RECORDED IN BOOK 65 OF PARCEL MAPS AT PAGES 5 AND 6, FRESNO COUNTY RECORDS.
  - INDICATES PREVIOUSLY DEDICATED FOR ROAD PURPOSES PER DOCUMENT NO. 88111411 OFFICIAL RECORDS OF FRESNO COUNTY.
  - F.C.R. FRESNO COUNTY RECORDS.
  - THE BLUE BORDER INDICATES THE LIMITS OF THIS SUBDIVISION.





LEGEND:  
J INDICATES OUTLOT PER THIS MAP.

INDICATES PREVIOUSLY DEDICATED FOR ROAD PURPOSES PER DOCUMENT  
No. 88111411 OFFICIAL RECORDS OF FRESNO COUNTY.

THE BLUE BORDER INDICATES THE LIMITS OF THIS SUBDIVISION.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS  
AN EASEMENT FOR PUBLIC PURPOSES.

PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED IN  
FEE TO THE CITY OF CLOVIS, FOR PUBLIC PURPOSES.

OUTLOTS B,D&N: FOR PUBLIC STREET AND PUBLIC UTILITY PURPOSES.

OUTLOT SCHEDULE:

OUTLOT:  
A,E,F,I,O,Q&S  
C,J,K&M

G,H,P&R

L  
T

PURPOSE:

FOR PRIVATE LANDSCAPING AND PUBLIC UTILITY EASEMENT PURPOSES.  
FOR PRIVATE LANDSCAPING, PRIVATE PEDESTRIAN AND PUBLIC UTILITY  
EASEMENT PURPOSES.

FOR PRIVATE LANDSCAPING, PRIVATE PARKING AND PUBLIC UTILITY EASEMENT  
PURPOSES.

FOR PRIVATE RECREATION AND PRIVATE PARKING PURPOSES.

FOR PRIVATE STREET AND PUBLIC UTILITY EASEMENT PURPOSES.

SUBDIVISION MAP OF

# TRACT NO. 6170

BEING IN THE NORTHWEST QUARTER OF SECTION 16,  
TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT DIABLO  
BASE AND MERIDIAN, IN THE CITY OF CLOVIS, COUNTY  
OF FRESNO, STATE OF CALIFORNIA

SURVEYED AND PLATTED IN MARCH, 2017  
BY HARBOUR & ASSOCIATES  
CONSISTING OF 3 SHEETS  
SHEET 3 OF 3 SHEETS

## RADIAL DATA:

RADIAL NUMBER	RADIAL BEARING	RADIUS
R 1	N 31°23'02" E	19.40'
R 2	S 19°45'40" W	25.60'
R 3	S 30°08'21" E	19.40'
R 4	N 52°57'45" W	29.60'
R 5	S 78°35'57" E	9.40'
R 6	S 81°19'24" W	9.40'
R 7	N 53°11'37" W	19.40'
R 8	N 52°44'00" E	19.40'
R 9	S 00°15'42" E	632.00'
R 10	S 00°15'42" E	652.00'
R 11	S 01°53'52" W	632.00'
R 12	S 01°50'20" W	652.00'
R 13	S 34°13'57" W	632.00'

## CURVE DATA:

CURVE NUMBER	DELTA	RADIUS	ARC LENGTH	CHORD LENGTH
C 1	90°46'22"	9.40'	14.89'	13.38'
C 2	19°00'40"	29.40'	9.76'	9.71'
C 3	30°38'02"	19.40'	10.37'	10.25'
C 4	30°53'21"	19.40'	10.46'	10.33'
C 5	53°42'45"	19.40'	18.19'	17.53'
C 6	89°13'38"	9.40'	14.64'	13.20'
C 7	90°15'33"	14.40'	22.68'	20.41'
C 8	89°45'23"	14.40'	22.56'	20.32'
C 9	90°14'37"	9.40'	14.81'	13.32'
C 10	89°44'27"	9.40'	14.72'	13.26'
C 11	90°15'33"	9.40'	14.81'	13.32'
C 12	89°45'23"	9.40'	14.73'	13.27'
C 13	37°14'38"	19.40'	12.61'	12.39'
C 14	36°49'45"	19.40'	12.47'	12.26'
C 15	53°42'45"	29.60'	27.75'	26.74'
C 16	19°00'40"	25.60'	8.49'	8.46'
C 17	11°25'25"	9.40'	1.87'	1.87'
C 18	78°19'58"	9.40'	12.85'	11.87'
C 19	81°35'23"	9.40'	13.39'	12.28'
C 20	8°39'14"	9.40'	1.42'	1.42'
C 21	2°09'34"	632.00'	23.82'	23.82'
C 22	2°06'02"	652.00'	23.90'	23.90'

DETAIL "A" NOT  
TO SCALE.

DETAIL IS TYPICAL  
FOR ALL LOT  
LINES BORDERING  
NUMBERED LOTS.

2"PUE

4"PUE

2"PUE

4"PUE

2"PUE

4"PUE

2"PUE

4"PUE

2"PUE

4"PUE

2"PUE

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2"PUE

4"PUE

2"PUE

4"PUE

2"PUE

4"PUE

2"PUE

4"PUE

SEE SHEET 2 OF 3 FOR OVERALL BOUNDARY DETAILS.

## NOTES:

1. 3/4" X 30" IRON PIPE, DOWN 0.5', TAGGED LS 5277 SET AT ALL LOT CORNERS,  
BLOCK CORNERS AND BEGINNING AND ENDING OF ALL CURVES, OR WILL BE SET WITHIN  
ONE YEAR OR ANY APPROVED EXTENSION THEREOF.

2. DISTANCES NOT MONUMENTED ARE CALCULATED.

SCALE: 1" = 40'



Harbour & Associates  
Civil Engineers

388 CLOVIS AVENUE # 300 • Clovis, California 93612  
(559) 325 - 7676 • Fax (559) 325 - 7696 • e-mail: h&a\_civil@comcast.net





AGENDA ITEM NO: CC-F-2  
City Manager: 

## CITY of CLOVIS

### REPORT TO THE CITY COUNCIL

TO: Mayor and City Council  
FROM: Planning and Development Services  
DATE: October 16 2017

SUBJECT: Approval – Resolution No. 17-\_\_\_\_, Annexation of Proposed Tract 6170, located on the southwest corner of Santa Ana Avenue and Sierra Vista Parkway, to the Landscape Maintenance District No. 1 of the City of Clovis (BN Micro LP – Bonadelle Neighborhoods)

ATTACHMENT: (A) Res. 17-\_\_

#### CONFLICT OF INTEREST

None

#### RECOMMENDATION

For the City Council to approve Res. 17-\_\_\_\_, that will annex proposed Tract 6170, located on the southwest corner of Santa Ana Avenue and Sierra Vista Parkway, to the Landscape Maintenance District No. 1 of the City of Clovis.

#### EXECUTIVE SUMMARY

The owner, BN Micro LP, acting as the subdivider, has requested to be annexed to the Landscape Maintenance District No. 1 of the City of Clovis as set forth by the Conditions of Approval for Tentative Tract Map 6170.

#### BACKGROUND

BN Micro LP, the developer of Tract 6170, has executed a covenant that this development be annexed to the City of Clovis LMD No. 1. An executed copy can be provided on request. Council formed the original District on July 15, 1985, for the purpose of funding the maintenance of landscaped areas and parks.

Under the provisions of the Landscaping and Lighting Act of 1972 and in accordance with Article XIII C and Article XIII D of Proposition 218, all the owners of property proposed for annexation have provided a written request and consent to annexation and have executed a covenant (petition) indicating acceptance of the annual assessment.

The Covenant provides for the addition of an enhanced landscape maintenance zone for the maintenance of street landscaping adjacent to Santa Ana Avenue and Sierra Vista Parkway. Development properties in Tract 6170 will pay the added assessment at the request of the developer. The enhanced, or added, maintenance will be the responsibility of the City.

### **FISCAL IMPACT**

This project will add landscaping to the Landscape Maintenance District No. 1 of the City of Clovis shown as follows:

	<u>Tract 6170</u>	<u>Year to Date</u>
LMD Landscaping added:	0.47 acres	4.747 acres
Resource needs added:	0.047 person	0.475 person

The resource needs estimate is based on 1 person per 10 acres of landscaped area.

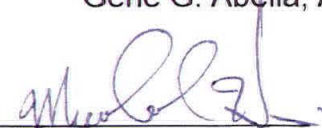
### **REASON FOR RECOMMENDATION**


The property owners for the subject tract and parcel map have requested annexation into the City of Clovis LMD No. 1.

### **ACTIONS FOLLOWING APPROVAL**

Tract 6170 shall become a part of City of Clovis LMD No. 1 and will be assessed next year for maintenance costs.

Prepared by: Gene G. Abella, Assistant Engineer

Submitted by:   
Michael Harrison  
City Engineer

Recommended by:   
Dwight Kroll, AICP  
Director of Planning  
And Development  
Services



## RESOLUTION 17-\_\_

### **A RESOLUTION OF THE COUNCIL OF THE CITY OF CLOVIS, CALIFORNIA, APPROVING ANNEXATION TO LANDSCAPING MAINTENANCE DISTRICT NO. 1 OF THE CITY OF CLOVIS**

WHEREAS, City of Clovis Landscape Maintenance District No. 1 ("District") was formed by Resolution No. 85-78, adopted July 15, 1985, pursuant to Part 2 of Division 15 of the Streets and Highways Code (Landscape and Lighting Act of 1972), herein the "Act"; and

WHEREAS, all of the owners of property proposed to be annexed to the District consisting of proposed Tract No. 6170, as described in Exhibit "A" attached hereto and incorporated herein by reference, have consented to said annexation and such annexation may be ordered without notice and hearing or filing of engineer's report, or both.

NOW, THEREFORE, IT IS RESOLVED AND ORDERED, as follows:

1. That the public interest and convenience require that certain property described in Exhibit "A" attached hereto and by reference incorporated herein be annexed into Landscape Maintenance District No. 1 of the City of Clovis for the maintenance and servicing of landscaping facilities.

2. The City Clerk shall receive and file the maps showing the boundaries of the areas annexed as set forth in Exhibit "A" which boundaries shall be used for assessment proceedings until and unless a change of organization is approved pursuant to the Act.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on October 16, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

---

Mayor

---

City Clerk

**Exhibit "A"**

LOTS 1 THROUGH 83, INCLUSIVE, OF TRACT MAP 6170, RECORDED IN VOLUME \_\_\_\_\_, PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_ OF TRACT MAPS, FRESNO COUNTY RECORDS.



AGENDA ITEM NO: CC-G-1

City Manager: LS

## CITY of CLOVIS

### REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Police Department

DATE: October 16, 2017

SUBJECT: Approval – Res. 17\_\_, Amending the Police Department's Budget for FY 2017-2018 to reflect the grant award from the Office of Traffic Safety Selective Enforcement Traffic Program in the amount \$90,000.00.

ATTACHMENTS: (A) Summary of Expenditures  
(B) Resolution

#### CONFLICT OF INTEREST

None

#### RECOMMENDATION

For the City Council to approve a Resolution amending the 2017-2018 Budget for the Police Department to reflect the grant award from the Office of Traffic Safety Selective Enforcement Program.

#### EXECUTIVE SUMMARY

The Clovis Police Department has been awarded the amount of \$90,000.00 from the Office of Traffic Safety. These funds are for overtime operations related to traffic safety, pedestrian education, and traffic enforcement. The Grant period starts October 1, 2017, and ends September 30, 2018.



## **BACKGROUND**

These grant funds are provided through the State of California, Office of Traffic Safety (OTS), Selective Traffic Enforcement Program (STEP). This grant will fund officers' overtime and training to conduct, DUI saturation details, warrant details, seat belt enforcement details, bicycle/pedestrian classroom workshops, child-passenger car seat details, and distracted driving enforcement operations. The grant award is for \$90,000.00 for one year.

## **FISCAL IMPACT**

The Clovis Police Department has been awarded \$90,000.00 from Office of Traffic Safety and will use these funds for overtime traffic related details.

## **REASON FOR RECOMMENDATION**

In compliance with the requirements of the Office of Traffic Safety Grant, it is necessary for the City Council to approve the acceptance of the grant, and amend the Police Department budget.

## **ACTIONS FOLLOWING APPROVAL**

After the Council approval, the 2017-18 Police Department Annual Budget Resolution will be amended as described.

Prepared by: Sandi Macy

Submitted by: Mike Casida – Police Captain 

## **EXHIBIT A**

### **SUMMARY OF EXPENDITURES BY DEPARTMENT**

#### **DEPARTMENT**

POLICE	\$90,000
TOTAL DEPARTMENT	\$90,000

### **SUMMARY OF EXPENDITURES BY FUND**

GENERAL FUND	\$90,000
TOTAL FUND	\$90,000

All expenditures will be from 56300 (Police Department Grants)

## RESOLUTION NO. 17-

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING AN AMENDMENT TO THE ANNUAL BUDGET FOR THE FISCAL YEAR 2017-2018

WHEREAS, the City Council of the City of Clovis approved the 2017-2018 Budget on **June 5, 2017**; and

WHEREAS, the Police Department is to be awarded \$90,000 from the California Office of Traffic Safety to fund traffic enforcement operations; and

WHEREAS, the Police Department has need for enforcement, traffic safety, and education; and

WHEREAS, the City Council determines that the expenditures are necessary.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Clovis that the 2016-2017 Budget is amended as provided in the Exhibit A "Summary of Expenditures, By Department," "Summary of Expenditures by Fund."

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on October 16, 2017, by the following vote to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:      October 16, 2017

---

Mayor

---

City Clerk





AGENDA ITEM NO: **1-A-1-2**  
City Manager: *[Signature]*

## CITY of CLOVIS

### REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: October 16, 2017

SUBJECT: Consider items associated with approximately 38.68 acres of land located at the northwest corner of Gettysburg and Leonard Avenues. Joginder Matharu & Jaswant Chahal-Matharu Family Trust, owners; Tri-Wilson, L.P., applicant; Harbour & Associates, representative.

1. Consider Introduction Ord. 17-\_\_\_\_, **R2016-17**, A request to approve an amendment to the Master Plan Community (M-P-C) Zone District to modify the Circulation Plan and Planning Areas #7, #8 and #9 within the Loma Vista Community Center South. Additionally, create two new Planning Areas within the Loma Vista Community Center South, titled Planning Area #7A and Planning Area #8A. Planning Area #7A and Planning Area #8A are proposed to be classified to the R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential) Zone Districts, respectively.
2. Consider Approval Res. 17-\_\_\_\_, **TM6168**, A request to approve a vesting tentative tract map for a 200-lot, gated, single-family residential subdivision.

#### ATTACHMENTS:

Figure 1:	Location Map
Exhibit "A.:"	R2016-17 Conditions of Approval
Exhibit "A-1.:"	TM6168 Conditions of Approval
Attachment 1:	Draft Ordinance & Resolution
Attachment 2:	Planning Commission Minutes
Attachment 3:	Applicant's Development Standards
Attachment 4:	Correspondence from Commenting Agencies
Exhibit "B.:"	Vesting Tentative Tract Map TM6168
Exhibit "C.:"	Existing Planning Areas
Exhibit "D.:"	Proposed Planning Areas

Exhibit "E:"	Existing Zoning
Exhibit "F:"	Proposed Zoning Modifications
Exhibit "G:"	Floor & Elevation Plans
Exhibit "H:"	Loma Vista Community Centers PA7, PA8 & PA9
Exhibit "I:"	Urban Trail Realignment Justification
Exhibit "J:"	Multi-Purpose Trail Safety Analysis
Exhibit "K:"	Master Plan Concept
Exhibit "L:"	Existing & Proposed Planning Areas
Exhibit "M:"	Multi-Family Concept (Black & White)
Exhibit "N:"	Multi-Family Concept (Color)
Exhibit "O:"	Proposed Street Scape
Exhibit "P:"	Paseo Entry
Exhibit "Q:"	Multi-Family and Retail Concept
Exhibit "R:"	Proposed Entry View from School
Exhibit "S:"	Gateway Pilaster
Exhibit "T:"	Clovis East High School Access to Village Green
Exhibit "U:"	Community Center Projects

## **CONFLICT OF INTEREST**

None.

## **RECOMMENDATION**

Planning Commission recommends that the City Council:

- Deny Rezone R2016-17 and Vesting Tentative Tract Map TM6181.

Staff recommends that the City Council:

- Approve Rezone R2016-17, subject to the conditions of approval listed as Exhibit "A," and
- Approve Vesting Tentative Tract Map TM6181, subject to the conditions of approval listed as Exhibit "A-1;" and
- Make a finding of consistency that the dedication toward public right-of-way is proportionate to the development being requested.

## **EXECUTIVE SUMMARY**

The applicant is requesting to amend the Master Plan Community (M-P-C) Zone District to modify three Planning Areas within the Loma Vista Community Center South. The modification would create two new Planning Areas with a zoning classification of R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family



Residential) Zone Districts. Additionally, the applicant is requesting a vesting tentative tract map approval for a 200-lot, gated single-family planned residential development with private streets, reduced setbacks and increased lot coverage. The applicant is proposing a Homeowner's Association with this project.

The Planning Commission considered this Project on Thursday, August 24, 2017. The Commission denied Rezone R2016-17 with a vote of 4-1. Additionally, the Commission denied Vesting Tentative Tract Map TM6168 with a vote of 3-2. The Commission centered their concerns on the lack of pedestrian and bicycle connectivity, lack of parking, the need for entry gates, change to circulation, and reduction of commercial use. The applicant was not able to address the Commission's issues, therefore provided additional renderings for Council consideration in an effort to clarify the Project.

The applicant did however, modify their map to add gates as requested by some of the Commissioners as well as the Police Department. This change reduced the tentative map from 205 lots to 200 lots.

## BACKGROUND

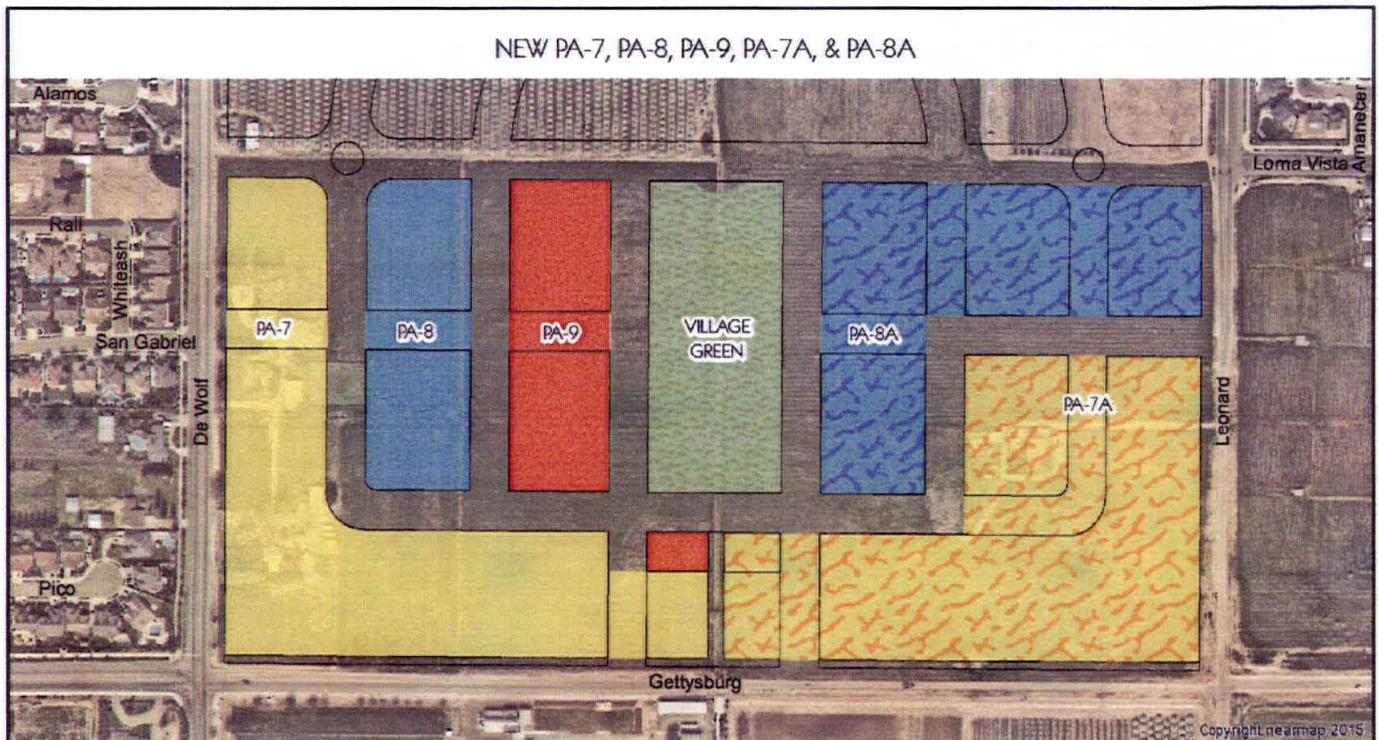
- General Plan Designation: High Density Res., Very High Density Res., Mixed Use Village, and Park.
- Specific Plan Designation: High Density Res., Very High Density Res., Mixed Use Village, and Park.
- Existing Zoning: R-3, R-4, C-3, and P-F.
- Lot Size: Total Area 38.68 acres
- Current Land Use: Rural Residential & Agriculture
- Adjacent Land Uses:
  - North: Rural Residential & Agriculture
  - South: School
  - East: Rural Residential & Agriculture
  - West: Rural Residential & Agriculture

## PROPOSAL AND ANALYSIS

### Rezone

The applicant is requesting to amend the Master Plan Community (M-P-C) Zone District to modify the Circulation Plan and Planning Areas #7, #8 and #9 within the Loma Vista Community Center South. Additionally, the applicant proposes to create two new Planning Areas within the Loma Vista Community Center South, titled Planning Area #7A and Planning Area #8A. The modifications proposed are consistent with the underlying General Plan and Loma Vista Specific Plans. Figure 1, below shows the overall final boundaries of the proposed Planning Areas #7, #8, #9, #7A, and #8A within the Loma Vista Community Center South. Note that Planning Areas 7, 8, & 9 remain unchanged.





**Figure 1**  
**Proposed change to Planning Areas**

#### New Planning Areas 7A & 8A

Proposed Planning Area #7A will provide for high density residential uses ranging between 15.1 to 25.0 dwelling units per acre. The allowed use will be specific to higher density single-family detached homes with development standards outlined under Attachment 2. The proposed Planning Area #8A will provide for high density residential uses ranging between 20.0 to 25.0 dwelling units per acre. Allowed uses will provide for multi-family, duplexes, townhomes, triplex mansion homes, and uses allowed under Planning Areas #8 & #9. Figure 5 below shows the proposed boundaries of Planning Areas #7A and #8A.

Planning Area #7A and Planning Area #8A are proposed to be classified to the R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential) Zone Districts, respectively.

Staff has some concerns that Planning Area #8 begins to lose some of its mixed use characteristics and community value as was originally envisioned for the area. With subsequent development entitlements, a plaza and pathway should be included at the midpoint of the park allowing for both permanent and seasonal services in support of Village Green activities. Such uses could include food and coffee services, rental offices and spaces to set up itinerant vending. Staff notes that the only change to Planning Area #8A that was



not included in Planning Area #8, is the introduction of Live/Work units that could be built and occupied as residences which would allow immediate occupancy if the commercial is not initially feasible or desired by the market.

The Live/Work style units would provide a suite that can be converted easily to a commercial space with little modification to meet all ADA and commercial codes (see Figure 2 below).



**Figure 2**  
**View of Mixed Use (Live/Work – Multiple-Family) looking southeast over Village Green**

The Commission expressed concerns of the reduction of commercial in the Mixed Use Area (Planning Area #8). The Commission additionally expressed concerns that pedestrian connectivity was being lost with the modification. The applicant's proposal intends to maintain the pedestrian connectivity as envisioned in the Master Plan. An east/west pedestrian paseo will be proposed through the Mixed Use/Multiple-Family area connecting the Village Green with the neighborhood to the east.

The applicant also anticipates a desire for commercial use of Planning Area #8A, early in the project, particularly near the mid-block pedestrian crossing from the park. This could be an area where a small café, ice cream shop, or beauty salon may locate. In response, the applicant provided a rendering depicting how this plaza area would appear from the park (see Figure 3 below).





**Figure 3**  
**Mixed Use paseo/plaza looking east from the Village Green**

#### Development Standards

The development standards for Planning Area #7A will follow the applicant's proposed standards identified under Attachment 2. It should be noted that the existing Plan allows for single-family homes within the original Planning Area 7. The applicant's proposal to construct an Elev8ions type of product is consistent with the original vision. Planning Area #8A will follow the development standards of Planning Area #8 and #9, identified under Exhibit "E."

#### **Vesting Tentative Map**

The project includes a 200-lot single-family Vesting Tentative Map TM6168, consistent with the requirements of the Subdivision Map Act.

The vesting tentative tract map is a gated single-family planned residential development with private streets, reduced setbacks and increased lot coverage. The applicant is proposing a Homeowner's Association with this project.

#### Development Standards

The project will follow the standards of the Master Plan Community Zone District for the Community Centers North and South as well as the Planned Residential Development Standards. The Development Code permits the applicant to propose their own project



specific setbacks and lot coverage standards. The applicant has provided a list of standards as follows (see Attachment 2):

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1212 (two-story)	5'	4'	5'	3'	4'
Plan 1413 (two-story)	5'	4'	5'	3'	4'
Plan 1648 (two-story)	5'	4'	5'	3'	4'
Plan 1660 (two-story)	5'	4'	5'	3'	4'

Lot Coverage:	65% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	1,800 square feet
Minimum Parcel Width:	36 feet
Minimum Curved Parcel Width:	36 feet
Minimum Corner Parcel Width:	36 feet
Minimum Parcel Depth:	50 feet
Reversed Corner Street Side Setback:	7 feet Maximum
Equipment (Pool, Spa & Fountain):	3 feet
Garages:	10'x20' interior (1-car) 20'x20' interior (2-car)

### Models

The applicant is proposing four (4) plan models with three exterior options for each. All models are two-story homes with 1-car and 2-car garages. Lot sizes range from 2,050 square feet to 2,636 square feet. The average lot size within TM6168 is 2,150 square feet.

### Circulation and Lot Sizes

The circulation for the area follows a similar pattern established with the Plan. Local streets are used in a rectangular fashion which provide access to the gated private street developments. All of the proposed streets, both public and private, follow the City standards and Codes regarding street width. The applicant is not requesting special reduced street widths within the development.

The developer is providing sidewalks along all public streets as well as a paseo along Gettysburg Avenue. There are no sidewalks proposed along the private streets within the interior residential development.

### Parking & Paseo

Vehicles will be able to park along both sides of the interior private streets within the project. Additional on-street parking will be available along public Streets "A," "B" and "C." The



applicant has designed the project to provide 61 guest parking stalls throughout the interior of the development.

The village center is identified to include paseos from the community gateways at major entries leading to the village green park. Unlike the conventional paseos that are shown at a 45 degree angle, the Plan identified the paseo in this area follow the major and internal street system. The project includes a paseo on the north side of Gettysburg Avenue, connecting the community gateway at the southeast corner of the Project to the village green. The Clovis Unified School District has an existing paseo on the south side of Gettysburg which will connect to the developer's paseo utilizing a mid-block crossing. The applicant has provided a justification letter for the paseo alignment (see Exhibit "I").

### Entry Element

The applicant will be required to provide a landscape median along the Sanders Avenue alignment. The paseo will enter through this entry road on both sides of the street. Specific design will be evaluated during the Residential Site Plan Review process. This provides a formal and centered thematic entry to the village green as approached from the south.

### Police Department Concerns

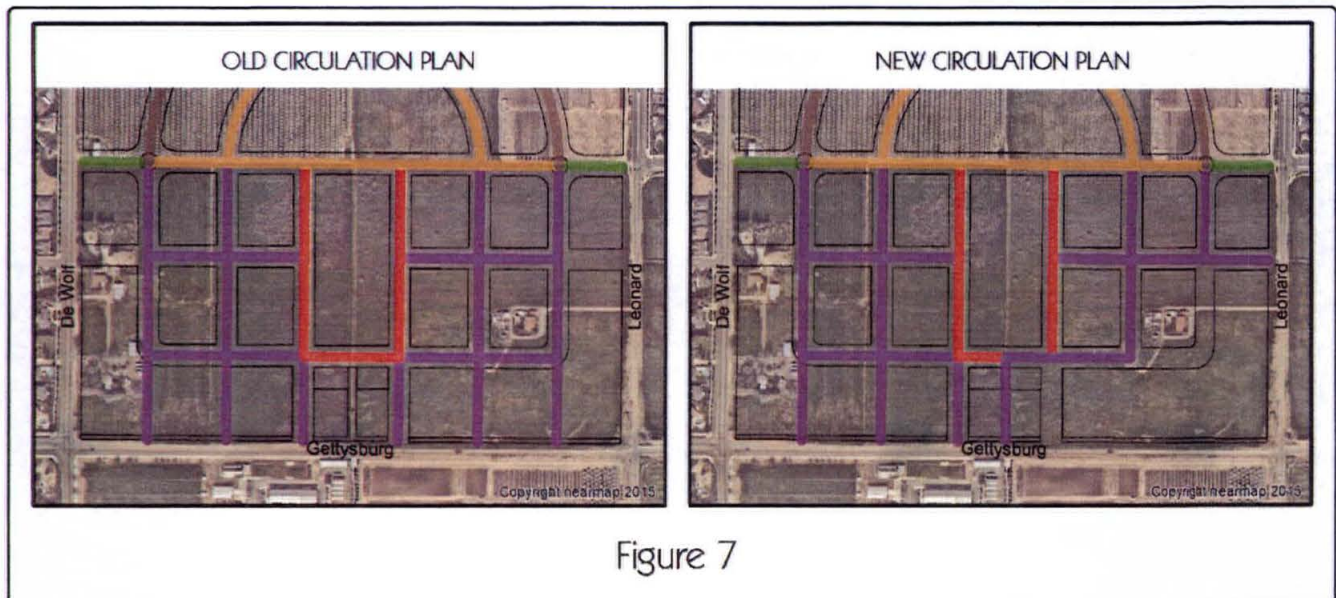
The Police Department had concerns when the Project was initially submitted and forwarded to the Planning Commission regarding parking on the private streets. The Police staff recommended to the Planning Commission that they would fully support the Project if it included gates. The Applicant agreed that the gates would not only address Police enforcement concerns but would also mitigate the use of the private streets by the general public that may be visiting the nearby future village green park.

### Circulation Plan for Community Center South

As discussed earlier, the applicant is utilizing the street pattern suggested by the Plan. The Plan envisioned local streets serving the community area with opportunity for multiple access points from the major streets. The applicant's tract map takes access from the interior local streets which will help reduce conflicts on both Gettysburg and Leonard Avenues due to high volumes of student traffic in the area. The applicant proposes to reduce a portion of a Main Street section to a single local street. The current plan provides for two main street entries from Gettysburg Avenue with a dedicated pedestrian path at the center point which aligns with an existing paseo through the school property on the south side of Gettysburg Avenue. The proposal to reduce the two main streets into one street would include a street side trail. Figure 7 below shows the existing and proposed modifications to the Circulation Plan.

A single access at this location will reduce traffic conflicts at a location where a primary pedestrian crossing will occur.





### Thematic Elements

Branding of the Loma Vista Specific Plan with specific elements is essential to create a community and sense of place. Staff is looking to establish a "Craftsman" theme throughout this plan area, utilizing natural materials such as cobblestones, rocks, brick, and wood-like elements in subdivision entries, monuments, surface treatments for pedestrian crossings, median surface treatments, walls, fences, and architectural elements. Thematic lighting, benches, trash receptacles, walkway treatment, and drinking fountains have also been established for the Loma Vista Specific Plan Area. Exact number and locations of these items shall be reviewed during the residential site plan review process.

Additional architectural styles have been adopted for this project area per the Loma Vista Community Centers North and South master plan. The approved themes include Monterey, Tudor Cottage and Mission Revival.

### Amenities

As an amenity for the planned residential development, the applicant will be providing a common area for recreational purposes. Specific amenity details will be reviewed during the residential plan review process.

### Open Space and Trails

The applicant will be required to contribute a proportionate share towards the development of a "paseo" system within this project area as required by the General Plan, Loma Vista Specific Plan and the Loma Vista Community Centers North and South Master Plan.



The Specific Plan and Community Centers Master Plan identify an open space/parkway/paseo system in this portion of the quarter-section where Vesting Tentative Tract Map TM6168 is being proposed. The applicant will install a portion of the paseo system along the Gettysburg and Sanders Avenue frontages as part of their contribution. The proposed paseo is proposed predominately adjacent to local and collector streets and connecting a Community Gateway at the Gettysburg/Leonard Avenue intersection to the Loma Vista Village Green located west of the Project.

#### Landscape Setbacks

The Loma Vista Specific Plan adopted specific street section designs for Arterial and Collector Streets. Leonard Avenue is proposed to have a 30-foot landscape/pedestrian setback, with an 11-foot parkway, 8-foot sidewalk and 11-foot landscape setback. The wall along the Leonard Avenue frontage shall be a 6-foot split face masonry wall from the highest side.

Gettysburg Avenue is proposed to have a 23-foot landscape/pedestrian setback, with an 11-foot parkway, 8-foot sidewalk and 4-foot landscape setback. The wall along the Gettysburg Avenue frontage shall be a 6-foot split face masonry wall from the highest side.

Specific locations and type of tree to be utilized along Gettysburg and Leonard Avenue frontages shall be reviewed during the residential site plan review process.

#### Residential Site Plan Review

The applicant will be required to submit a Residential Site Plan Review in order to allow staff to review landscaping, open space, architecture, elevations, amenities, and specific plot plans.

#### Future Multiple Family Development

The applicant's proposal maintains a planning area for multiple-family development. The applicant is not requesting a site plan review at this time but will continue working with staff on a development plan. However, the applicant has provided draft conceptual drawings of the multi-family development and are included in the staff report for the Council's review (Exhibits K, M, N, O, P, and Q).

#### Public Comments

A public notice was sent to area residents within 600 feet of the property boundaries. Staff has not received comments or concerns from the public upon finalization of this report.



*Review and Comments from Agencies*

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, and the State Department of Fish and Wildlife.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

*Planning Commission Comments*

The Planning Commission considered this Project on Thursday, August 24, 2017. The Commission denied Rezone R2016-17 with a vote of 4-1. Additionally, the Commission denied Vesting Tentative Tract Map TM6168 with a vote of 3-2.

The Commission had various concerns associated with the project, including pedestrian and bicycle connectivity, parking, gates, setbacks, commercial use reduction, and circulation. The Commission asked the Police Department to discuss their concerns with the proposed project and associated recommendations. The Police Department recommended that the project be gated to reduce calls for service and assist the HOA in parking enforcement.

The Commission felt that there needs to be more planning on the project design to promote pedestrian friendliness in this quarter section and improve the traffic circulation. The proposed circulation modifications would eliminate two neighborhood streets connecting to Gettysburg Avenue. A concern of the Commission was the proposal to have one main entrance to TM6168 from Sanders Avenue and having increased traffic volumes from the Gettysburg Avenue access.

In an effort to promote a more positive pedestrian connectivity environment between the proposed project and the Village Green, the Commission recommended adding sidewalks within Vesting Tentative Tract Map TM6168.

The Commission also discussed the lack of adequate bicycle lanes along the bordering local public streets of TM6168 due to the applicant's proposal to utilize the reduced street width policy on Streets "A," "B" and "C."

The Commission had concerns with the applicant's proposal not to include commercial uses adjacent to the Village Green under the proposed Planning Area #8A. The Commission found it difficult to justify the reduction of commercial uses adjacent to the open space as envisioned by the Master Plan. Please see Attachment 2 to review the detailed minutes of the August 24, 2017 Planning Commission hearing.



### Post Planning Commission Hearing

The applicant met with City staff on numerous occasions to discuss the concerns of the Planning Commission and review important modifications to both the single-family project and the future multi-family development.

In regards to the single-family project, the applicant decided to gate the entire project to satisfy the enforcement concerns of the Commission and Police Department. This modification reduced the number of lots from 205 to 200 with the inclusion of the gates. Additionally, the applicant's revised design has provided an additional 10 guest parking stalls throughout the interior of the development for a total of 71 stalls.

The applicant has modified the multi-family development design to include the opportunity for live/works uses on the first floor of the three-story buildings facing the Village Green area. The attached Exhibits N, O, P, and Q provide a visual representation of the live/work concept on the first floor and residential units on the second and third floors. The applicant is proposing to gate the multi-family development as well and will provide access from three main entries along Streets "B" and "C."

The applicant provided staff with a multi-purpose trail safety analysis prepared by JLB Traffic Engineering, Inc., to evaluate the pedestrian safety concerns by eliminating two neighborhood streets connecting to Gettysburg Avenue. The analysis is attached (Exhibit J) for the Council's review and consideration.

### Community Facilities District

The fiscal analysis of the Southeast Urban Center Specific Plan identified possible long-term funding shortfalls in the City's operating and maintenance costs. To address this issue the City of Clovis is implementing a Community Facilities District. Community Facilities Districts (CFD's) are a means of providing additional funding for the provision of public facilities and services for public safety, parks and recreation services, and other important municipal services in newly developing areas of the community where the city would not otherwise be able to afford to continue to provide an adequate level of service as the City continues to grow. The use of CFD's is fairly common among cities in California experiencing high rates of growth during this past decade, such as Clovis, due to significant losses of local revenue from tax shifts authorized by the State of California and the need to continue to provide an adequate level of service as growth occurs.

A condition of approval has been added to this tentative map requiring participation of this tentative map in the CFD.

### Consistency with General Plan Goals and Policies

Staff has evaluated the Project in light of the General Plan Land Use goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible



planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of auto trips.

**Goal 3:** Orderly and sustainable outward growth into three Urban Centers with neighborhoods that provide a balanced mix of land uses and development types to support a community lifestyle and small town character.

**Policy 3.2 Individual development project.** When projects are proposed in an Urban Center, require a conceptual master plan to show how a proposed project could relate to possible future development of adjacent and nearby properties. The conceptual master plan should generally cover about 160 acres or the adjacent area bounded by major arterials, canals, or other major geographical features. The conceptual master plan should address:

- A. Compliance with the comprehensive design document.
- B. A consistent design theme.
- C. A mix of housing types.
- D. Adequate supply and distribution of neighborhood parks.
- E. Safe and direct pedestrian and bicycle linkages between residential areas and school sites, parks, and community activity centers.

**Policy 3.3 Completion of Loma Vista.** The City prioritizes the completion of Loma Vista while allowing growth to proceed elsewhere in the Clovis Planning Area in accordance with agreements with the County of Fresno and LAFCo policies.

**Policy 3.5 Fiscal sustainability.** The City shall require establishment of community facility districts, lighting and landscaping maintenance districts, special districts, and other special funding or financing tools in conjunction with or as a condition of development, building or permit approval, or annexation or sphere of influence amendments when necessary to ensure that new development is fiscally neutral or beneficial.

**Goal 6:** A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

**Policy 6.2: Smart growth.** The city is committed to the following smart growth goals.

- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Mix land uses.
- Strengthen and direct development toward existing communities.
- Take advantage of compact building design.



California Environmental Quality Act (CEQA)

The applicant's project is in substantial conformance with the environmental analysis performed for the 2014 General Plan Update, 2014 Development Code Update, Site Plan Review SPR2008-10, and the Loma Vista Specific Plan EIR. No major revisions will be required with the adopted Environmental Impact Report or Mitigated Negative Declaration to accommodate the proposed project, therefore, subject to California Government Code Section 65457 no further environmental review is required for this project.

The City published notice of this public hearing in *The Business Journal* on Wednesday, August 30, 2017.

**FISCAL IMPACT**

None.

**REASON FOR RECOMMENDATION**

The Planning Commission identified various concerns associated with the project, including pedestrian and bicycle connectivity, parking, gates, setbacks, commercial use reduction, and circulation. The Commission finds the proposed rezoning and vesting tentative tract map not consistent with the Loma Vista Community Center North and South Master Plan. Therefore, the Planning Commission recommends denial of Rezone R2016-17 and TM6168.

In staff's opinion, the proposed amendment to the Master Plan Community (M-P-C) Zone District and vesting tentative tract map remain consistent with the goals and policies of the General Plan, Loma Vista Specific Plan, Loma Vista Community Centers North and South, and Development Code. Modifications being requested represent the contemporary nature of development while retaining the envisioned character of the urban village. With the conditions of approval and an understanding that future development of Planning Area #8A requires further design evaluation, Staff recommends approval of R2016-17 and TM6168, subject to the conditions of approval attached as Exhibit "A" and Exhibit "A-1."

The findings to consider when making a decision on a rezone application include:

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, and compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)



The findings to consider when making a decision on a tentative subdivision map application are as follows:

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan;
2. The site is physically suitable for the type and proposed density of development;
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems;
5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision;
6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;
7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and
8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

In light of court decisions, it is appropriate for the City to make findings of consistency between the required dedications and the proposed development. Every dedication condition needs to be evaluated to confirm that there is a rough proportionality, or that a required degree of connection exists between the dedication imposed and the proposed development. The City of Clovis has made a finding that the dedication of property for this project satisfies the development's proportionate contribution to the City's circulation system. The circulation system directly benefits the subject property by providing access and transportation routes that service the site. Further, the circulation system also enhances the property's value.

## **ACTIONS FOLLOWING APPROVAL**

The second reading of the Rezone Ordinance will be heard by the City Council at its next regular meeting, and if approved, will go into effect 30 days from its passage and adoption.

## NOTICE OF HEARING

Property Owners within 600 feet notified: 161  
Interested individuals notified: 10

Prepared by: George González, MPA, Associate Planner

Recommended by:

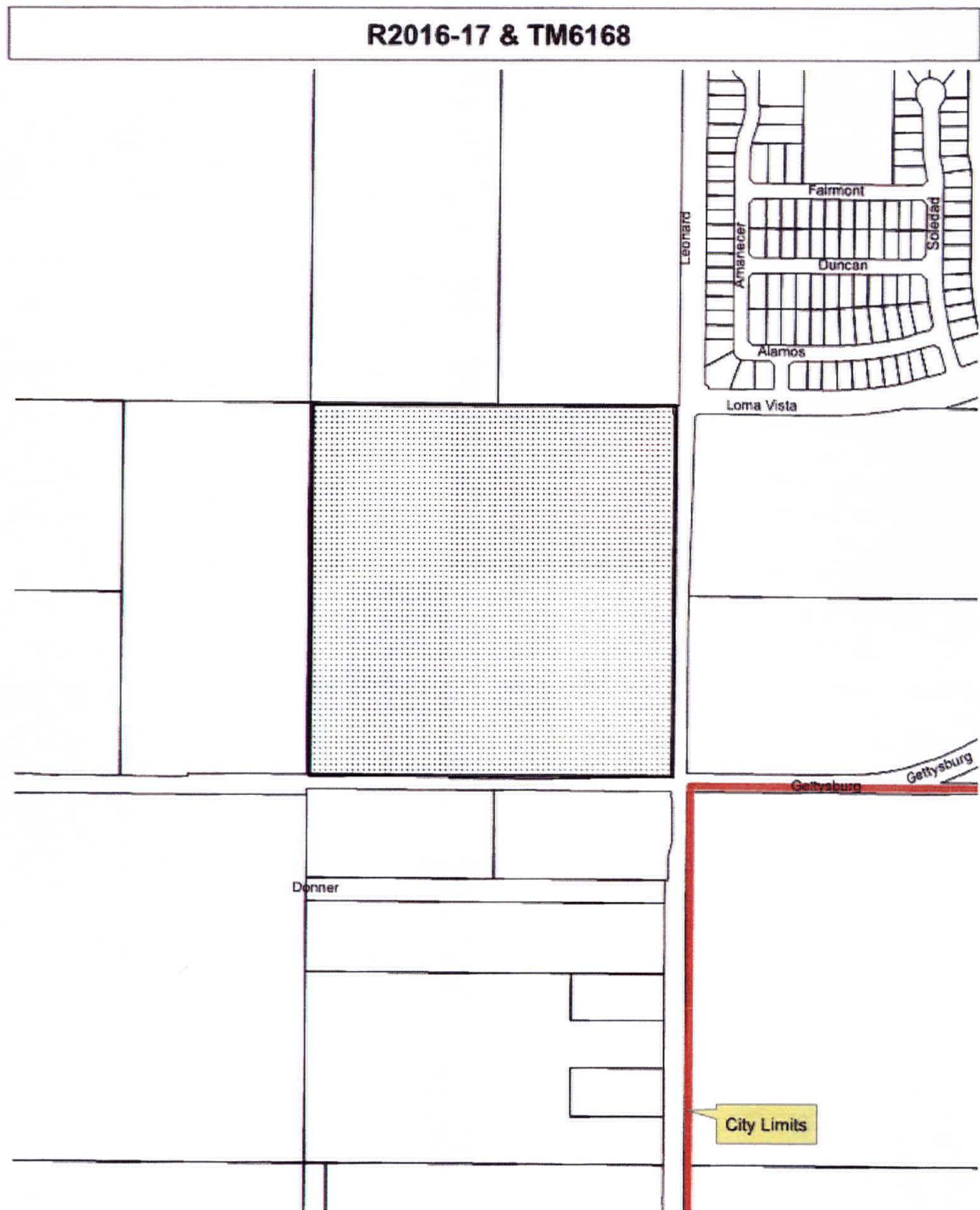


Dwight Kroll, AICP  
Director of Planning  
And Development  
Services

O:\Planning Projects\Rezone\R 2016\R2016-17 (Tri-Wilson TM6168)\CC September 11, 2017\PDS - Staff Report R2016-17 & TM6168.doc



**FIGURE 1  
PROJECT LOCATION MAP**



**EXHIBIT "A"**  
**Conditions of Approval – R2016-17**  
**(As approved by the City Council – September 11, 2017)**

**PLANNING DIVISION CONDITIONS**  
**(George González, Division Representative – (559) 324-2383)**

1. Rezone R2016-17 approves an amendment to the Master Plan Community (M-P-C) Zone District to modify the Circulation Plan and Planning Areas #7, #8 and #9 within the Loma Vista Community Center South.
2. Rezone R2016-17 creates two new Planning Areas within the Loma Vista Community Center South, titled Planning Area #7A and Planning Area #8A.
3. Planning Area #7A and Planning Area #8A are classified to the R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential) Zone Districts, respectively.
4. The development of Planning Area #7A shall utilize the development standards outlined under Attachment 2 of this staff report.
5. The development of Planning Area #8A shall utilize the development standards of Planning Areas #8 and #9 of the Loma Vista Community Centers North and South Master Plan.
6. The developer shall enter into a Covenant Agreement regarding a "right to farm." Such agreement shall be disclosed to all future home buyers.
7. The developer shall provide (at their cost) updated sheets of the Loma Vista Community Centers North and South Master Plan with the approved modifications/ changes.
8. Planning Area #8A will provide for high density residential uses with a density of 25.1 to 43.0 dwelling units per acre.
9. Planning Area #7A will provide for high density residential uses with a density of 15.1 to 25.0 dwelling units per acre.



**EXHIBIT "A-1"**  
**Conditions of Approval – TM6168**  
**(As approved by the City Council – September 11, 2017)**

**PLANNING DIVISION CONDITIONS**  
**(George González, Division Representative – (559) 324-2383)**

1. This Project is subject to the development standards of the Loma Vista Specific Plan and Loma Vista Community Centers North and South Master Plan.
2. The developer shall enter into a Covenant Agreement regarding a "right to farm." Such agreement shall be disclosed to all future home buyers.
3. Prior to issuance of permits, the developer shall pay a fee of \$1,591 per gross acre for reimbursement of fees paid for the preparation of the Loma Vista Urban Centers Master Plan Zoning and Site Plan Review Document.
4. All transformers shall be located underground. Pad mounted transformers may be considered through an Administrative Use Permit.
5. This vesting tentative map is approved per the attached Exhibit "B" of this report.
6. All landscaping (open space and private yards) shall conform with the City of Clovis Water Efficient Landscape Ordinance.
7. The developer shall construct a minimum six-foot high solid split face masonry wall along the Gettysburg and Leonard Avenue frontages.
8. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Development Code.
9. The applicant shall notify all property owners along streets where new water and sewer utilities will be constructed to determine if they wish to purchase a lateral connection per City policy.
10. The applicant shall contribute a proportionate share towards the development of a "paseo" system in this quarter section as required by the General Plan land use diagram, Loma Vista Specific Plan and Loma Vista Community Centers North and South Master Plan.
11. The project requires the submittal and approval of a residential site plan review. Specific amenities, models, color and materials of the models, garages, landscaping, walls, and fencing will be evaluated.

12. The developer shall construct a minimum six-foot high solid masonry wall adjacent to trails and open space (reduced wall heights in front setback areas). Specific material and colors will be reviewed during site plan review.
13. The developer shall provide enhanced pedestrian crossings at all points where a paseo crosses a road. A minimum standard includes a change in surface treatment. Modified curbs with bump-out is required. The Gettysburg Avenue crossing will require street hardware to create a path that is identifiable to vehicle traffic during the day and night and reduces conflict with vehicle turning movements at the intersection.
14. The developer shall provide fixtures such as the thematic Loma Vista Light at each paseo crossing. Specific details will be reviewed during the residential site plan review process.
15. The Loma Vista Lamp Post with Concrete Base (lantern) shall be provided at the northwest corner of Gettysburg and Leonard Avenues, northeast corner of Gettysburg and Sanders Avenues, and the southeast corner of Sanders and Street "A" Avenues.
16. The Loma Vista bollard lights shall be provided throughout the paseo path along the Gettysburg and Sanders Avenue frontages.
17. The developer shall provide an enhanced community gateway at the northwest corner of Gettysburg and Leonard Avenues per the Loma Vista Community Centers North and South Master Plan. Specific details will be reviewed during the residential site plan review process.
18. The developer shall provide an enhanced mid-block pedestrian crossing on Gettysburg Avenue.
19. The developer shall provide an entry element (median) along the Sanders Avenue alignment. Specific details will be reviewed during the residential site plan review process.
20. Directional pedestrian/bike ramps shall be utilized at paseo crossings wherever possible.
21. The implementation of the "Craftsman," "Monterey," "Tudor Cottage," and "Mission Revival" thematic elements, residential design guidelines and standards, design of landscaped areas and of walls and fences and street improvements, shall be reviewed during a residential site plan review application to be submitted for approval prior to the plan check phase.
22. Leonard Avenue shall have a 30-foot landscape/pedestrian setback, with an 11-foot parkway, 8-foot sidewalk and an 11-foot landscape setback. Street trees shall be Scarlet Oak in the parkway.



23. Gettysburg Avenue shall have a 23-foot landscape/pedestrian setback, with an 11-foot parkway, 8-foot sidewalk, and 4-foot landscape setback. Street trees shall be Scarlet Oak in the parkway and Cork Oak in the median.
24. The applicant shall obtain City approval in advance of temporary and permanent subdivision signs through separate sign review, consistent with the development criteria of the Clovis Municipal Code Sign Ordinance.
25. The developer shall construct 45 degree angle walls at the entrances to the development.
26. Open parking stalls shall be a minimum of 10'x20'.
27. All setbacks shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
• Plan 1212 (two-story)	5'	4'	5'	3'	4'
• Plan 1413 (two-story)	5'	4'	5'	3'	4'
• Plan 1648 (two-story)	5'	4'	5'	3'	4'
• Plan 1660 (two-story)	5'	4'	5'	3'	4'

Lot Coverage:	65% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	1,800 square feet
Minimum Parcel Width:	36 feet
Minimum Curved Parcel Width:	36 feet
Minimum Corner Parcel Width:	36 feet
Minimum Parcel Depth:	50 feet
Reversed Corner Street Side Setback:	3 feet
Walls/ Fences:	7 feet Maximum
Equipment (Pool, Spa & Fountain):	3 feet
Garages:	10'x20' interior (1-car) 20'x20' interior (2-car)

28. The 2-car garages shall have a 20'x20' interior dimension.
29. The 1-car garage model shall have a 10'x20' interior dimension.
30. Upon final recordation of this tentative tract map, it shall be the applicant's responsibility to furnish to the Planning Department an electronic (PDF) copy of the original map obtained from the Fresno County Recorder's Office.
31. The applicant shall relay all conditions of approval for Tentative Tract Map TM6168 to all subsequent purchasers of individual lots, if applicable, and/or to subsequent purchasers of this entire tract map development.

32. The applicant shall record a Notice of Nonconformance dealing with any structure used for model homes where the garage is converted for the use as a sales office.

33. Paseo Development Standards:

- Paseos shall have a minimum paved width of 10';
- Intersections between paseos and streets should be limited to minimize potential for collisions;
- Paseos shall be designed to maximize "defensible space";
- Paseos will be designed and constructed to permit emergency police vehicle traffic;
- Street side paseos (parallel to and accessible from local residential streets) shall have a minimum width of 30';
- Connecting paseos (between the side or rear of residential lots between streets) shall;
  - Have a minimum width of 30';
  - Utilize portions of private property side yard setbacks to increase visual width to 40';
- Side yard property line walls shall be held to no more than 3 feet in height for at least  $\frac{1}{2}$  the depth of the home. The Director of Planning and Development Services may make specific modifications to this requirement at the site plan review phase;
- Paseo walkway shall meander allowing for shade trees on both sides of the paseo;
- Standard paseo post lighting may be substituted by approved bollard lights;
- Be entirely viewable from a public street;
- Not extend more than 300' from any public street unless directly viewable from adjacent residential lots;
- No utilities shall be permitted in the paseo or open space areas unless approved by the Director of Planning and Development Services.



**POLICE DEPARTMENT CONDITIONS**  
**(Jared Binford, Department Representative - 324-2400)**

34. Leonard Avenue shall be posted for no parking along the frontage of the proposed development.
35. Construction work shall be limited to the hours set forth in the Clovis Municipal Code. (CMC § 5.18.15.)
36. It shall be the responsibility of the property owner to maintain the structures and adjoining fences to the project free of graffiti. All forms of graffiti shall be removed within 72 hours. (CMC §§ 5.18.02(r), 5.18.06 (b).)
37. Emergency phone numbers for responsible parties shall be kept current during the building phase of the project.
38. All construction materials shall be located within a secured area or monitored by security staff during non-construction hours.

**FIRE DEPARTMENT CONDITIONS**  
**(Gary Sawhill, Department Representative - 324-2224)**

39. **Fire Access Roads:** the following roads labeled as Loma Vista Ave, Sander Ave., and Street A, Street B, Street C, and Future Street separating park site and apartment site shall be constructed prior to occupancy of this tract.
40. **Street Width:** Fire apparatus access width shall be determined by measuring from "base of curb" to "base of curb" for roadways that have curbs. When roadways do not have curbs, the measurements shall be from the edge of the roadway surface (approved all weather surface).
41. **Street Width for Single Family Residences:** Shall comply with Clovis Fire Standard #1.1.
42. **Street Width for Single Family Residences:** Minimum Access Road Width of 36 feet for Single Family Residences. Roads 36 feet or wider allow for Parking on both sides of street.
43. **Security Gates:** All security gates shall comply with Clovis Fire Department Gates Standard #1.5. Plans shall be submitted for review and permits issued by Fire Department prior to installation.
44. **Turning Radius:** All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45').



45. **Temporary Street Signs:** The applicant shall install temporary street signs that meet City Temporary Street Sign Standard #1.9 prior to issuance of building permits within a subdivision.
46. **All Weather Access & Water Supply:** The applicant shall provide all weather access to the site during all phases of construction to the satisfaction of the approved Clovis Fire Department Standard #1.2 or #1.3.
47. **Two Points of Access:** Any development to this parcel will require a minimum of two (2) points of access to be reviewed and approved by the Clovis Fire Department. All required access drives shall remain accessible during all phases of construction which includes paving, concrete work, underground work, landscaping, perimeter walls.
48. **Residential Fire Hydrant:** The applicant shall install 14 4 ½" x 2 ½" approved Residential Type fire hydrant(s) and "Blue Dot" hydrant locators, paint fire hydrant(s) yellow with blue top and caps, and paint the curb red as specified by the adopted Clovis Fire Department Standard #1.4. Plans shall be submitted to the Clovis Fire Department for review and approval prior to installation. The hydrant(s) shall be charged and in operation prior to any framing or combustible material being brought onto the site.
49. **Vehicle Impact Protection:** The applicant must install protection posts that meet the City of Clovis specifications according to Clovis Fire Department Standard #1.7.
50. **Looped Water Main:** The applicant shall install approved looped water main capable of the necessary flow of water for adequate fire protection and approved by the Clovis Fire Department.

**CLOVIS UNIFIED SCHOOL DISTRICT CONDITIONS**  
**(Steve Ward, CUSD Representative – 559-327-9000)**

51. The development of this project is subject to the Clovis Unified School District impact fee. See the attached letter.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT CONDITIONS**  
**(Neda Shakeri, FMFCD Representative - 456-3292)**

52. The applicant shall refer to the attached FMFCD requirements. If the list is not attached, please contact the District for the list of requirements.

**FRESNO IRRIGATION DISTRICT CONDITIONS**  
**(Laurence Kimura, FID Representative - 233-7161)**

53. The applicant shall refer to the attached FID correspondence. If the list is not attached, please contact the District for the list of requirements.



**COUNTY OF FRESNO COMMENTS**

**(Steve Farmer, County of Fresno Representative - 488-2892)**

54. The applicant shall pay the County of Fresno's facilities impact fees set forth in the applicable Schedule of Fees adopted by the County Board of Supervisors, in County Ordinance, Chapter 17.90.

**ENGINEERING / UTILITIES / SOLID WASTE DIVISION CONDITIONS**

**(Sean Smith, Engineering Division Representative – 324-2363)**

**(Lisa Koehn, Department Representative – 324-2607)**

**(Scott Redelfs, Solid Waste Division Representative – 324-2614)**

**Maps and Plans**

55. The applicant shall have a final tract map prepared, in the form prescribed by the Subdivision Map Act and City of Clovis Municipal Code. The final tract map shall be submitted to the City of Clovis Engineering Division, and should include, but not be limited to, final tract map, the current filing fee, closure calculations, current preliminary title report, legal descriptions and drawings of required dedications.
56. The applicant shall submit to the City of Clovis Engineering Division, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements. These plans shall be prepared by a registered civil engineer, and shall include a site grading and drainage plan and an overall site utility plan showing locations and sizes of sewer, water, irrigation, and storm drain mains, laterals, manholes, meters, valves, hydrants, other facilities, etc. Plan check and inspection fees per City of Clovis Resolution No. 03-152 shall be paid with the first submittal of said plans. All plans shall be approved by the City and all other involved agencies prior to the release of any development permits.
57. Prior to the initial submittal of the improvement plans, the applicant shall contact Sean Smith at (559) 324-2363 to setup a coordination meeting (Pre-submittal Meeting).
58. Upon approval of improvement plans, the applicant shall provide the City with the appropriate number of copies. After all improvements have been constructed and accepted by the City, the applicant shall submit to the City of Clovis Engineering Division one bond copy of the approved set of construction plans revised to accurately reflect all field conditions and revisions and marked "AS-BUILT" for review and approval. Upon approval of the AS-BUILTs by the City the applicant shall provide (1) reproducible and (3) copies of the AS-BUILTs to the City.



General

59. Applicant shall pay all applicable development fees at the rate in effect at the time of payment and prior to final map approval by Council or have the fees payable directly to the City through a separate escrow account at the time of recordation of the map.
60. For any sewer or water main, or undergrounding of utilities, or major street to be installed by the applicant and eligible for reimbursement from future developments, the applicant shall submit to the City of Clovis, all reimbursement requests in accordance with the current version of the "Developer Reimbursement Procedures"; a copy can be obtained at the City Engineer's Office.
61. The applicant shall submit a soils report or a waiver of soils report to the City of Clovis Engineering Division for approval by the City Engineer.
62. The applicant shall address all the requirements of the local utility, telephone, and cable companies. It shall be the responsibility of the applicant to notify the local utility, telephone, and cable companies for the removal or relocation of utility poles where necessary. The City shall not accept first submittals without proof that the applicant has provided the improvement plans and documents showing all proposed work to the utility, telephone, and cable companies. All utility vaults in which lids cannot be sloped to match proposed finished grading, local utilities have 5% max slope, shall be located in sidewalk areas with pedestrian lids so the lid slope matches sidewalk cross slope.
63. The applicant shall contact and address all requirements of the United States Postal Service - Clovis Office for the location and type of mailboxes to be installed. The location of the facilities shall be approved by the City Engineer prior to approval of improvement plans or any construction.
64. The applicant shall contact and address Caltrans requirements.
65. The applicant shall address all conditions, and be responsible for obtaining encroachment permits from the City of Clovis for all work performed within the City's right-of-way and easements.
66. The applicant shall install all improvements within public right-of-way and easements in accordance with the City of Clovis standards, specifications, master plans, and record drawings in effect at the time of improvement plan approval.
67. The applicant shall provide and pay for any compaction tests in recompacted areas as a result of failure to pass an original compaction test. Original compaction tests shall be provided and paid for by the City and their locations designated by the City Engineer.



68. All new utility facilities located on-site, within alleys, or within the street right-of-way along the streets adjacent to this tract shall be undergrounded unless otherwise approved by the City Engineer.

Dedications and Street Improvements

69. The applicant shall provide right-of-way acquisition or dedicate free and clear of all encumbrances and/or improve the following streets to City standards. The street improvements shall be in accordance with the City's specific plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the type, location, and grades of existing improvements.
70. Leonard Avenue - along development frontage, provide right-of-way acquisition for 70' (exist varies from 35' to 40') west and 26' (exist 20') east of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, median island, landscaping, irrigation, 46' (30+16) of permanent paving, 3' paved swale, and all transitional paving as required.
71. Gettysburg Avenue - along development frontage, provide right-of-way acquisition for 67' (exist varies from 20' to 30') north and 26' south of the centerline and improve with curb, gutter, sidewalk, drive approach, curb return ramps, street lights, landscaping, irrigation, 58' (36+22) of permanent paving, 3' paved swale, and all transitional paving as required.
72. Loma Vista Parkway - along development frontage, provide right-of-way acquisition for 37' (exist 0') south and 20' (exist 0') north of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, temporary cul de sac on the west end of the street, landscaping, irrigation, 32' (16+16) of permanent paving, 3' paved swales, and all transitional paving as required.
73. North-South street - along the park, provide right-of-way acquisition for 45' (exist 0') west and east of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, landscaping, irrigation, 66' (33+33) of permanent paving, and all transitional paving as required.
74. Street 'A' and 'C' – provide right-of-way acquisition for 30' (exist 0') north and south of the centerline and improve with curb, gutter, sidewalk, street lights, landscaping and irrigation, 32' (16+16) permanent paving, and all transitional paving.
75. Street 'B' - provide right-of-way acquisition for 30' (exist 0') east and west of the centerline and improve with curb, gutter, sidewalk, street lights, landscaping and irrigation, 32' (16+16) permanent paving, and all transitional paving.
76. Sanders Avenue – between Street 'A' and Gettysburg Avenue, provide right-of-way acquisition for 30' (exist 0') east and 16' (exist 0') west of the centerline and improved with



curb, gutter, sidewalk, street lights, landscaping and irrigation, 28' (16+12) permanent paving, 3' paved swale, and all transitional paving.

77. Loma Vista Parkway – provide right-of-way acquisition for and install round-a-bouts per Loma Vista Specific Plan at the locations shown on the Vehicular Circulation Plan.
78. Interior streets dedicate to provide for 54' right-of-way and improve with curb, gutter, sidewalk, drive approaches, curb return ramps, streetlights, 36' permanent paving except in cul de sac, and all transitional paving as needed.
79. If the applicant chooses the Narrow Residential Street Policy, the applicant shall dedicate to provide for 50' right-of-way and improve with curb, gutter, sidewalk, drive approaches, curb return ramps, streetlights, 32' permanent paving except in cul de sac, and all transitional paving as needed. The maximum distance for a narrow 50' wide street is 1000' to 54' wide or wider street.
80. If interior streets are private, the applicant shall provide for two-way traffic with no parking on both sides the minimum travel width shall be 25' with a clear width of 30', for two-way traffic with parking on one side the minimum travel width shall be 32', and for two-way traffic with parking on both sides the minimum travel width shall be 36'.
81. Round-a-bouts – dedicate and improve to Federal Highway Administration guidelines and approval of the City Engineer.
82. Temporary cul de sac bulb - dedicate to provide for a 48' radius and improve with a 45' radius of temporary or combination permanent paving and 3' paved swale.
83. Install a traffic signal at Leonard and Gettysburg Avenues and at Leonard Avenue and Loma Vista Parkway and provide the necessary right-of-way for the signal in its ultimate location.
84. The applicant shall provide for a solid waste garbage covenant for lots 15, 16, 17, 34, 35, 47-52, 63-65, 67-69, 80-82, 130, and 131.
85. The applicant shall relinquish all vehicular access to Leonard and Gettysburg for all the lots backing or with sideyards onto these streets.
86. The applicant shall provide right-of-way acquisition for a community gateway on the north-west corner of Leonard and Gettysburg Avenue and on the south west corner of Leonard Avenue and Loma Vista Parkway per the South-East Urban Center (Loma Vista) specific plan.
87. The applicant shall provide for the dedication the Park on the north-west area of the property.



88. The applicant shall provide for the dedication and install the urban trail improvements.
89. The applicant shall provide for the dedication and install paseos improvements.
90. Applicant shall provide a dedication for a 10' public utility easement, where applicable, along all frontages or alternate widths approved by the utilities companies.
91. Applicant shall provide preliminary title report, legal description and drawings for all dedications required which are not on the site. All contact with owners, appraisers, etc. of the adjacent properties where dedication is needed shall be made only by the City. The City will prepare an estimate of acquisition costs including but not limited to appraised value, appraisal costs, legal costs, negotiation costs, and administrative costs. The applicant shall pay such estimated costs as soon as they are determined by the City.
92. The applicant shall obtain "R Value" tests in quantity sufficient to represent all street areas, and have street structural sections designed by a registered civil engineer based on these "R Value" tests.
93. The applicant shall, at the ends of any permanent pavement abutting undeveloped property, install 2" x 6" redwood header boards that shall be placed prior to the street surfacing.
94. Standard barricades with reflectors shall be installed at ends of streets abutting undeveloped property and any other locations to be specified by the City Engineer.

#### Sewer

95. The applicant shall identify and abandon all septic systems to City standards.
96. The applicant shall install sanitary sewer mains of the size and in the locations indicated below, prior to occupancy. The sewer improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.
  - Loma Vista Parkway – install an 8" and a 10" main as shown on the approved sewer study.
  - Loma Vista Parkway - install 8" main between the west property line and the North-South Street along the park.
  - North-South Street along the park - install 12" main between Loma Vista Parkway and Street 'A.'
  - Street 'A' - install 12" main between the North-South Street along the park and the west property line.
  - Sanders Avenue – install 15" main between Street 'A' and Gettysburg Avenue.
  - Gettysburg Avenue – install 15" main as shown on the approved sewer study.



- All other Interior streets - install 8" mains.
- 97. The applicant shall provide dedication of a 15' wide utility easement for all on-site sewer mains, not located in otherwise dedicated rights-of-way.
- 98. The applicant shall install one (1) 4" sewer service house branch to each lot within the tentative tract.
- 99. The applicant shall notify all property owners annexed to the City and along streets where a new sewer main will be constructed to determine if they wish to be connected to City sewer. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that sewer connection fees are required if they choose to connect.

#### Water

- 100. The applicant shall identify and abandon all water wells to City standards.
- 101. The applicant shall install water mains of the sizes and in the locations indicated below, and provide an adequately looped water system prior to occupancy. The water improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.
  - Loma Vista Parkway - install 8" main between the west property line and Leonard Avenue.
  - Interior streets - install 8" mains.
- 102. The applicant shall provide dedication of 15-foot wide utility easements for all on-site water mains, hydrants, blow-offs, and water meters not located in otherwise dedicated rights-of-way.
- 103. The applicant shall install a City standard water service to each lot of the proposed subdivision. Water services shall be grouped at property lines to accommodate automatic meter reading system, including installation of connecting conduit.
- 104. The applicant shall notify all property owners' annexed to the City and along streets where a new water main will be constructed to determine if they wish to be connected to City water. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that water connection fees are required if they choose to connect.
- 105. Prior to recording a final map of any phase, the applicant shall demonstrate to the satisfaction of the City Fire Chief and City Engineer that there is adequate water pressure



to serve the units to be constructed. The applicant shall work with the City Engineer to determine the adequacy of water supply/pressure for the proposed development.

#### Recycled Water

106. The applicant shall install recycled water mains of the sizes and in the locations indicated below. The recycled water improvements shall be in accordance with the City's master plans and shall match existing improvements. All areas utilizing recycle water for irrigation shall be clearly marked on the improvement plans. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and may require appropriate calculations.

- Peseos, trails, and park – install mains as necessary to serve the paseos, trails, and the park.

#### Grading and Drainage

107. The applicant shall contact the Fresno Metropolitan Flood Control District (FMFCD) and address all requirements, pay all applicable fees required, obtain any required NPDES permit, and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution. Plans for these requirements shall be included in the previously required set of construction plans, and shall be submitted to and approved by FMFCD prior to the release of any development permits.

108. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Clovis Standard Drawing No. M-4 as modified by the City Council. Any retaining walls required on-site or in public right of way shall be masonry construction. All retaining walls shall be designed by a registered civil engineer.

#### Irrigation and Landscaping Facilities

109. The applicant, as a portion of the required tract improvements, shall provide landscaping and irrigation as required herein. The landscaping and irrigation shall be installed in public right-of-way and the area reserved for landscaping. The irrigation and landscape improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Plans for the required landscaping and irrigation systems shall be prepared by an appropriately registered professional at the applicant's expense and shall be approved by the City of Clovis Planning and Development Services Department and Public Utilities Department prior to the beginning of construction or the recording of the final tract map, whichever occurs first. Landscape and irrigation facilities that the City Landscape Maintenance District shall



maintain: the paseos, community gateways, landscape strips along Gettysburg and Leonard Avenues, and the median islands in Leonard Avenue.

110. All park and landscape improvements shall be installed, accepted for maintenance by the City prior to issuance of 40% of the Tract's building permits. If the park improvements are not constructed on the Outlot for any reason within two (2) years of the recordation of the final map of Tract, City shall have the right to request from surety and receive upon City's demand, sufficient funding to complete the construction of improvements for the park. The two year period may be extended at City's sole option and discretion and upon such conditions as City shall determine.
111. The owner shall request annexation to and provide a covenant for the Landscape Maintenance District. The property owner acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election will be required for the establishment of the initial assessment. The assessment for each lot must be obtained from the City for the tax year following the recordation of the final map. The estimated annual assessment per average sized lot is \$431, which is subject to change prior to issuance of building permit or final tract map approval and is subject to an annual change in the range of the assessment in the amount of the Consumer Price Index, U.S. City Average, All Urban Consumers (CPI Index), plus two percent (2%). The owner/developer shall notify all potential lot buyers before they actually purchase a lot that this tract is a part of a Landscape Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The owner/developer shall supply all pertinent materials for the Landscape Maintenance District.
112. The applicant shall comply with the City of Clovis Water Efficient Landscape Requirements Ordinance.
113. The applicant shall contact and address all requirements of the Fresno Irrigation District (FID). This may include dedicating easements, piping or relocating any existing FID canals and ditches, replacing any existing irrigation piping, concrete lining or improving any existing canals, construction or reconstruction of any canals, culverts, and bridge crossings. Plans for these requirements and improvements shall be included as in the previously required set of construction plans, and shall be submitted to and approved by FID prior to the release of any development permits or recording of the final tract map. If a FID or private irrigation line is to be abandoned, the applicant shall provide waivers from all downstream users.
114. The applicant shall indicate on construction drawings the depth, location and type of material of any existing Fresno Irrigation District's irrigation line along the proposed or existing street rights-of-way or onsite. Any existing canals shall be piped. The material of the existing pipe shall be upgraded to the proper class of rubber gasket pipe at all locations unless otherwise approved by the City Engineer.



115. The applicant shall apply to the Fresno Irrigation District (FID) for transfer of irrigation water rights to the City of Clovis, if the property has not already been removed from FID and transferred to the City. The applicant shall execute a "Request for Change of Relative Value" that can be obtained and processed through FID. The applicant shall provide a copy of the completed form to the City.
116. All existing agricultural irrigation systems either on-site or in public right of way, whether FID or privately owned, shall be identified prior to any construction activity on the site. Service to all downstream users of irrigation water shall be maintained at all times through preservation of existing facilities or, if the existing facilities are required to be relocated, the relocation and replacement of the existing facilities. It is the intent that downstream users not bear any burden as a result of development of the site. Therefore, the applicant shall pay all costs related to modification, relocation, or repair of any existing irrigation facilities resulting from or necessitated by the development of the site. The applicant shall identify on site plans and construction plans, all existing irrigation systems and their disposition (abandonment, repair, relocation, and/or piping). The applicant shall consult with the Fresno Irrigation District for any additional requirements for lines to be abandoned, relocated, or piped. The applicant shall provide waivers from all users in order to abandon or modify any irrigation pipelines or for any service interruptions resulting from development activities.
117. The applicant shall provide a perimeter wall perpetual maintenance covenant on all properties that have a perimeter wall that is installed on private property. A recordable covenant must be submitted to and approved by the City of Clovis City Engineer prior to final map approval.

#### Miscellaneous

118. The applicant shall install street lights on metal poles to local utility provider's standards at the locations designated by the City Engineer. Street light locations shall be shown on the utility plans submitted with the final map for approval. Street lights shall be owned and maintained by local utility providers. Proof of local utility provider's approval shall be provided.
119. The applicant shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City Standard ST-32 prior to final acceptance of the project. Monumentation shall include all section corners, all street centerline intersection points, angle points and beginning and end of curves (E.C.'s & B.C.'s). The applicant/contractor shall furnish brass caps. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Brass caps required for installation of new monuments or replacement of existing monuments shall be provided by the contractor/applicant and approved by City prior to installation. Within five days after the



final setting of all monuments has been completed, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.

120. A deferment, modification, or waiver of any engineering conditions will require the express written approval of the City Engineer.
121. The conditions given herein are for the entire development. Additional requirements for individual phases may be necessary pending review by the City Engineer.

**Administration Department Conditions**

(John Holt, Department Representative – (559) 324-2111)

122. Prior to approval, recordation or filing of an annexation, final map, or site plan, the property covered by the project shall be included within or annexed to a Community Facilities District (CFD), established by the City for the provision of public facilities and services, for which proceedings have been consummated, and shall be subject to the special tax approved with the formation or annexation to the CFD. The CFD applies only to residential projects.
123. The applicant and the property owner acknowledge and agree that if the project were not part of a CFD, the City might lack the financial resources to operate facilities and provide public services, such as police protection, fire protection, emergency medical services, park and recreation services, street maintenance and public transit. Absent the requirement for inclusion of the project within a CFD, the City might not be able to make the finding that the project is consistent with the General Plan and relevant specific plans and might not be able to make the findings supporting approval of the project as required by the Subdivision Map Act and the California Environmental Quality Act, and the City might be required to deny the application for the project.
124. The owner/developer shall notify all potential lot buyers prior to sale that this project is a part of a Community Facilities District and shall inform potential buyers of the special tax amount. Said notification shall be in a manner approved by the City. This requirement may be waived at the discretion of the City Council if, at the time of the approval, recordation or filing of the project, the City Council has determined that it is not necessary that the project be included in the CFD.
125. The applicants shall reimburse the City for any expense associated with the transition agreement for fire services with the Fresno County Fire Protection District that would apply to this proposal.



**DRAFT ORDINANCE & RESOLUTION**

**ATTACHMENT 1**

**DRAFT  
ORDINANCE 17-\_\_**

**AN ORDINANCE AMENDING AND CHANGING THE OFFICIAL ZONE MAP OF THE CITY  
OF CLOVIS IN ACCORDANCE WITH SECTIONS 9.08.020 AND 9.86.010 OF THE CLOVIS  
MUNICIPAL CODE TO RECLASSIFY LAND LOCATED AT THE NORTHWEST CORNER  
OF GETTYSBURG AND LEONARD AVENUES AND CONFIRMING ENVIRONMENTAL  
FINDINGS**

**LEGAL DESCRIPTION:**

See the attached Exhibit "One."

**WHEREAS**, Tri-Wilson, L.P., 7550 North Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a Rezone R2016-17; and

**WHEREAS**, this is a request to approve an amendment to the Master Plan Community (M-P-C) Zone District to modify the Circulation Plan and Planning Areas #7, #8 and #9 within the Loma Vista Community Center South. Additionally, create two new Planning Areas within the Loma Vista Community Center South, titled Planning Area #7A and Planning Area #8A. Planning Area #7A and Planning Area #8A are proposed to be classified to the R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential) Zone Districts, respectively, for property located at the northwest corner of Gettysburg and Leonard Avenues, in the City of Clovis, County of Fresno, California; and

**WHEREAS**, the Planning Commission held a noticed Public Hearing on August 24, 2017, to consider the Project Approval, at which time interested persons were given opportunity to comment on the Project; and

**WHEREAS**, the Planning Commission recommended that the Council deny Rezone R2016-17; and

**WHEREAS**, the Planning Commission's recommendations were forwarded to the City Council for consideration; and

**WHEREAS**, the City published Notice of a City Council Public Hearing for October 16, 2017, to consider Rezone R2016-17. A copy of the Notice was delivered to interested parties within 600 feet of the project boundaries and published in The Business Journal; and

**WHEREAS**, the City Council does find the project in substantial conformance with the environmental analysis performed for the 2014 General Plan Update, 2014 Development Code Update, Site Plan Review SPR2008-10, and the Loma Vista Specific Plan EIR, pursuant to CEQA guidelines.

**WHEREAS**, the City Council held a noticed public hearing on October 16, 2017, to consider the approval of Rezone R2016-17; and

**WHEREAS**, on October 16, 2017, the City Council considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings relating to Rezone R2016-17, which are maintained at the offices of the City of Clovis Planning and Development Services Department; and

**WHEREAS**, the City Council has evaluated and considered all comments, written and oral, received from persons who reviewed Rezone R2016-17, or otherwise commented on the Project; and



**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CLOVIS DOES ORDAIN AS FOLLOWS:**

**SECTION 1: FINDINGS.** The Council finds as follows:

1. That the proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

**SECTION 2:** The Official Map of the City is amended in accordance with Sections 9.8.020 and 9.86.010 of the Clovis Municipal Code by reclassification of certain land in the City of Clovis, County of Fresno, State of California, to wit:

From Classifications C-3 (Central Trading District) and R-3 (Medium Density Multiple Family Residential)(1 Unit/2,000 Sq. Ft.) to Classifications R-4 (High Density Multiple Family Residential)(1 Unit/1,000 Sq. Ft.) for Planning Area #8A

From Classifications C-3 (Central Trading District) and R-4 (High Density Multiple Family Residential)(1 Unit/1,000 Sq. Ft.) to Classifications R-3 (Medium Density Multiple Family Residential)(1 Unit/2,000 Sq. Ft.) for Planning Area #7A

The property so reclassified is located at the northwest corner of Gettysburg and Leonard Avenues in the City of Clovis, County of Fresno, California, and is more particularly described as shown in "Exhibit One."

**SECTION 3:** This Ordinance shall go into effect and be in full force from and after thirty (30) days after its final passage and adoption.

**SECTION 4:** The record of proceedings is contained in the Planning and Development Services Department, located at 1033 Fifth Street, Clovis, California 93612, and the custodian of record is the City Planner.

APPROVED: October 16, 2017

<hr style="border: none; border-top: 1px solid black; margin-bottom: 5px;"/> <div>Mayor</div> <div style="display: flex; justify-content: space-around; width: 100%;"><div style="text-align: center;">*</div><div style="text-align: center;">*</div><div style="text-align: center;">*</div><div style="text-align: center;">*</div><div style="text-align: center;">*</div></div>	<hr style="border: none; border-top: 1px solid black; margin-bottom: 5px;"/> <div>City Clerk</div> <div style="display: flex; justify-content: space-around; width: 100%;"><div style="text-align: center;">*</div><div style="text-align: center;">*</div><div style="text-align: center;">*</div><div style="text-align: center;">*</div><div style="text-align: center;">*</div></div>
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The foregoing Ordinance was introduced at a regular meeting of the City Council held on October 16, 2017, and was adopted at a regular meeting of said Council held on \_\_\_\_\_, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

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City Clerk



**DRAFT  
RESOLUTION 17-\_\_**

**A RESOLUTION OF THE CITY COUNCIL APPROVING TM6168, CONSISTING OF 200 LOTS  
TO BE LOCATED ON 10.06 ACRES OF PROPERTY LOCATED AT THE NORTHWEST  
CORNER OF GETTYSBURG AND LEONARD AVENUES AND CONFIRMING  
ENVIRONMENTAL FINDINGS**

The City Council of the City of Clovis resolves as follows:

**WHEREAS**, a vesting tentative subdivision map of Subdivision Tract No. TM6168 has been filed with and considered by the City Council of the City of Clovis; and

**WHEREAS**, the proposed Project was assessed under the provisions of the California Environmental Quality Act (CEQA) and the potential effects on the environment were considered by the City Council, together with comments received and public comments, and the entire public record was reviewed; and

**WHEREAS**, the Planning Commission has considered said map on August 24, 2017, and adopted its Resolution No. 17-46, denying said tentative map; and

**WHEREAS**, the City Council does find the project in substantial conformance with the environmental analysis performed for the 2014 General Plan Update, 2014 Development Code Update, Site Plan Review SPR2008-10, and the Loma Vista Specific Plan EIR.

**WHEREAS**, this Council finds and determines that approval of said map should be conditioned on all conditions recommended by the City staff, as set forth in Exhibit "A-1" which is on file with the City Clerk's office.

**NOW, THEREFORE, BE IT RESOLVED** as follows:

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan;
2. The site is physically suitable for the type and proposed density of development;
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems;
5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has

acquired easements of access through or use of property within the proposed subdivision;

6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;
7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and
8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on October 16, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED: October 16, 2017

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Mayor

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City Clerk



## **PLANNING COMMISSION MINUTES**

**ATTACHMENT 2**

## CLOVIS PLANNING COMMISSION MINUTES

August 24, 2017

- A. Consider items associated with approximately 38.68 acres of land located at the northwest corner of Gettysburg and Leonard Avenues. Joginder Matharu & Jaswant Chahal-Matharu Family Trust, owners; Tri-Wilson, L.P., applicant; Harbour & Associates, representative.
  1. Consider Approval, Res. 17-45, R2016-17, A request to approve an amendment to the Master Plan Community (M-P-C) Zone District to modify the Circulation Plan and Planning Areas #7, #8 and #9 within the Loma Vista Community Center South. Additionally, create two new Planning Areas within the Loma Vista Community Center South, titled Planning Area #7A and Planning Area #8A. Planning Area #7A and Planning Area #8A are proposed to be classified to the R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential) Zone Districts, respectively.
  2. Consider Approval, Res. 17-46, TM6168, A request to approve a vesting tentative tract map for a 205-lot single-family residential subdivision.

Associate Planner George Gonzalez presented the staff report.

Commissioner Cunningham inquired whether the village atmosphere proposed is what is to come for Village Grove. Director Kroll confirmed that it is.

Commissioner Antuna expressed concern about reducing the commercial area initially allowed for in the plan leading to lost commercial opportunities, which would then lead to residents having to travel by car for shopping rather than walk.

Commissioner Cunningham inquired of Director Kroll whether this project addresses the affordable housing issue. Director Kroll responded that we may be able to use the density to claim affordable housing.

Commissioner Terrence inquired about parking, and whether interior streets within the development would provide on-street parking for guests and visitors. Associate Planner Gonzalez replied that the applicant would provide parking for each home in addition to allowing for parking on both sides of the interior streets. Commissioner Terrence then inquired about whether the circulation/parking plan would allow for parking for big events. Director Kroll responded that it does, that there is designed parking surrounding the park and site, along with another property being sought for parking later. He also pointed out that part of the design of Loma Vista was for trail use and transit use. The parking issue also goes back to the issue of whether the development should be gated or not, for which the Commission's feedback is being sought. He also gave information about the intended development of the park.

Chair Hinkle inquired about which streets would be private and which would be eliminated. Associate Planner Gonzalez answered using the slides to illustrate. Chair Hinkle then inquired about street widths on the public streets, which was answered by Associate Planner Gonzalez. Chair Hinkle pointed out that on Exhibit 1 talked about wide streets and asked how that correlates with the proposed 36 foot streets. Associate Civil Engineer Smith explained that the conditions he referred to were standard conditions offered to any such project but that the



applicant can choose to use a narrow street policy, as in this case. The streets Chair Hinkle referred to are exterior streets to the subdivision and would still be normal width. Chair Hinkle then confirmed that there would be no sidewalks within the proposed subdivision.

At this point the Chair opened the floor to the applicant.

Dirk Poeschel, representing Wilson Homes provided the background to the proposed project.

Commissioner Cunningham commended Leo Wilson for attempting this, then brought up the issue that most concerned him, the gating. He expressed concern that transient parking would be unrestricted in the development, and inquired about what the level of redesign would be to add gating to the project. Mr. Poeschel clarified that it would not involve a full redesign, only for certain areas of the development and acknowledged that while parking is a challenge for this product, the design promotes walking. Commissioner Cunningham pointed out that this is the opportunity to address problems, such as parking, is now, as this is the first project for this area. Mr. Poeschel brought up the possible solution of gating, while also giving some of the cons for it.

Commissioner Terrence inquired about the ability to promote walking without a provided sidewalk. Mr. Poeschel replied that a similar product has been used in other communities and did have the desired effect.

Chair Hinkle inquired about the five foot driveways in two areas, pointing to Bay Street development in Emeryville as an example of future issues to be addressed with this model. Mr. Poeschel answered that they look at different areas to learn.

At this point the Chair opened the floor to those in favor.

There were no comments in support.

At this point the Chair opened the floor to those in opposition.

There were no comments in opposition.

At this point the Chair closed the public portion.

Chair Hinkle asked for the input of the Police Department. Curt Fleming, police representative explained that newer PRD's are producing nuisance calls, and that his concern for this particular development was parking and attendant crimes of opportunity, especially with the distance to travel to get there, and asked for the development to be gated. Commissioner Cunningham inquired into the Police Department's ability to enforce the parking on private streets, and, on being informed that they have no standing on a private street, confirmed that the issue would default to the HOA and any security firm/tow service they hired.

Chair Hinkle inquired of Fleming if he foresaw a problem with vehicular traffic exiting out of the development onto Gettysburg with the planned reduction in streets. The lieutenant saw no problem with it and was in fact happy not to have parking on Leonard Avenue.

Commissioner Hatcher expressed concern about the safety issues of narrow streets with no sidewalks. Commissioner Cunningham expressed his support of this view. Though he was

excited about development here, his major concern is the gates and supporting the police department. He also expressed concerns about the setbacks in the PRD, but returned to the issue of the gates and asked for them to be required.

Commissioner Antuna expressed concern about the same issues from the other commissioners, but in particular the reduction of possibility of what could be built there, and of losing the chance for commercial development within walking distance.

Chair Hinkle also expressed his concerns about removing the multi-use zoning. He also expressed having a problem with the narrow streets and lack of sidewalk and subsequent issues of parking for events, such as having people walking on the street from parking to the event. In addition, he had read that the most sold cars in Fresno and Clovis are trucks and SUV's, thereby taking up parking in front of the houses instead of in the driveway, further reducing street use. Director Kroll clarified that on the remaining multi-use side of the park there would remain diagonal parking and sidewalks. Chair Hinkle acknowledged this point but expressed his belief that this project would lead to overdevelopment not in line with the vision of the Loma Vista Plan, and may better go to a different area.

Chair Hinkle inquired about ADT values from the traffic study, and expressed concern about the number of people moving in/out of the development through one main entry. He stated that there needed to be more planning on the traffic and parking issues before he could approve this project.

Commissioner Cunningham pointed out that this is the first project in a brand new area, and that narrowing streets does tend to slow traffic, and that the HOA is responsible for parking as long as gates are present. He stated his wish to support the police department in this issue.

At this point a motion was made by Commissioner Cunningham to approve R2016-17, subject to the conditions of approval listed as Exhibit "A.". The motion received no second and so failed.

At this point a motion was made by Commissioner Antuna and seconded by Commissioner Hatcher to deny R2016-17, subject to the conditions of approval listed as Exhibit "A.". The motion was approved by a vote of 4-1.

At this point a motion was made by Commissioner Cunningham and seconded by Commissioner Hatcher to approve TM6168, subject to the conditions of approval listed as Exhibit "A." and to the requirement for gates at the entries. The motion failed by a vote of 2-3.

Commissioner Terrence expressed his failure to see how the proposed development promotes pedestrian traffic.

Commissioner Antuna expressed her agreement to that point, and also expressed her concern that gates would cut off access to everything in that area, separating the development from the rest of the area.

Commissioner Hatcher expressed agreement with both of their points and that gates would be needed with this proposed density.



Commissioner Antuna remarked that she viewed this type of development in that particular area, close to the park, as uninviting.

Commissioner Terrence expressed curiosity and tentative approval of a plan with no gates but with some type of pedestrian walkway.

Chair Hinkle reiterated his concern about the street access and the consequences such. He expressed a desire to see changes to the plan.

At this point a motion was made by Commissioner Antuna and seconded by Commissioner Terrence to deny TM6168, subject to the conditions of approval listed as Exhibit "A.". The motion was approved by a vote of 3-2.

## **APPLICANT'S DEVELOPMENT STANDARDS**

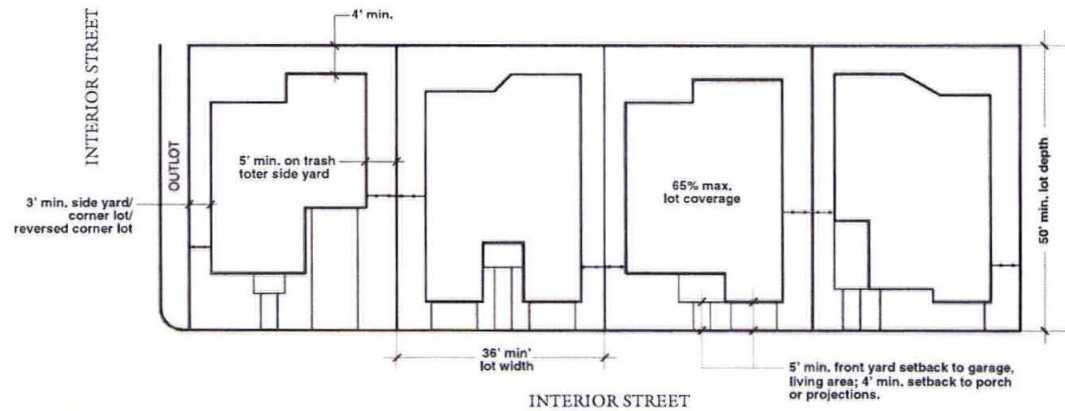
**ATTACHMENT 3**



## TRACT 6168

## Residential Land Use Development Standards

LAND USE		DEVELOPMENT STANDARDS
SINGLE-FAMILY RESIDENTIAL		STANDARD
		NOTES
DESIGNATION		
Zone District	R-3	
GP Density Range	15.1 - 25.0 du/ac	High Density Residential
Dwelling Units	200	
BUILDING INTENSITY		
Minimum Lot Area	1,800 sq ft	
Minimum Lot Width	36'	
Minimum Lot Depth	50'	
Maximum Coverage	65%	
Maximum Height	35'	
Curved, Cul-de-sac or Corner Lot	36' min/50' min	For street frontage/For lot depth
BUILDING SETBACKS		All setbacks measured from PL.
Front Yard	5' min/4' min	To garage, living area/porch or projections
Side Yard	5' min/3' min	5' min garage side/3' min other side
Corner/Reversed Corner	3' min	
Rear Yard	4' min	
GARAGES/STREETS/PARKING		
Garages	1-car 2-car	10'x16' min 20'x20' min or tandem 10'x38' min
Streets (Interior)	36' wide	Curb-to-curb
Parking	1.5 spaces/unit min	1 covered space per unit min
ACCESSORY USES		General list of requirements and restrictions.
Walls/Fences	6' min - 8' high max	
Trellises	12' high max	
Pools and Spas	3' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.
Equipment	Pool, spa and fountain equipment allowed in side yard setback.	
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.
Accessory Buildings		



NOTE: Construction of more than two of the same plan type in a row or more than three 2-car garage models in a row (excepting tandem garage units) shall be addressed through the Residential Site Plan Review process.

The imagery conveys samples of the architectural character intended for these neighborhoods.

NOT TO SCALE

## **CORRESPONDENCE**

**ATTACHMENT 4**





**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**

*Capturing stormwater since 1956.*

File 210.434

December 27, 2016

Mr. George Gonzalez, MPA, Associated Planner  
City of Clovis  
Department of Planning and Development Services  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Gonzalez,

**Rezone Application No. R-16-17  
Drainage Area "DO"**

The proposed rezone lies within the District's Drainage Area "DO". Based on information submitted at this time, the District's system can accommodate the proposed rezone.

The existing Master Plan facilities which serve the areas proposed to rezone from P-C-C to R-4 were constructed to accommodate runoff generated from commercial development, consistent with the current zoning. The cost of the Master Plan facilities are to be paid for through the collection of drainage fees calculated at a commercial rate. Therefore, the District requires, as a condition of approval of Rezone Application No. R-16-17, that a commercial density drainage fee rate be assessed to the areas currently proposed to rezone from P-C-C to R-4.

If there are any questions concerning this matter, please feel free to contact us.

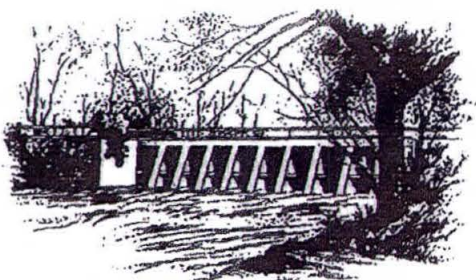
Very truly yours,

Michael Maxwell  
Engineering Technician III

MM/lrl

c: Jeff Harris, Wilson Development  
Lorren Smith, Harbour & Associates

K:\Letters\Rezone Letters\Clovis\2016\2016-017(do)(mm).docx



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO  
IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208

December 14, 2016

George Gonzalez  
City of Clovis  
Department of Planning and Development Services  
1033 Fifth Street  
Clovis, CA 93612

RE: Rezone R2016-17  
N/W Leonard and Gettysburg avenues

Dear Mr. Gonzalez:

The Fresno Irrigation District (FID) has reviewed the request to an amendment to the Master Plan Community (M-P-C) Zone District to create Planning Areas #10 and #11 within the Loma Vista Community Center South and designate the base Zoning District of R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential), APN: 555-031-17. This request is being processed concurrently with TM6168. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, a privately owned canal known as McFarlane W. Br. No. 468 runs southerly and approximately 15 feet north of the subject property as shown on the attached FID exhibit map. FID does not own, operate or maintain this private canal. FID's records indicate that the canal is active and will need to be treated as such. FID can supply the City with a list of known users for this private line upon request.
3. For informational purposes, a privately owned canal known as McFarlane E. Br. No. 468 runs southerly approximately 400 feet east of the subject property as shown on the attached FID exhibit map. FID does not own, operate or maintain this private canal. FID's records indicate that this pipeline is active and should remain as such. FID can supply the City with a list of known users for this private line upon request.
4. For informational purposes, FID's Jefferson No. 112 Pipeline runs southeasterly approximately 2,900 feet northwest of the subject property as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Shaw, DeWolf Avenue or in the vicinity of the canal crossing, FID requires it review and approve all plans.

G:\Agencies\Clovis\Rezone\R2016-17.doc

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.  
CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO



5. For informational purposes, FID's Brown No. 113 runs southerly along the east side of DeWolf Avenue approximately 2,500 feet west of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along DeWolf Avenue or in the vicinity of the canal crossing, FID requires it review and approve all plans.
6. For informational purposes, Fresno Metropolitan Flood Control District's Dog Creek No. 154 runs southerly approximately 1,300 feet east of the subject property, as shown on the attached FID exhibit map. Should any improvements be necessary in the vicinity of the crossing, the applicant will be required to contact FMFCD to discuss any necessary improvements to their facility.

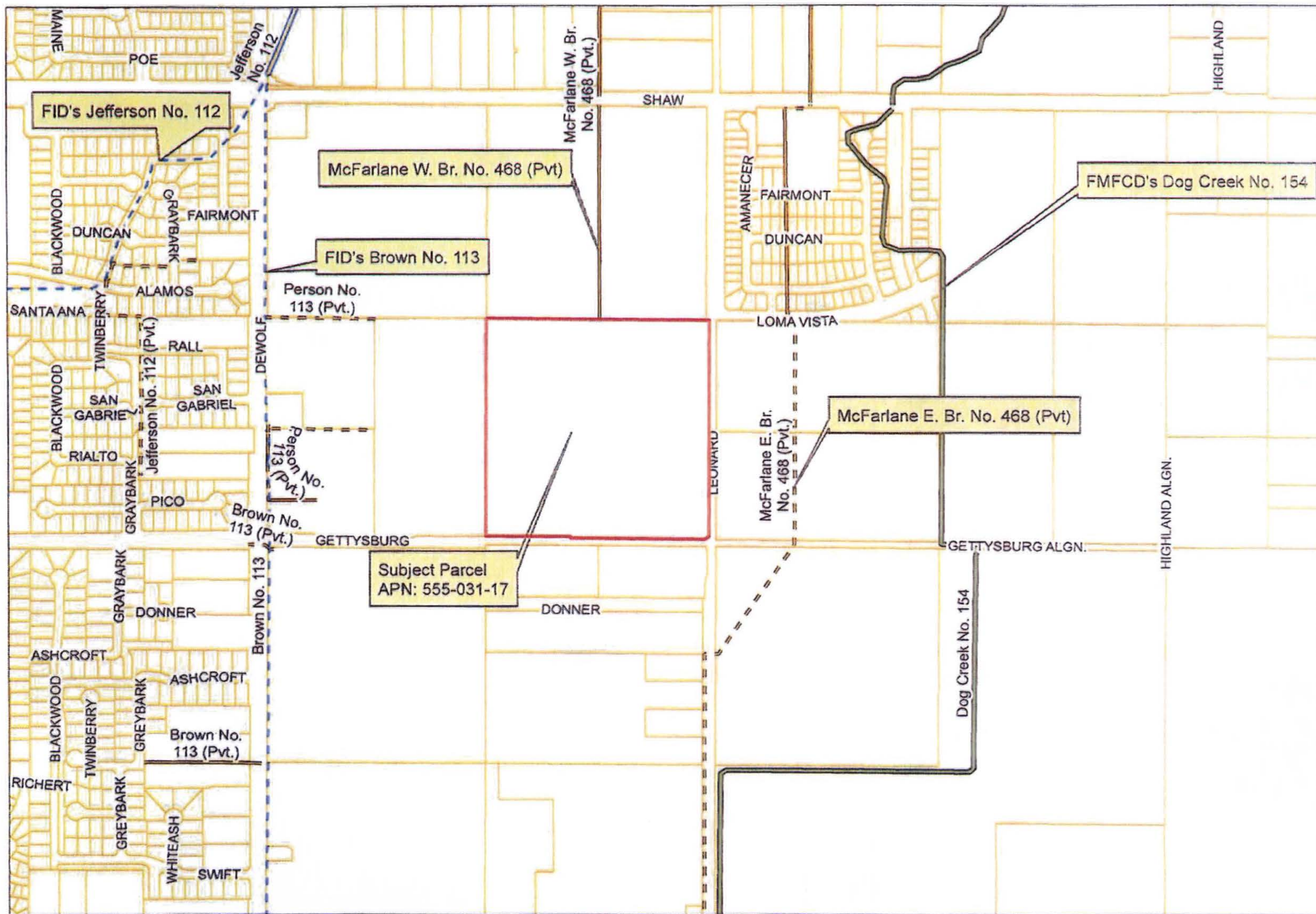
Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or [JLandrith@fresnoirrigation.com](mailto:JLandrith@fresnoirrigation.com).

Sincerely,



Laurence Kimura, P.E.  
Chief Engineer

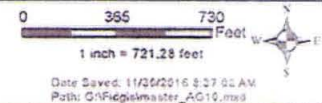
Attachment



This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

#### Legend

- |                 |                    |                   |                |                       |
|-----------------|--------------------|-------------------|----------------|-----------------------|
| FID Canal       | FID Pipeline       | Stream Group      | FID Boundary   | Parcel                |
| Private Canal   | Private Pipeline   | Other-Creek/River | Railroad       | FMFCD Acquired Basins |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline    | Streets & Hwys | FMFCD Proposed Basins |







# County of Fresno

**DEPARTMENT OF PUBLIC HEALTH**  
**DAVID POMAVILLE, DIRECTOR**  
**DR. KEN BIRD, HEALTH OFFICER**

December 9, 2016

George Gonzalez, Associate Planner  
City of Clovis  
Planning and Development Services Dept.  
1033 Fifth St., Clovis, CA 93612

LU0018784  
2604

Dear Mr. Gonzales:

**PROJECT NUMBER: R2016-17 & TM6168**

**R2016-17, A request to approve an amendment to the Master Plan Community (M-P-C) Zone District to create Planning Areas #10 and #11 within the Loma Vista Community Center South and designate the base Zoning Districts of R-3 (Medium Density Multiple Family Residential) and R-4 (High Density Multiple Family Residential), respectively. TM6168, A request to approve a vesting tentative tract map for a 200-lot single-family residential development located at the northwest corner of Gettysburg & Leonard Avenues (Loma Vista Community Center South).**

**APN: 555-031-17 (portion)    ZONING: C-3 to R-3 & R-4    ADDRESS: NWC of Gettysburg & Leonard Avenues**

Recommended Conditions of Approval:

- Construction permits for development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the development should be subject to assurance that the City of Clovis community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- Due to the proximity of the proposed residential uses to an existing thoroughfare, consideration should be given to conformance with the Noise Element of the City of Clovis General Plan. A noise study should be conducted in order to identify the potential noise impacts and offer mitigation alternatives.
- The proposed construction project has the potential to expose nearby residents and students to elevated noise levels. Consideration should be given to your City's municipal code.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil

***Promotion, preservation and protection of the community's health***

1221 Fulton Mall / P.O. Box 11867 / Fresno, California 93775 / Phone (559) 600-3271 / FAX (559) 455-4646

Email: [EnvironmentalHealth@co.fresno.ca.us](mailto:EnvironmentalHealth@co.fresno.ca.us) ♦ [www.co.fresno.ca.us](http://www.co.fresno.ca.us) ♦ [www.fcdph.org](http://www.fcdph.org)

Equal Employment Opportunity ♦ Affirmative Action ♦ Disabled Employer

be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

The following comments pertain to the demolition of existing structure(s):

- Should the structure(s) have an active rodent or insect infestation, the infestation should be abated prior to demolition of the structures in order to prevent the spread of vectors to adjacent properties.
- In the process of demolishing the existing structure(s), the contractor may encounter asbestos containing construction materials and materials coated with lead based paints.
- If asbestos containing materials are encountered, contact the San Joaquin Valley Air Pollution Control District at (559) 230-6000 for more information.
- If the structure(s) were constructed prior to 1979 or if lead-based paint is suspected to have been used in these structures, then prior to demolition and/or remodel work the contractor should contact the following agencies for current regulations and requirements:
  - California Department of Public Health, Childhood Lead Poisoning Prevention Branch, at (510) 620-5600.
  - United States Environmental Protection Agency, Region 9, at (415) 947-8000.
  - State of California, Industrial Relations Department, Division of Occupational Safety and Health, Consultation Service (CAL-OSHA) at (559) 454-5302.
- Any construction materials deemed hazardous as identified in the demolition process must be characterized and disposed of in accordance with current federal, state, and local requirements.

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REVIEWED BY:

Kevin Tsuda, R.E.H.S.  
Environmental Health Specialist II

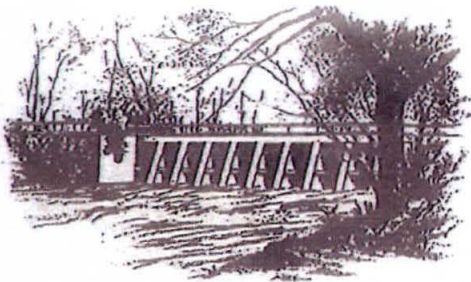
(559) 600-3271

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kt

cc: Glenn Allen- Environmental Health Division (CT. 59.12)  
Manny Penn- Applicant ([manny@penncal.com](mailto:manny@penncal.com))





YOUR MOST VALUABLE RESOURCE - WATER



TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93726-2208

December 14, 2016

George Gonzalez  
Planning Division  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

RE: Vesting Tentative Tract Map No. 6168  
NW Gettysburg and Leonard avenues

Dear Mr. Gonzalez:

The Fresno Irrigation District (FID) has reviewed the Tentative Parcel Map No. 6168 for which the applicant request approval for a 200 lot single family residential development, APN: 555-031-17. This request is being processed concurrently with R2016-17 FID has the following comments:

1. This site was previously reviewed and commented on by FID on July 19, 2016 as document DRC 2016-22. Those comments and conditions still apply and a copy is attached for your reference.

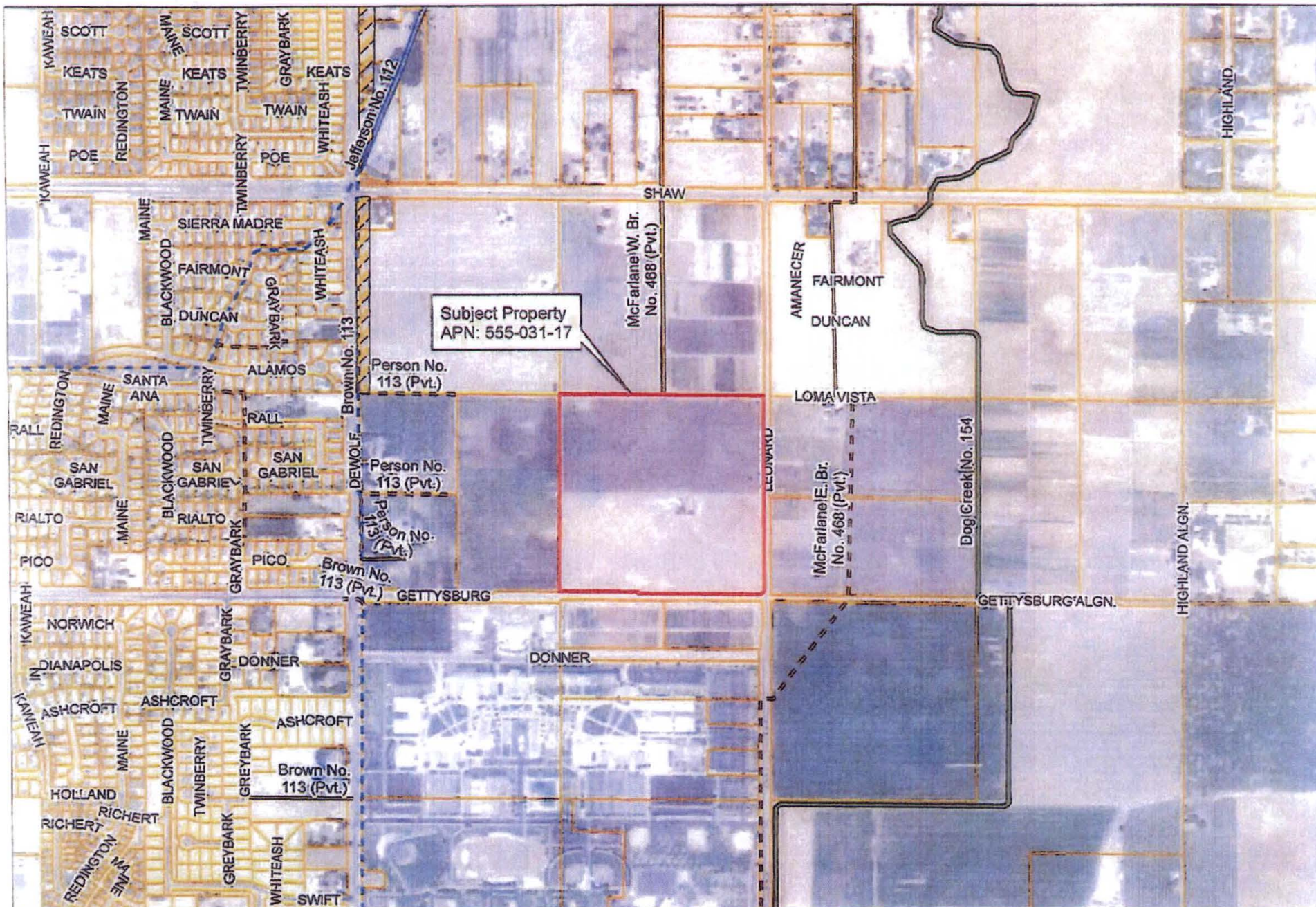
Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or [JLandrith@fresnoirrigation.com](mailto:JLandrith@fresnoirrigation.com).

Sincerely,

Laurence Kimura, P.E.  
Chief Engineer

Attachment





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#### Legend

- |                 |                    |                   |                 |
|-----------------|--------------------|-------------------|-----------------|
| FID Canal       | FID Pipeline       | Stream Group      | FID Boundary    |
| Private Canal   | Private Pipeline   | Other-Creek/River | Railroad        |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline    | Streets & Hways |

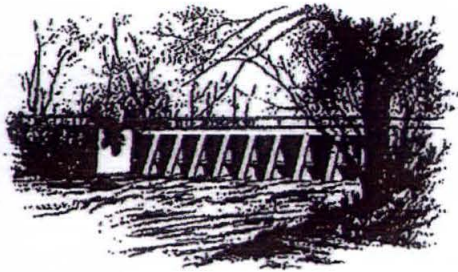
- Parcel
- |                       |
|-----------------------|
| PMFCO Acquired Basins |
| PMFCO Proposed Basins |

0 400 800 Feet  
1 inch = 793.22 feet

02/2015

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YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO  
IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2007 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93726-2208

July 19, 2016

Lily Cha  
Planning Division  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

RE: Development Review Committee Application No. 2016-22  
NW Gettysburg and Leonard avenues

Dear Ms. Cha:

The Fresno Irrigation District (FID) has reviewed the Development Review Committee Application No. 2016-22 for which the applicant proposes a High Density Residential development, APN: 555-031-17. FID has the following comments:

1. FID does not own, operate, or maintain any facilities located on the subject property as indicated on the attached FID exhibit map.
2. The proposed land use (or change in land use) should be such that the need for water is minimized and/or reduced so that groundwater impacts to the proposed project area and any surrounding areas are eliminated. The "demand" side of water consumed needs to be evaluated or scrutinized as much as the "supply" side of the water supply. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area was historically native or rural residential with minimal to no water use. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a significant increase in dependence on groundwater, this deficit will increase. FID recommends the City of Clovis require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.

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BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.,  
CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

3. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Clovis and FID service area. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.

Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or [clundeen@fresnoirrigation.com](mailto:clundeen@fresnoirrigation.com).

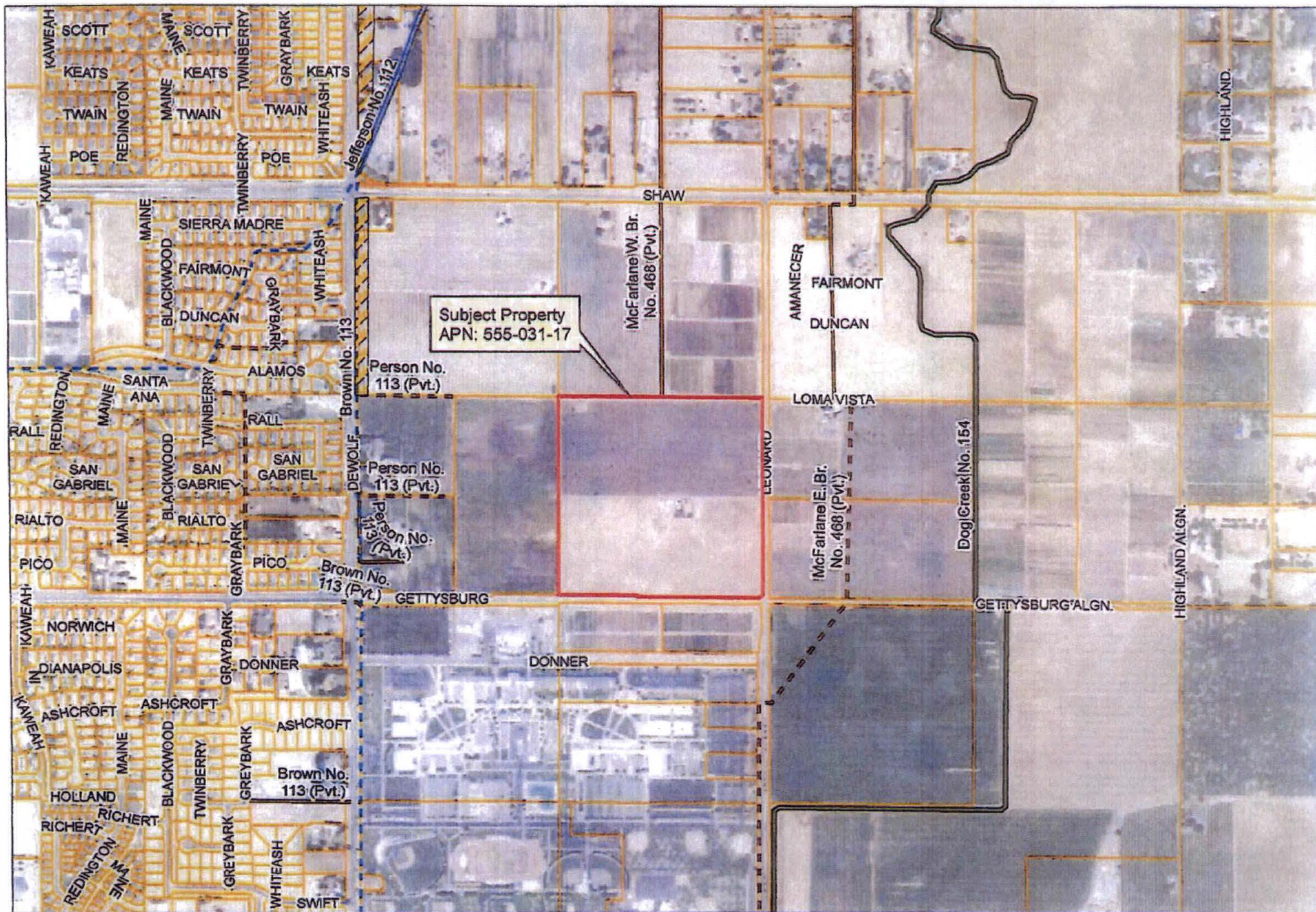
Sincerely,



Laurence Kimura, P.E.  
Chief Engineer

Attachment





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**Legend**

- |                 |                    |                   |                |
|-----------------|--------------------|-------------------|----------------|
| FID Canal       | FID Pipeline       | Stream Group      | FID Boundary   |
| Private Canal   | Private Pipeline   | Other-Creek/River | Railroad       |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline    | Streets & Hwys |

Parcel

FMFCD Acquired Basins

FMFCD Proposed Basins

0 400 800 Feet

1 inch = 760.22 feet

6/23/2018  
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**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

File No. 210.45

Page 1 of 5

**PUBLIC AGENCY**

GEORGE GONZALEZ  
PLANNING AND DEVELOPMENT SERVICES  
CITY OF CLOVIS  
1033 FIFTH STREET  
CLOVIS, CA 936112

**DEVELOPER**

JEFF HARRIS, TRI-WILSON, LP  
7550 N. PALM AVE., SUITE 102  
FRESNO, CA 93711

PROJECT NO: 6168

ADDRESS: NWC LEONARD AND GETTYSBURG AVE.

APN: 555-031-17

SENT: 12/22/16

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
DO	\$279,779.00	NOR Review	\$893.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$2,491.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review		For amount of fee, refer to <a href="http://www.fresnofloodcontrol.org">www.fresnofloodcontrol.org</a> for form to fill out and submit with first storm drain plan submittal (blank copy attached).
Total Drainage Fee: \$279,779.00		Total Service Charge: \$3,384.00		

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/17 based on the site plan submitted to the District on 12/08/16. Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

CL TRACT No. 6168



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 2 of 5

**Approval of this development shall be conditioned upon compliance with these District Requirements.**

1.     \_\_\_ a. Drainage from the site shall BE DIRECTED TO  
       X b. Grading and drainage patterns shall be as identified on Exhibit No. 1  
       \_\_\_ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
2.     The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
       X     Developer shall construct facilities as shown on Exhibit No. 1 as "MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER".  
       \_\_\_     None required.
3.     The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
       X     Grading Plan  
       X     Street Plan  
       X     Storm Drain Plan  
       X     Water & Sewer Plan  
       X     Final Map  
       X     Drainage Report (to be submitted with tentative map)  
       \_\_\_     Other  
       \_\_\_     None Required
4.     Availability of drainage facilities:  
       \_\_\_ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
       \_\_\_ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
       \_\_\_ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
       X d. See Exhibit No. 2.
5.     The proposed development:  
       \_\_\_     Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
       X     Does not appear to be located within a flood prone area.
6.     \_\_\_     The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

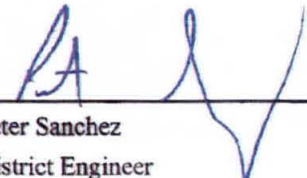
**CL TRACT No. 6168**

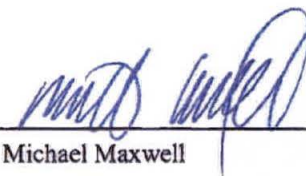
**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 3 of 5

**CL TRACT No. 6168**

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.   X   See Exhibit No. 2 for additional comments, recommendations and requirements.

  
\_\_\_\_\_  
Peter Sanchez  
District Engineer

  
\_\_\_\_\_  
Michael Maxwell  
Project Engineer



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 4 of 5

CC:

LORREN SMITH, HARBOUR & ASSOCIATES

389 CLOVIS AVE., SUITE 300

CLOVIS, CA 93612

**CL TRACT No. 6168**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 5 of 5

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees in the amount identified below for Storm Drain Review. The fee shall be paid to the District by Developer with first plan submittal. Checks shall be made out to Fresno Metropolitan Flood Control District.

**Application No.** CL TRACT 6168

**Name / Business** JEFF HARRIS, TRI-WILSON, LP

**Project Address** NWC LEONARD AND GETTSBURG AVE.

**Project APN(s)** 555-031-17

**Project Acres (gross)** 20.76

Please fill in the table below of proposed storm drain facilities to be constructed with this development and return completed form with first plan submittal. If you have any questions or concerns regarding the construction of facilities list, you can contact the Fresno Metropolitan Flood Control District at 559-456-3292.

Description	Qty	Unit	Price	Amount
-------------	-----	------	-------	--------

Estimated Construction Cost \_\_\_\_\_

Fee equals lesser of

\$375.00 plus 3% of the estimated construction costs \_\_\_\_\_ Total (\$300.00 gross per acre) \$6,228.00

**Amount Due**

**Storm Drain Facilities  
Cost Sheet**

15" Concrete Pipes \$63.00 LF

18" Concrete Pipes \$67.00 LF

24" Concrete Pipes \$75.00 LF

30" Concrete Pipes \$89.00 LF

36" Concrete Pipes \$104.00 LF

42" Concrete Pipes \$121.00 LF

48" Concrete Pipes \$142.00 LF

54" Concrete Pipes \$172.00 LF

60" Concrete Pipes \$202.00 LF

66" Concrete Pipes \$238.00 LF

72" Concrete Pipes \$276.00 LF

84" Concrete Pipes \$308.00 LF

96" Concrete Pipes \$333.00 LF

15" Jacked Pipes \$525.00 LF

18" Jacked Pipes \$575.00 LF

24" Jacked Pipes \$650.00 LF

30" Jacked Pipes \$725.00 LF

36" Jacked Pipes \$800.00 LF

42" Jacked Pipes \$850.00 LF

48" Jacked Pipes \$900.00 LF

54" Jacked Pipes \$975.00 LF

60" Jacked Pipes \$1,050.00 LF

66" Jacked Pipes \$1,150.00 LF

72" Jacked Pipes \$1,300.00 LF

84" Jacked Pipes \$1,450.00 LF

Manholes \$3,750.00 EA

Inlets & Laterals \$4,450.00 EA

Outfalls \$8,500.00 EA

Canal Outfalls \$9,600.00 EA

Basin Excavation \$0.75 CY

**IMPROVEMENTS ADJACENT  
TO BASIN**

Fence, Pad. and Gate \$20.00 LF

Mowstrip \$17.50 LF

Arterial Paving \$62.00 LF

Local Paving \$41.50 LF

Curb and Gutter \$18.25 LF

Sidewalk \$36.00 LF

Sewer Line \$21.00 LF

Water Line \$24.00 LF

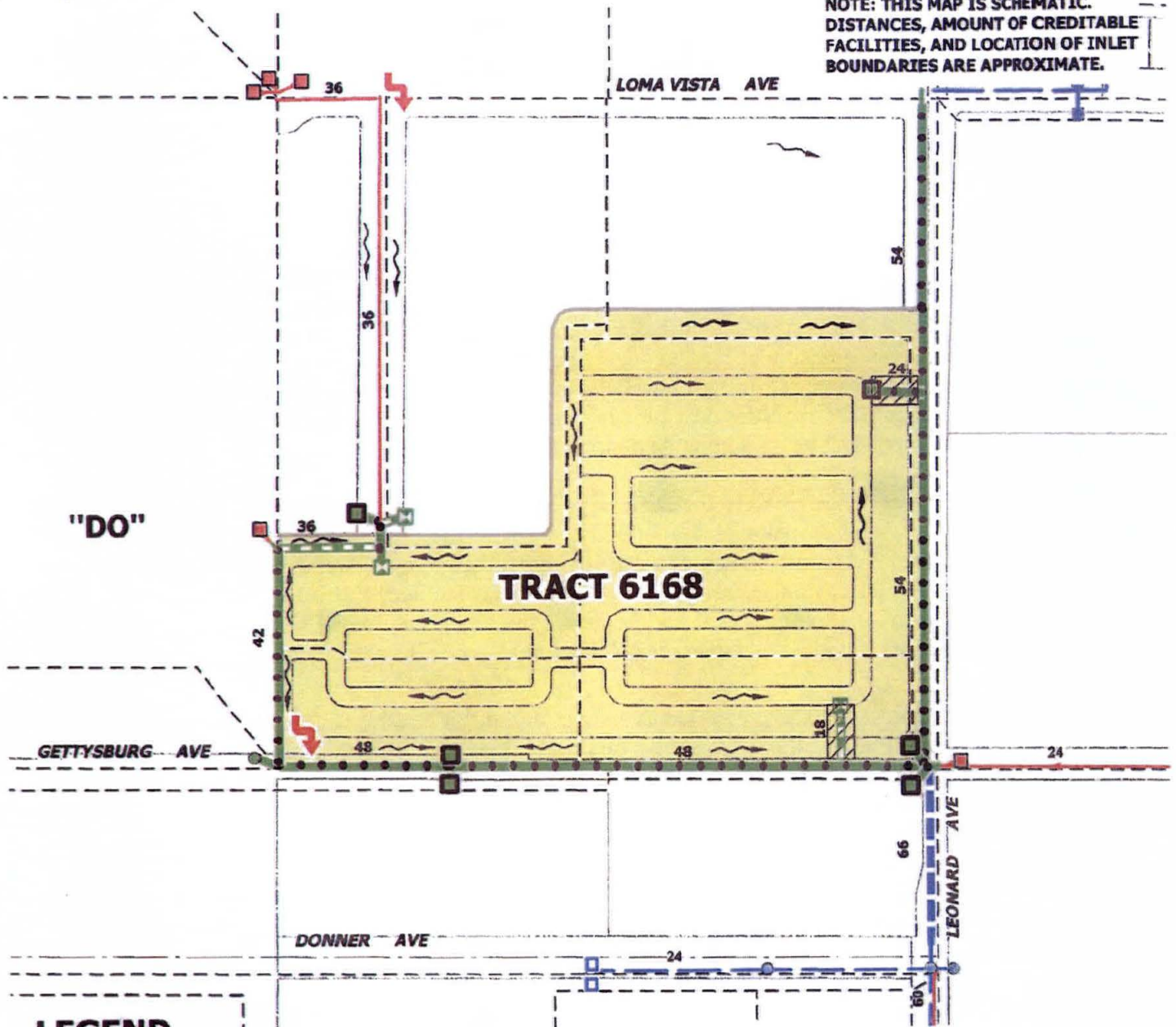
Street Lights \$21.00 LF

Pump Station/Intake \$375,000.00 EA

**CL TRACT No. 6168**



NOTE: THIS MAP IS SCHEMATIC.  
DISTANCES, AMOUNT OF CREDITABLE  
FACILITIES, AND LOCATION OF INLET  
BOUNDARIES ARE APPROXIMATE.



## LEGEND

- Creditable Facilities (Master Plan Facilities To Be Constructed By Developer)-Pipeline (Size Shown) & Inlet.
- Non-Master Plan Facilities To Be Constructed By Developer (Not Eligible For Fee Credit)
- Optional Master Plan Facilities To Be Constructed By Developer -Pipeline (Size Shown) (Eligible For Fee Credit)
- Existing Master Plan Facilities
- Future Master Plan Facilities
- Inlet Boundary
- Temporary Type "E" Inlet (Not Eligible For Fee Credit)
- Direction of Drainage
- Minimum 15' Wide Storm Drain Easement To Be Dedicated To District
- Major Storm Breakover



1" = 300'

**TRACT 6168**  
**DRAINAGE AREA "DO"**

## EXHIBIT NO. 1

## FRESNO METROPOLITAN FLOOD CONTROL DISTRICT

**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. If the lot coverage indicates a density higher than Master Planned, mitigation may be required. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation.

Drainage from the site shall be directed as shown on Exhibit No. 1. The construction of the "Optional Master Plan Facilities" as shown on Exhibit No. 1 will provide permanent drainage service to Tract 6168. If these optional facilities are not constructed, the District recommends temporary facilities until permanent service is available.

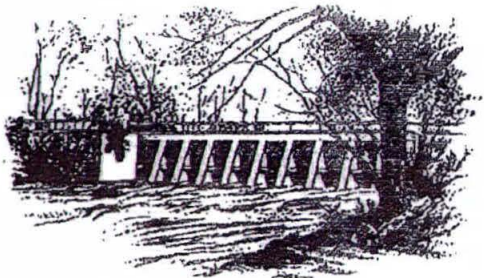
The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.

A minimum fifteen-foot (15') wide storm drain easement will be required whenever storm drain facilities are located on private property. No encroachments into the easement will be permitted including, but not limited to, foundations, roof overhangs, swimming pools, and trees.

The proposed development of Tract 6168 is located in an area that has historically provided a passage for major storm water flows from the area north of the development across the proposed site to Gettysburg Avenue. The grading of the proposed site shall be designed such that there are not adverse impacts to the passage of said major storm water from the north to Gettysburg Avenue.

Development No. Tract 6168





YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93726-2208

July 13, 2017

George Gonzalez  
Planning Division  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

RE: Vesting Tentative Tract Map No. 6168  
NW Gettysburg and Leonard avenues

Dear Mr. Gonzalez:

The Fresno Irrigation District (FID) has reviewed the Tentative Parcel Map No. 6168 for which the applicant requests approval for a 205 lot single family residential development located at the northwest corner of Gettysburg and Leonard avenues, APN: 555-031-17. FID has the following comments:

1. This site was previously reviewed and commented on by FID on July 19, 2016 as document R2016-17. Those comments and conditions still apply and a copy is attached for your reference.

FID has the following additional comments:

1. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area was historically agricultural land and a significant portion of its water supply was imported surface water, supplemented by groundwater pumping or was fallowed with little to no water use. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a significant increase in dependence on groundwater, this deficit will increase. FID recommends the City of Clovis require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.
2. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Clovis are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater

George Gonzalez  
RE: TM 6168  
July 13, 2017  
Page 2 of 2

basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Clovis should consider the impacts of the development on the City's ability to comply with requirements of SGMA.

Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or [JLandrith@fresnoirrigation.com](mailto:JLandrith@fresnoirrigation.com).

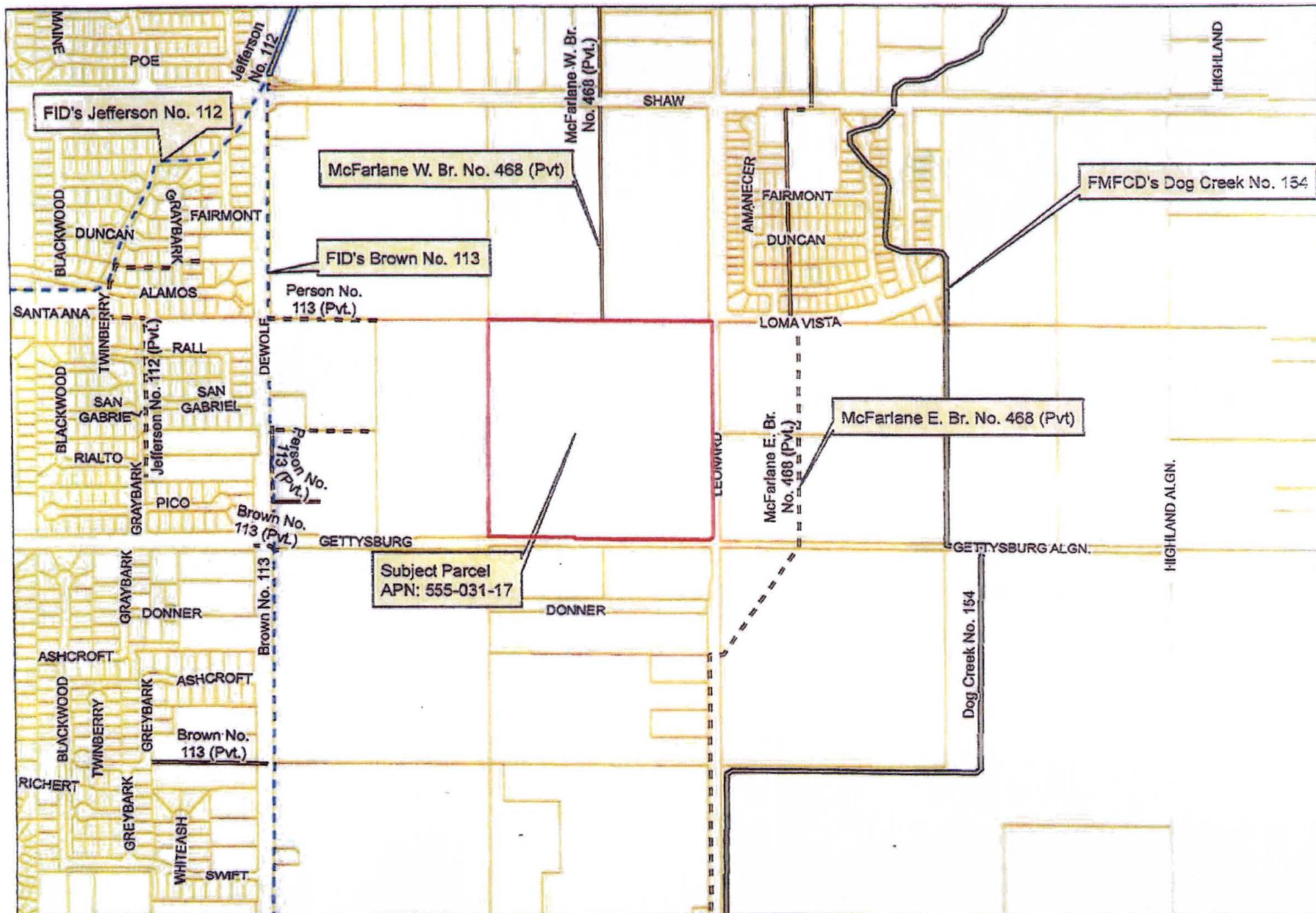
Sincerely,



Laurence Kimura, P.E.  
Chief Engineer

Attachment

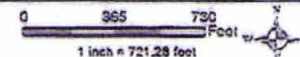




This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7181 for further information on FID facilities.

#### Legend

- |                 |                    |                   |                |                       |
|-----------------|--------------------|-------------------|----------------|-----------------------|
| FID Canal       | FID Pipeline       | Stream Group      | FID Boundary   | Parcel                |
| Private Canal   | Private Pipeline   | Other-Creek/River | Railroad       | FMFCD Acquired Basins |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline    | Streets & Hwys | FMFCD Proposed Basins |



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**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

File No. 210.45

Page 1 of 5

**PUBLIC AGENCY**

GEORGE GONZALEZ  
PLANNING AND DEVELOPMENT SERVICES  
CITY OF CLOVIS  
1033 FIFTH STREET  
CLOVIS, CA 936112

**DEVELOPER**

JEFF HARRIS, TRI-WILSON, LP  
7550 N. PALM AVE., SUITE 102  
FRESNO, CA 93711

**PROJECT NO: 6168R**

**ADDRESS: NWC LEONARD AND GETTYSBURG AVE.**

**APN: 555-031-17**

**SENT:**

6/29/17

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
DO	\$279,779.00	NOR Review	\$0.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$2,491.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review		For amount of fee, refer to <a href="http://www.fresnofloodcontrol.org">www.fresnofloodcontrol.org</a> for form to fill out and submit with first storm drain plan submittal (blank copy attached).
<b>Total Drainage Fee: \$279,779.00</b>		<b>Total Service Charge:</b>	<b>\$2,491.00</b>	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/18 based on the site plan submitted to the District on 6/23/17. Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**CL TRACT No. 6168R**



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 2 of 5

**Approval of this development shall be conditioned upon compliance with these District Requirements.**

1.
  - ☐ a. Drainage from the site shall
  - ☒ b. Grading and drainage patterns shall be as identified on Exhibit No. 1
  - ☐ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
  - ☒ Developer shall construct facilities as shown on Exhibit No. 1 as MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.
  - ☐ None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
  - ☒ Grading Plan
  - ☒ Street Plan
  - ☒ Storm Drain Plan
  - ☒ Water & Sewer Plan
  - ☒ Final Map
  - ☒ Drainage Report (to be submitted with tentative map)
  - ☐ Other
  - ☐ None Required
  
4. Availability of drainage facilities:
  - ☐ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
  - ☐ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
  - ☐ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
  - ☒ d. See Exhibit No. 2.
  
5. The proposed development:
  - ☐ Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
  - ☒ Does not appear to be located within a flood prone area.
  
6. ☐ The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

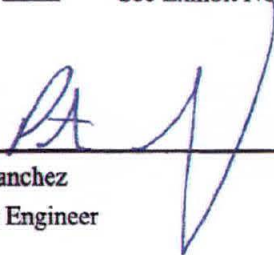
**CL TRACT No. 6168R**

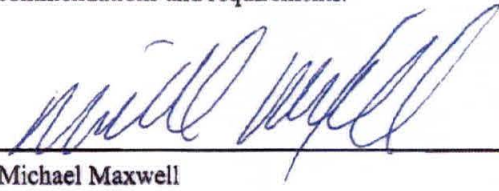
**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 3 of 5

**CL TRACT No. 6168R**

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale. Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.   X   See Exhibit No. 2 for additional comments, recommendations and requirements.

  
\_\_\_\_\_  
Peter Sanchez  
District Engineer

  
\_\_\_\_\_  
Michael Maxwell  
Project Engineer



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 4 of 5

CC:

LORREN SMITH, HARBOUR & ASSOCIATES

389 CLOVIS AVE., SUITE 300

CLOVIS, CA 93612

**CL TRACT No. 6168R**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 5 of 5

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees in the amount identified below for Storm Drain Review. The fee shall be paid to the District by Developer with first plan submittal. Checks shall be made out to Fresno Metropolitan Flood Control District.

**Application No.** CL TRACT 6168R

**Name / Business** JEFF HARRIS, TRI-WILSON, LP

**Project Address** NWC LEONARD AND GETTYSBURG AVE.

**Project APN(s)** 555-031-17

**Project Acres (gross)** 0.00

Please fill in the table below of proposed storm drain facilities to be constructed with this development and return completed form with first plan submittal. If you have any questions or concerns regarding the construction of facilities list, you can contact the Fresno Metropolitan Flood Control District at 559-456-3292.

Description	Qty	Unit	Price	Amount
-------------	-----	------	-------	--------

Estimated Construction Cost \_\_\_\_\_

Fee equals lesser of

\$375.00 plus 3% of the estimated construction costs \_\_\_\_\_ Total (\$300.00 gross per acre) \_\_\_\_\_ \$0.00

**Amount Due** \_\_\_\_\_

**Storm Drain Facilities  
Cost Sheet**

15" Concrete Pipes \$64.00 LF

18" Concrete Pipes \$68.00 LF

24" Concrete Pipes \$76.00 LF

30" Concrete Pipes \$90.00 LF

36" Concrete Pipes \$106.00 LF

42" Concrete Pipes \$123.00 LF

48" Concrete Pipes \$144.00 LF

54" Concrete Pipes \$175.00 LF

60" Concrete Pipes \$205.00 LF

66" Concrete Pipes \$243.00 LF

72" Concrete Pipes \$280.00 LF

84" Concrete Pipes \$313.00 LF

96" Concrete Pipes \$338.00 LF

15" Jacked Pipes \$55.00 LF

18" Jacked Pipes \$68.00 LF

24" Jacked Pipes \$87.00 LF

30" Jacked Pipes \$76.00 LF

36" Jacked Pipes \$86.00 LF

42" Jacked Pipes \$89.00 LF

48" Jacked Pipes \$91.00 LF

54" Jacked Pipes \$1,031.00 LF

60" Jacked Pipes \$1,110.00 LF

66" Jacked Pipes \$1,216.00 LF

72" Jacked Pipes \$1,374.00 LF

84" Jacked Pipes \$1,533.00 LF

Manholes \$4,000.00 EA

Inlets & Laterals \$4,450.00 EA

Outfalls \$8,500.00 EA

Canal Outfalls \$15,000.00 EA

Basin Excavation \$0.75 CY

**IMPROVEMENTS ADJACENT  
TO BASIN**

Fence, Pad, and Gate \$20.00 LF

Mowstrip \$17.50 LF

Arterial Paving \$70.00 LF

Local Paving \$45.00 LF

Curb and Gutter \$18.25 LF

Sidewalk \$36.00 LF

Sewer Line \$21.00 LF

Water Line \$24.00 LF

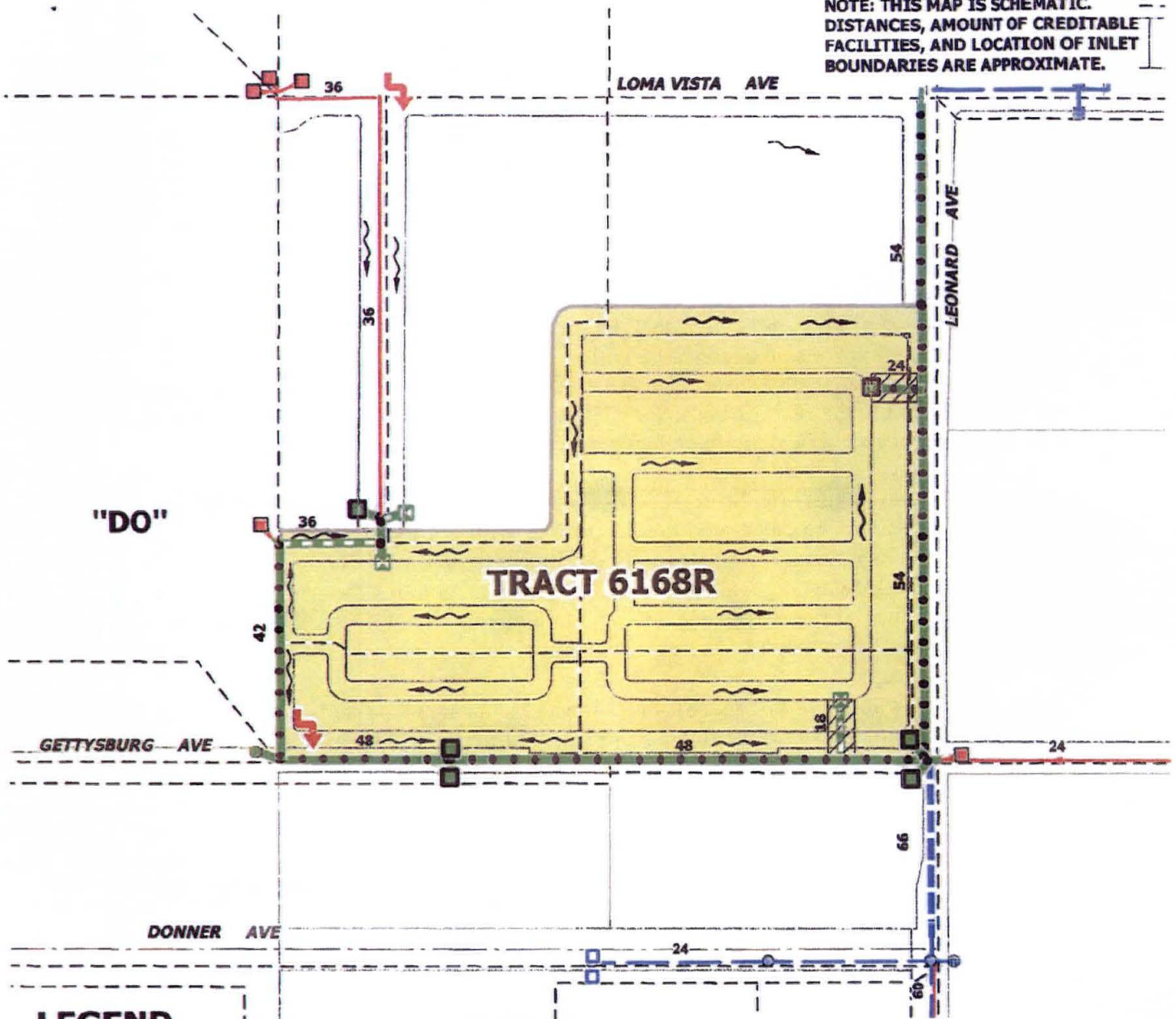
Street Lights \$65.00 LF

Pump Station/Intake \$375,000.00 EA

**CL TRACT No. 6168R**



NOTE: THIS MAP IS SCHEMATIC.  
DISTANCES, AMOUNT OF CREDITABLE  
FACILITIES, AND LOCATION OF INLET  
BOUNDARIES ARE APPROXIMATE.



## LEGEND

- Creditable Facilities (Master Plan Facilities To Be Constructed By Developer)-Pipeline (Size Shown) & Inlet.
- Non-Master Plan Facilities To Be Constructed By Developer (Not Eligible For Fee Credit)
- Optional Master Plan Facilities To Be Constructed By Developer -Pipeline (Size Shown) (Eligible For Fee Credit)
- Existing Master Plan Facilities
- Future Master Plan Facilities
- Inlet Boundary
- Temporary Type "E" Inlet (Not Eligible For Fee Credit)
- Direction of Drainage
- Minimum 15' Wide Storm Drain Easement To Be Dedicated To District
- Major Storm Breakover



1" = 300'

**TRACT 6168R**  
**DRAINAGE AREA "DO"**

**EXHIBIT NO. 1**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**

Prepared by: wadet

Date: 6/27/2017

Path: K:\Autocad\DWGS\EXHIBIT\TRACTS\6168R.mxd

**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. If the lot coverage indicates a density higher than Master Planned, mitigation may be required. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation.

The proposed development of Tract 6168R is located in an area that has historically provided a passage for major storm water flows from the area north of the development across the proposed site to Gettysburg Avenue. The grading of the proposed site shall be designed such that there are not adverse impacts to the passage of said major storm water from the north to Gettysburg Avenue.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.

Drainage from the site shall be directed as shown on Exhibit No. 1. The construction of the "Optional Master Plan Facilities" as shown on Exhibit No. 1 will provide permanent drainage service to Tract 6168R. If these optional facilities are not constructed, the District recommends temporary facilities until permanent service is available.

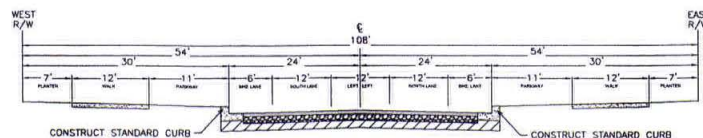
A minimum fifteen-foot (15') wide storm drain easement will be required whenever storm drain facilities are located on private property. No encroachments into the easement will be permitted including, but not limited to, foundations, roof overhangs, swimming pools, and trees.

Development No. Tract 6168R

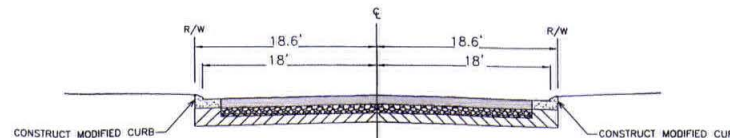




VICINITY MAP  
N.T.S.



SECTION A-A  
N.T.S.



TYPICAL 37.2' PRIVATE STREET  
(PARKING ON BOTH SIDES)  
N.T.S.

# TRACT NO. 6168

IN THE CITY OF CLOVIS  
FRESNO COUNTY, CALIFORNIA

## LEGAL DESCRIPTION:

PARCEL 1; (APN: 555-031-17)  
THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPT THE INTEREST OF THE COUNTY OF FRESNO AS CONVEYED IN DEED (PARCEL 7) RECORDED JULY 24, 2002, AS INSTRUMENT NO. 2002-0122237 OF OFFICIAL RECORDS.

## NOTES:

- ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS TO CITY STANDARDS, AND SHALL INCLUDE: SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVEMENT STREET LIGHTS, ETC.
- THERE SHALL BE NO GRADE DIFFERENTIALS OF GREATER THAN 6" WITHIN 200 FEET OF THE SITE UNLESS APPROVED BY THE CITY OF CLOVIS DEVELOPMENT DEPARTMENT.
- SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS ON THIS TENTATIVE MAP. CAL. GOV. CODE SEC. 66456.1

## EXISTING BUILDINGS

TO BE REMOVED

## EXISTING TREES

TO BE REMOVED

## EXISTING USE

RURAL RESIDENTIAL

## EXISTING ZONING

PF, C-3, R-3 & R-4

## PROPOSED ZONING

PF, R-3 & R-4

## PROPOSED USE

SINGLE FAMILY RESIDENTIAL SUBDIVISION

FUTURE PARK & FUTURE APARTMENTS

## SOURCE OF WATER

CITY OF CLOVIS

## SOURCE OF SEWAGE DISPOSAL

CITY OF CLOVIS

## SOURCE OF WASTE DISPOSAL

CITY OF CLOVIS

## SOURCE OF ELECTRICITY

PG&E

## ASSESSOR'S PARCEL NUMBER

555-031-17

## NUMBER OF LOTS

205

## DENSITY

20.28 UNITS PER ACRE (SINGLE FAMILY)

## AVERAGE LOT SIZE

2150

## SOURCE OF GAS

PG&E

## SOURCE OF CABLE T.V.

COMCAST

## SOURCE OF TELEPHONE

AT&T

## SITE AREA

38.83 ACRES GROSS

OUTLOT A (FUTURE PARK) = 4.06 AC. GROSS

OUTLOT B (FUTURE APARTMENTS) = 13.46 AC. GROSS

SINGLE FAMILY = 10.10 AC. WITHOUT MAJOR STREETS, PASEO, AND INTERIOR ROADS

## OUTLOT SCHEDULE

## LEGEND:

- INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
- INDICATES PRIVATE STREET
- OUTLOT IDENTIFIER
- INDICATES PUBLIC STREET NOW OFFERED FOR DEDICATION

## OWNER:

JOHINDER S. MATHARU AND JASWANT K. CHALAL-MATHARU  
4583 LEONARD AVENUE  
CLOVIS, CA 93319

## TENTATIVE SUBDIVISION MAP

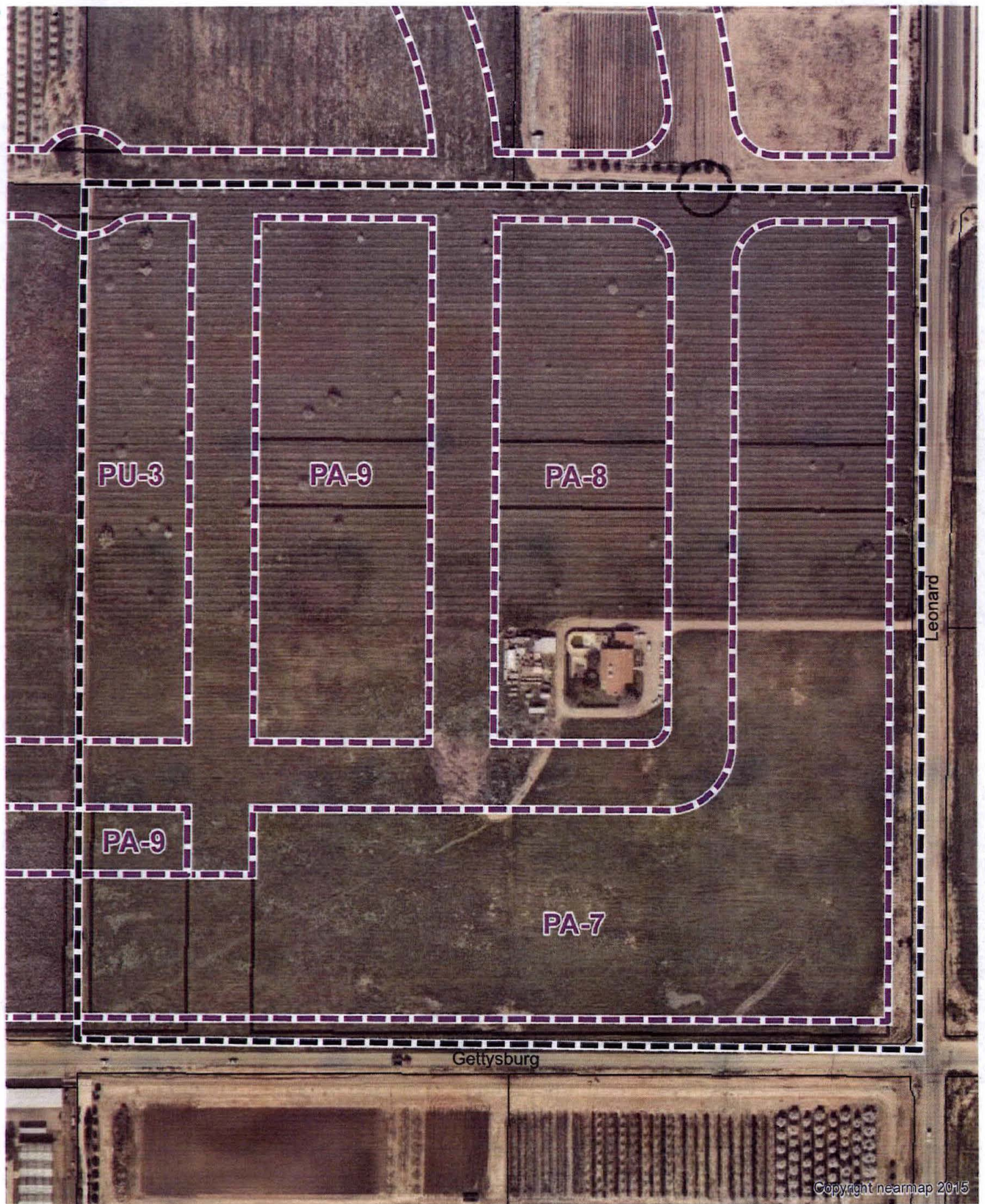
SUBDIVIDER  
Tri-Wilson, LP  
7500 N. PALM AVE. SUITE 102  
FRESNO, CA 93711  
555-225-7660

Harbour & Associates  
Civil Engineers  
388 Clovis Avenue, Suite 300 - Cl  
(559) 325-7676 • Fax (559) 325-7699

# EXHIBIT B

DATE: 6-16-17 SCALE: 1" = 80'





5/17/2017

## Southeast Quarter of Community Center South EXISTING PLANNING AREAS



Project Area

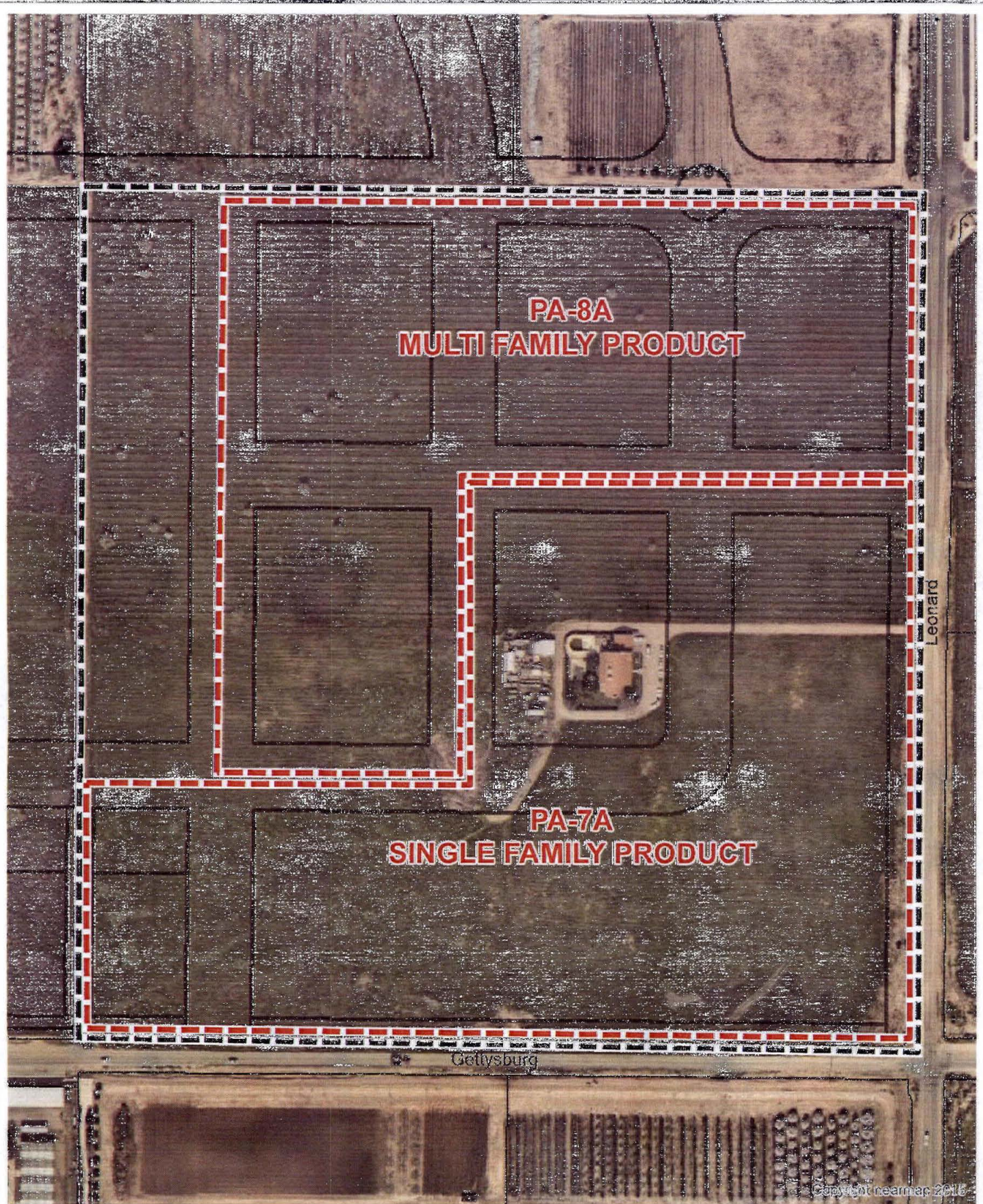


Existing Planning Areas



EXHIBIT C





5/16/2017

# Southeast Quarter of Community Center South PROPOSED PLANNING AREAS



Project Area

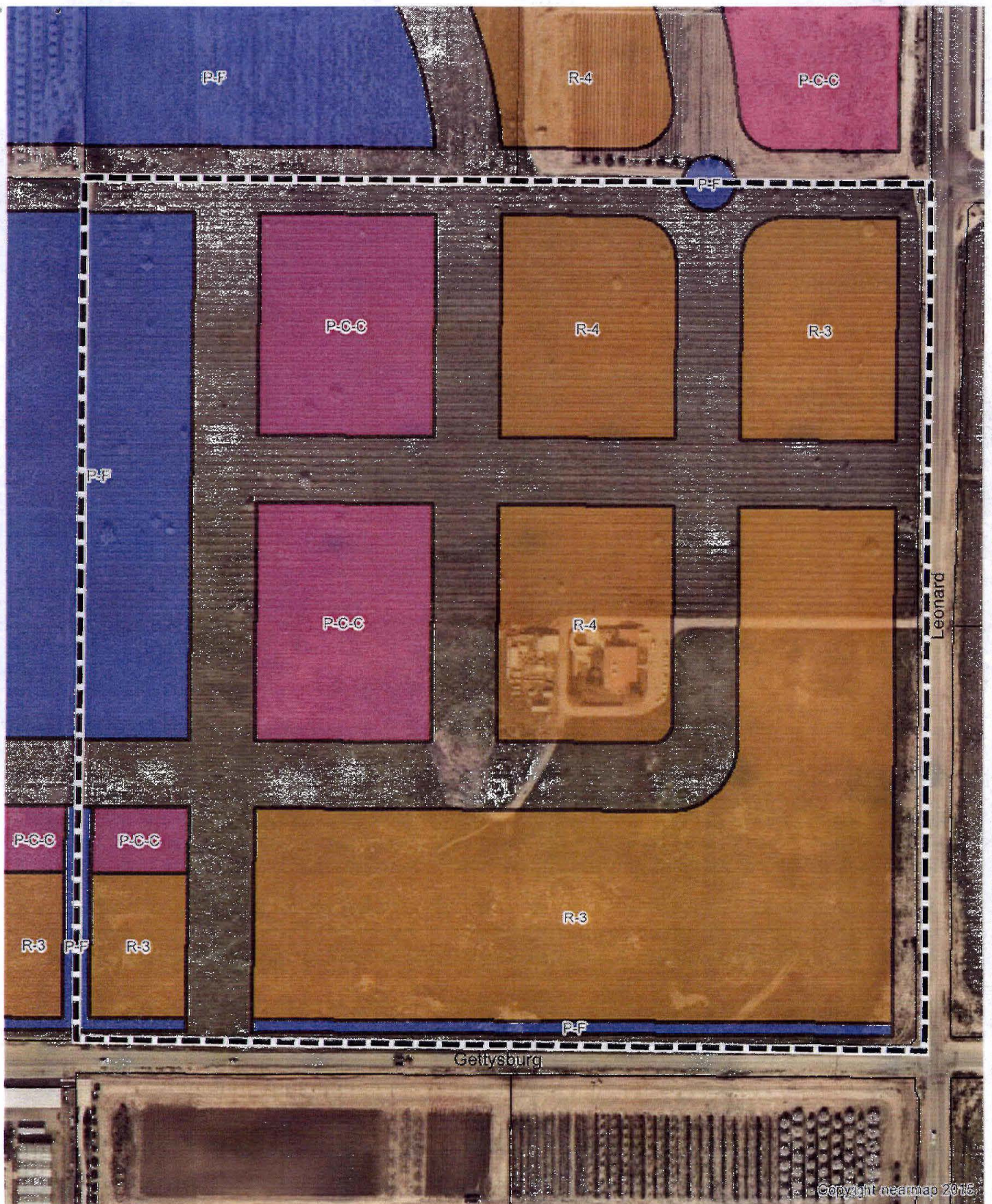


Proposed Planning Areas



EXHIBIT D





5/16/2017

# Southeast Quarter of Community Center South EXISTING ZONING

R-3
  R-4
  P-C-C
  P-F
  Project Area



EXHIBIT E





8/9/2017

## Southeast Quarter of Community Center South PROPOSED ZONING MODIFICATIONS

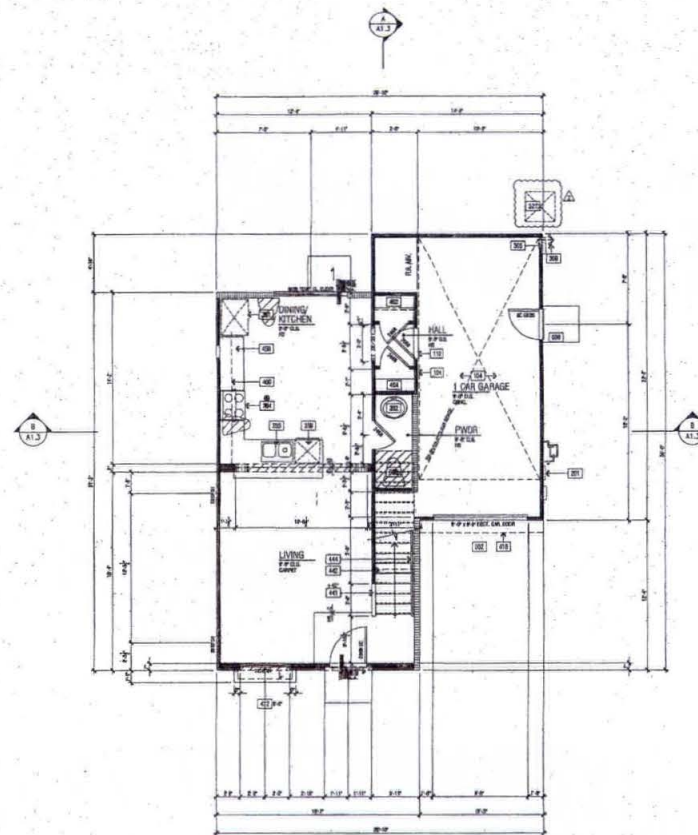
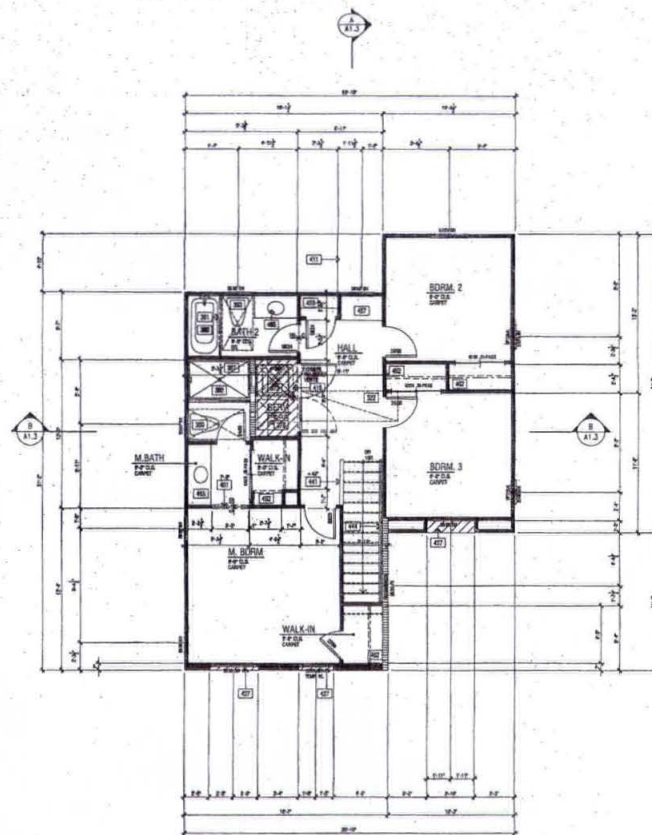


EXHIBIT F

## **FLOOR & ELEVATION PLANS**

**EXHIBIT G**



[illegible]



**INTERIOR ELEVATION KEY**

**REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL**



City of Council  
Public Works  
Engineering

FLOOR AREA TABLE	PLAN 1212
LOWER FLOOR PLAN	690 SQ. FT.
UPPER FLOOR PLAN	722 SQ. FT.
TOTAL	1,312 SQ. FT.
GARAGE	288 SQ. FT.

SCALE:  $1/4" = 1' - 0"$

PI AN 1212

### ELEVATIONS III

TELEVISION  
OF CALIFORNIA

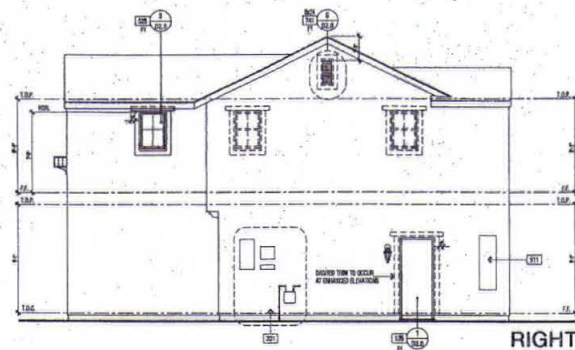
WILSON HOMES

WILSON HOMES

TRACT NUMBER	PROJECT TYPE
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[illegible][illegible]

2013272 - 08-06-14




ELEVATION KEY NOTES	
Item	Note
001	ADDITIONAL ELEVATIONS AND SURVEY POINTS - VERIFY LOCATION
002	UTILITIES REMOVED: 2" MIN. SLOPE IN EACH DIRECTION TO BE MAINTAINED PLACED IN EXISTING GRADE TO PREVENT FLOODING OF THE STREET.
003	EXISTING CURB LAYOUT
004	EXISTING SIDEWALK LAYOUT
005	EXISTING SIDEWALK LAYOUT
006	EXISTING SIDEWALK LAYOUT
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TRACT NUMBER  
PROJECT TYPE

ROOF PLAN

SCALE: 1/8" = 1'-0"

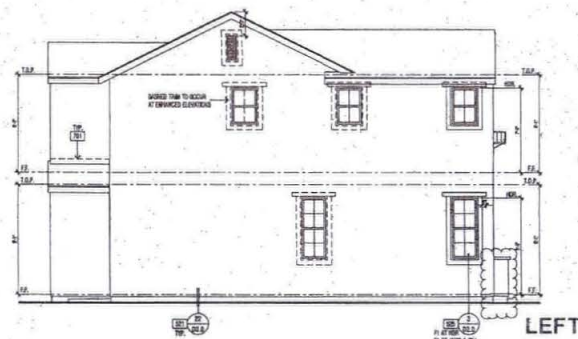
ELEMENT REFERENCE		ELEMENT TITLE		SPANISH	
REF. SYMBOL	STANDARD REF. SYMBOL	FINISH - D.C.D.	WALL - L.A.D.	THICKNESS CON. - C.D.D.	THICK.
CONCRETE 'S' TILE		2X6	2X6	1'-0"	TIGHT

ROOF PLAN NOTES

[illegible]

### ROOF PLAN KEY NOTES

ITEM	NOTE
#02	ROOFING - CONCRETE - LOW PROFILE 12" TILE BY EAGLE ROOFING CO. BY 15# 1500
#10	LINE OF WALL BELOW
#12	STUCCO CEILING
#14	STUCCO SKYRT
#22	MIN. 22"X20" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
#26	ROOF VENT - CHIMNEY 18" BRICK - CLIMAX VENT SIZE 18" X 18" (MIN.)



**- PLAN 1212**  
**ELEV8IONS III**  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

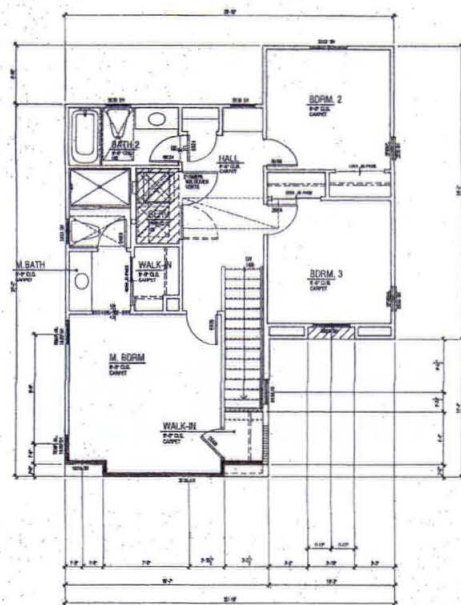
ELEVATIONS - PLAN 1212A

[illegible]

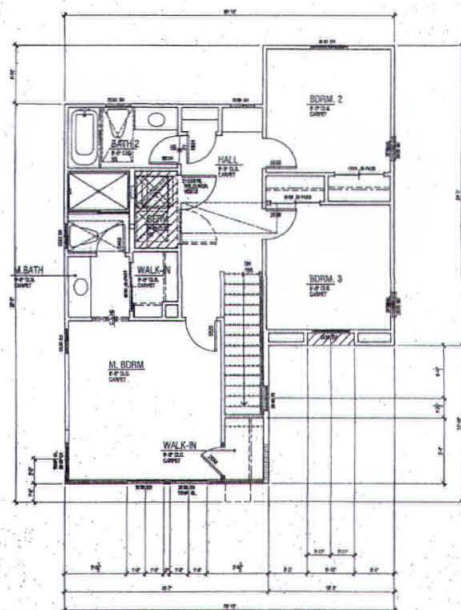
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14

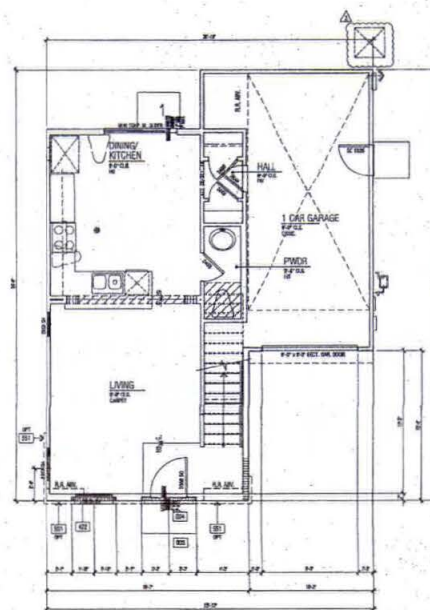




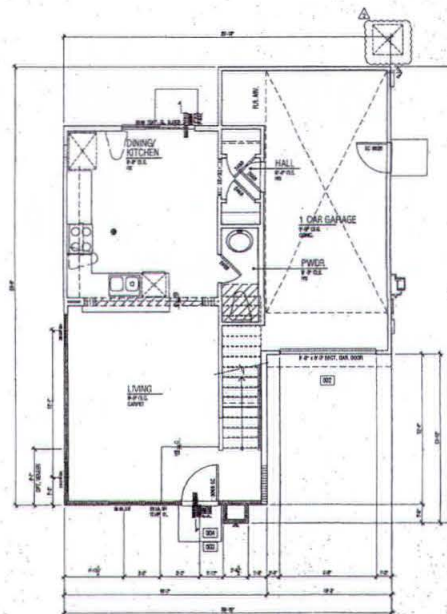
UPPER FLOOR PLAN 1212C



UPPER FLOOR PLAN 1212B



LOWER FLOOR PLAN 1212C

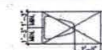


LOWER FLOOR PLAN 1212B

FLOOR PLAN KEY NOTES	
NOTE	DETAIL
1002	CONCRETE DRIVE (BY OTHERS)
1003	CONCRETE WALK (BY OTHERS)
1004	CONCRETE PORCH SLAB (BY OTHERS) SLAB UP PER FOOT MINIMUM IN SECTION INDICATED
1005	CEILING FLOOR FINISH PER PLAN
1006	STUCKS BATH - HEIGHT PER PLUMBING
1007	THIS SET SHALL BE USED BY LICENSED ARCHITECTS - SEE AIA C-1008 - INSTALL PER MANUFACTURER'S INSTRUCTIONS
1008	MANUFACTURED ADHESIVE STICKED STONE UNDER BY OTHERS STONE
1009	SEE 1008-1009, DETAIL PER MANUFACTURER'S INSTRUCTIONS

FLOOR AREA TABLE	
PLAN 1212C	
LOWER FLOOR PLAN	490 SQ. FT.
UPPER FLOOR PLAN	715 SQ. FT.
TOTAL	1,205 SQ. FT.
GARAGE	288 SQ. FT.

REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL



#### ADDENDA FLOOR PLAN NOTES

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.  
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND SCHEDULE LOCATIONS.  
REFER TO BASE FLOOR SHEET FOR ADDITIONAL NOTES AND DIMENSIONS.



INTERIOR ELEVATION KEY

FLOOR PLAN NOTES	
1.	ACTUAL ACCESS AND EGRESS REQUIREMENTS FOR THIS PLAN ARE TO BE DETERMINED BY THE USER.
2.	CONSTRUCTION OF THIS PLAN IS BASED ON THE ASSUMPTION THAT THE USER WILL BE FOLLOWING THE PLAN AND NOT THE BASE FLOOR PLAN.
3.	ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4.	CONSTRUCTION OF THIS PLAN IS BASED ON THE ASSUMPTION THAT THE USER WILL BE FOLLOWING THE PLAN AND NOT THE BASE FLOOR PLAN.
5.	CONSTRUCTION OF THIS PLAN IS BASED ON THE ASSUMPTION THAT THE USER WILL BE FOLLOWING THE PLAN AND NOT THE BASE FLOOR PLAN.
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19.	CONSTRUCTION OF THIS PLAN IS BASED ON THE ASSUMPTION THAT THE USER WILL BE FOLLOWING THE PLAN AND NOT THE BASE FLOOR PLAN.
20.	CONSTRUCTION OF THIS PLAN IS BASED ON THE ASSUMPTION THAT THE USER WILL BE FOLLOWING THE PLAN AND NOT THE BASE FLOOR PLAN.

FLOOR AREA TABLE	
PLAN 1212B	
LOWER FLOOR PLAN	490 SQ. FT.
UPPER FLOOR PLAN	722 SQ. FT.
TOTAL	1,212 SQ. FT.
GARAGE	288 SQ. FT.

SCALE: 1/4" = 1'-0"

WILLIAM HEZMALHALCH ARCHITECTS INC.  
1000 LAMAR AVENUE, SUITE 100, SAN JOSE, CA 95128  
408.281.1000



TRACT NUMBER  
PROJECT TYPE

PLAN 1212  
ELEVATIONS III  
CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

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DO NOT SCALE. PLEASE

REVISIONS

NO. DATE DESCRIPTION

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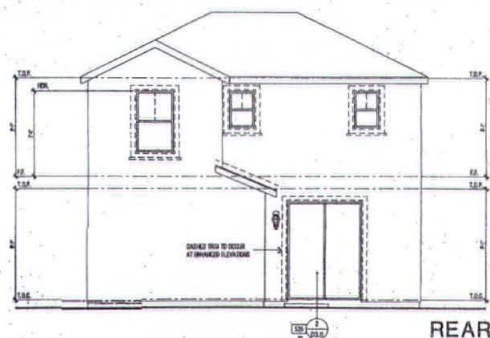
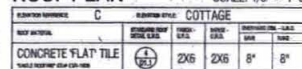
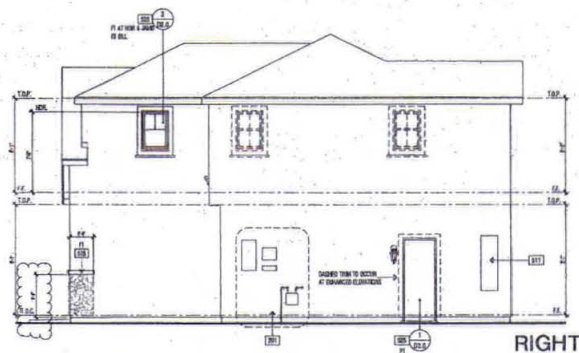
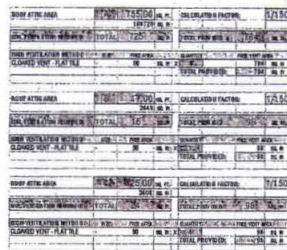
161. 08/14/14 E-ELEVATIONS

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2013272 - 08-06-14



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**WILLIAM HEZMALHALCH  
ARCHITECTS INC.**  
2802 REDHILL AVENUE, SUITE 300 SANTA ANITA, CA 95054  
650 250 0907 [www.hezmalhalch.com](http://www.hezmalhalch.com) fax 650 250 0300



TRACT NUMBER	PROJECT TYPE
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- PLAN 1212  
ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

ELEVATIONS - PLAN 1212C

[illegible]

SCALE: 1/4" = 1'-0"

2013272 - 08-06-14



### UPPER FLOOR PLAN

OPT. LOFT FLOOR PLAN

### LOWER FLOOR PLAN

[illegible]

REQUIRED FLOOR CLEARANCE  
AT WATER CLOSETS - TYPICAL



FLOOR AREA TABLE	PLAN 141
LOWER FLOOR PLAN	556 SQ. FT.
UPPER FLOOR PLAN	847 SQ. FT.
TOTAL	1413 SQ. FT.
GARAGE	426 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

SCALE: 1/4" = 1'- 0"

PLAN 1413A

- PLAN 1413  
ELEVATIONS III

WILSON HOMES  
FRESNO, CALIFORNIA

TRACT NUMBER  
PROJECT TYPE

**W**  
**WILLIAM HEZMALHALCH**  
**ARCHITECTS INC.**  
2811 REDHILL AVENUE SUITE 200 SANTA ANA, CA 92705-5600  
949 250 0997 [www.ahfch.com](http://www.ahfch.com) fax 949 250 1020



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<b>REVISIONS</b>			
NO.	DATE	DESCRIPTION	
1	5-5-14	AS BUILT	

City of Covington - Planning Department  
 1330 N. 1st St.  
 Covington, LA 70002  
 (504) 835-1234  
 www.covingtonla.gov

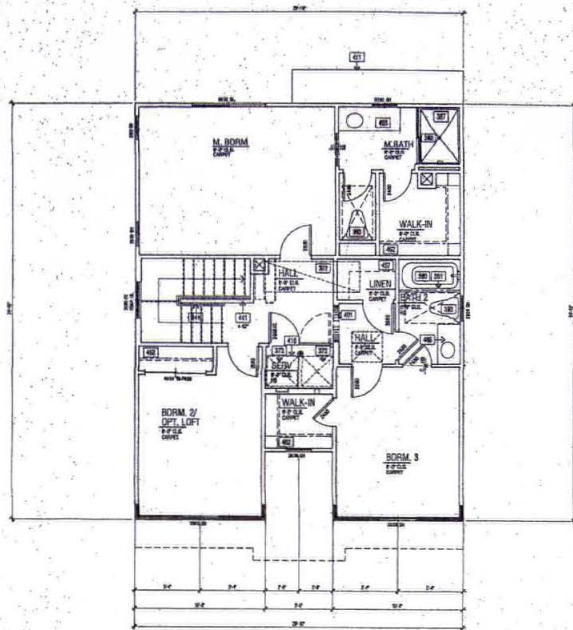
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2013272 - 10-24-14

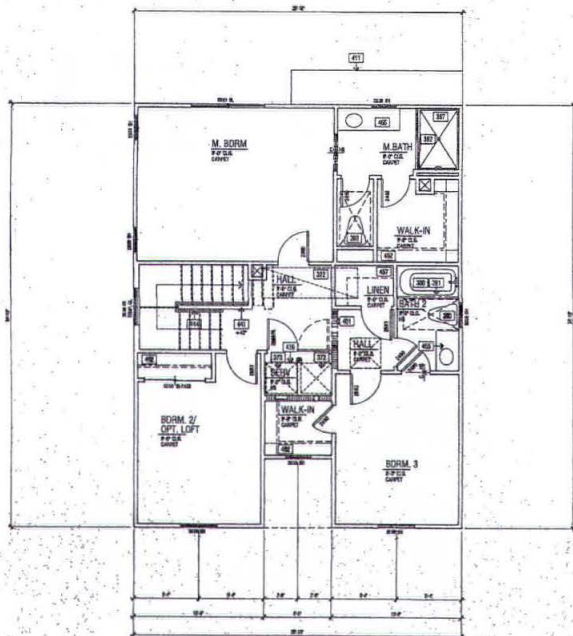


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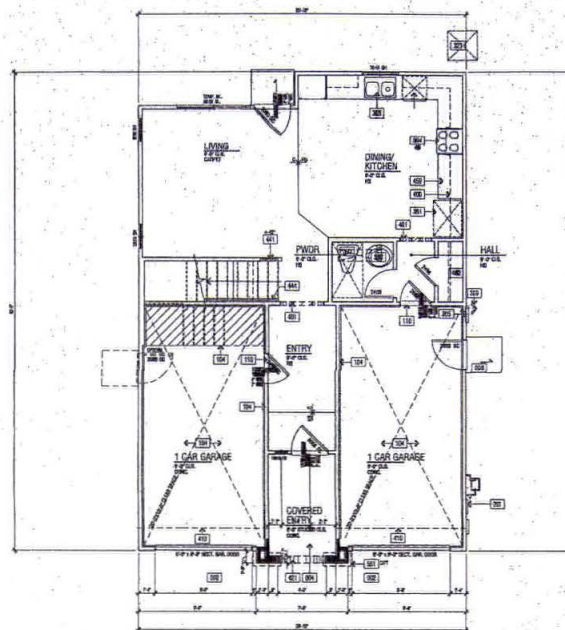




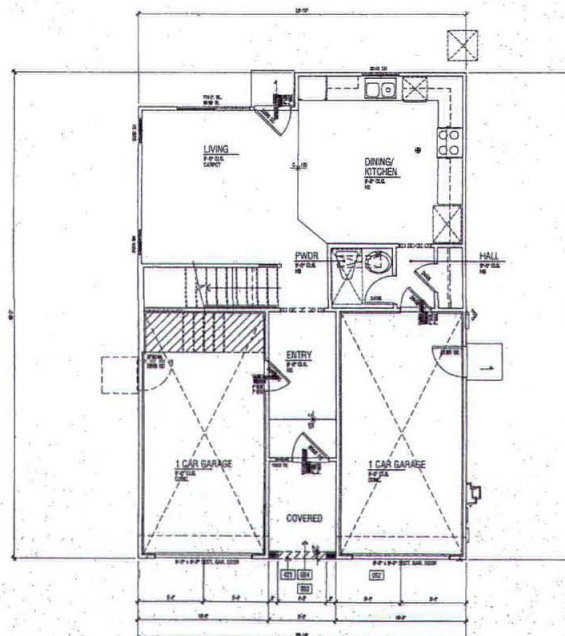
UPPER FLOOR PLAN 2C



UPPER FLOOR PLAN 2B



LOWER FLOOR PLAN 2C

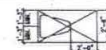


LOWER FLOOR PLAN 2B

FLOOR PLAN KEY NOTES	
NOTE	NOTE
001	CONCRETE DRIVE (BY OTHERS)
002	CONCRETE WALLS (BY OTHERS)
003	CONCRETE FLOOR SLAB (BY OTHERS) FLOOR LIP FOR FOOT WALKERS IN
004	CONCRETE FLOOR SLAB (BY OTHERS) FLOOR LIP FOR FOOT WALKERS IN
005	STREET CLOSING - VERIFY FOR PLACEMENT
006	STREET CLOSING - VERIFY FOR PLACEMENT
007	STREET CLOSING - VERIFY FOR PLACEMENT
008	STREET CLOSING - VERIFY FOR PLACEMENT

FLOOR AREA TABLE	PLAN 2C
LOWER FLOOR PLAN	1000 SQ. FT.
UPPER FLOOR PLAN	847 SQ. FT.
TOTAL	1847 SQ. FT.
GARAGE	428 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL



ADDENDA FLOOR PLAN NOTES	
NOTE: SHOWN WALLS INDICATE AREAS THAT ARE DIFFERENT FROM THE BASE FLOOR PLAN.	
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.	
REFER TO BASE PLAN SHEET A2.1 FOR ADDITIONAL NOTES AND DIMENSIONS.	



INTERIOR ELEVATION KEY

FLOOR PLAN NOTES	
1.	ALL OTHERS SHALL BE AS SHOWN FOR THE BASE FLOOR PLAN.
2.	CONCRETE DRIVE AND CONCRETE WALLS FOR THE BASE FLOOR PLAN.
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FLOOR AREA TABLE	PLAN 2B
LOWER FLOOR PLAN	1000 SQ. FT.
UPPER FLOOR PLAN	847 SQ. FT.
TOTAL	1847 SQ. FT.
GARAGE	428 SQ. FT.
COVERED ENTRY/PORCH	44 SQ. FT.

SCALE: 1/4" = 1' - 0"

WILLIAM HEZMALHALCH  
ARCHITECTS INC.  
1000 J STREET, SUITE 100, FRESNO, CA 93721  
503.251.1000 www.hezmalhalch.com



TRAC NUMBER  
PROJECT TYPE

- PLAN 1413  
ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

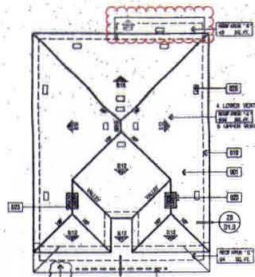
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PLAN 1413B PLAN 1413C

2013272 - 08-06-14





NOTE: ROOFING MATERIALS TO BE USED ON ROOF SECTIONS AND ON ALL VERTICAL SURFACES IN THE ATTIC.

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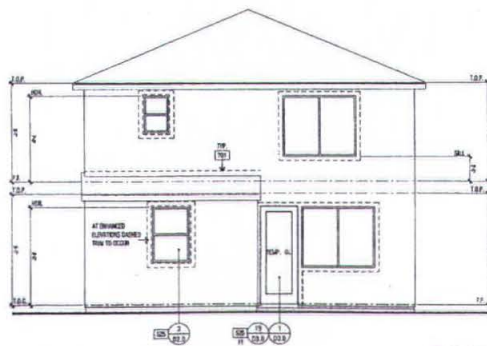
## ROOF PLAN

SCALE: 1/8" = 1'-0"

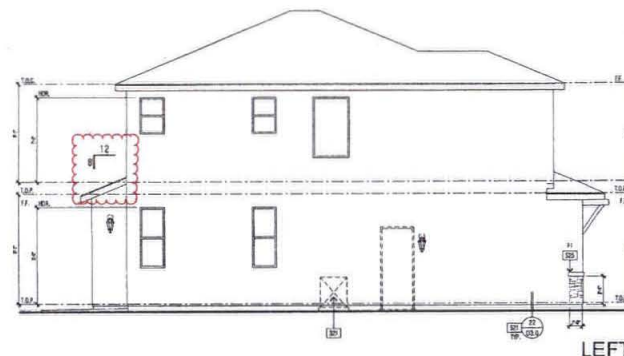
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## ROOF PLAN KEY NOTES

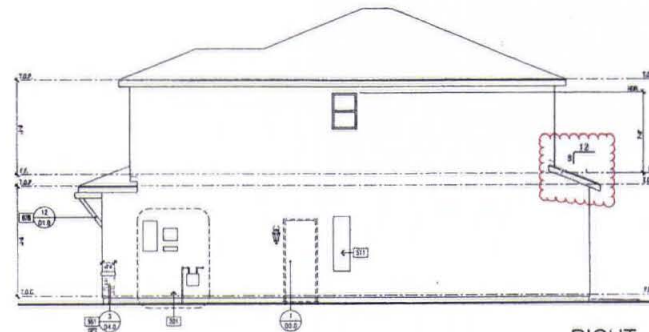
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2	USE OF WALL BRICK
3	STUCCO GUTTER
4	WOOD SHINGLES
5	WOOD SHINGLES - CONCRETE - "FLAT" TILE BY EMBLEM ROOFING CO. OF LOS ANGELES
6	WOOD SHINGLES - CONCRETE - "FLAT" TILE BY EMBLEM ROOFING CO. OF LOS ANGELES
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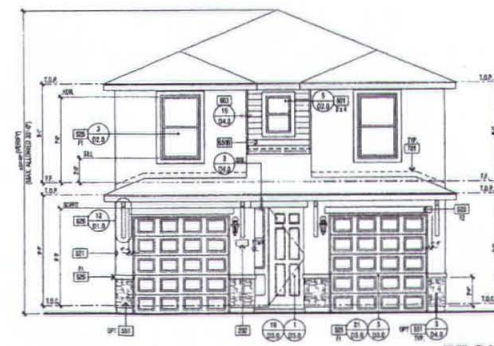
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ELEVATION KEY NOTES
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16. ALL ELEVATIONS SHALL BE IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE (CBC).
17. ALL ELEVATIONS SHALL BE IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE (CBC).
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WILLIAM HEZMALHALCH  
ARCHITECTS INC.  
200 WEST 10TH STREET, SUITE 200  
FRESNO, CALIFORNIA 93701  
TEL: 559-222-1111  
WWW.WHARCHITECTS.COM



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

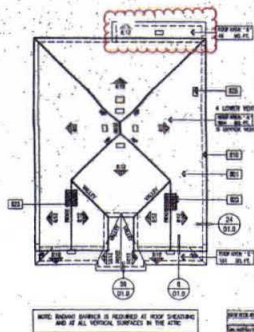
NO.	DATE	DESCRIPTION
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2	08-06-14	REVISED PER COMMENTS
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20	08-06-14	REVISED PER COMMENTS



ELEVATIONS

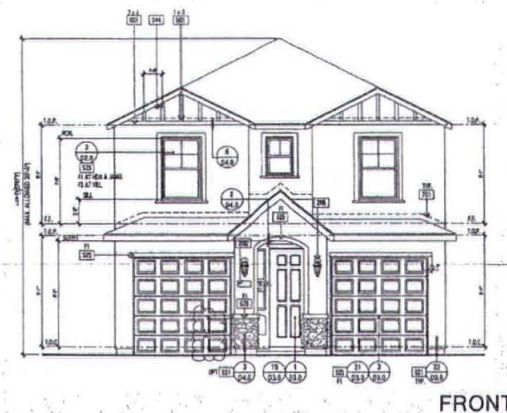
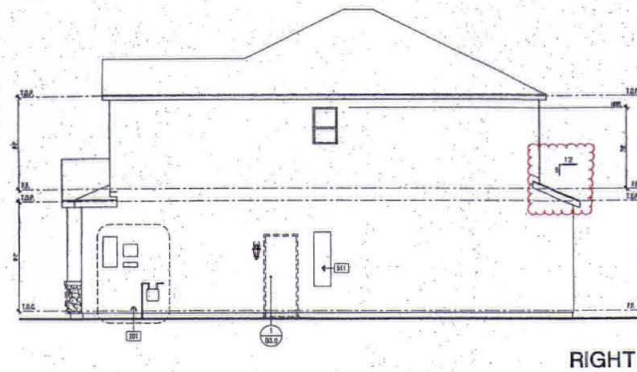
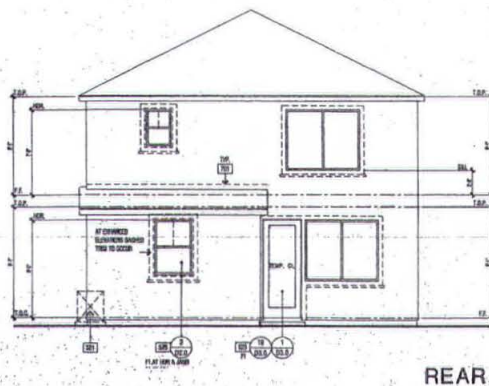
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14



ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ROOFING	1.00	SQ. YD.	1.00	1.00
2	FLASHING	1.00	EA.	1.00	1.00
3	CEILING	1.00	SQ. YD.	1.00	1.00
4	WALL	1.00	SQ. YD.	1.00	1.00
5	FLOOR	1.00	SQ. YD.	1.00	1.00
6	CEILING	1.00	SQ. YD.	1.00	1.00
7	WALL	1.00	SQ. YD.	1.00	1.00
8	FLOOR	1.00	SQ. YD.	1.00	1.00
9	CEILING	1.00	SQ. YD.	1.00	1.00
10	WALL	1.00	SQ. YD.	1.00	1.00
11	FLOOR	1.00	SQ. YD.	1.00	1.00
12	CEILING	1.00	SQ. YD.	1.00	1.00
13	WALL	1.00	SQ. YD.	1.00	1.00
14	FLOOR	1.00	SQ. YD.	1.00	1.00
15	CEILING	1.00	SQ. YD.	1.00	1.00
16	WALL	1.00	SQ. YD.	1.00	1.00
17	FLOOR	1.00	SQ. YD.	1.00	1.00
18	CEILING	1.00	SQ. YD.	1.00	1.00
19	WALL	1.00	SQ. YD.	1.00	1.00
20	FLOOR	1.00	SQ. YD.	1.00	1.00

ROOF PLAN		SCALE: 1/8" = 1'-0"	
SECTION	COTTAGE	SECTION	COTTAGE
CONCRETE FLAT TILE	2X6	CONCRETE FLAT TILE	2X6
ROOF PLAN NOTES		ROOF PLAN NOTES	
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILT FOR C&G SECTION 110.15.		NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILT FOR C&G SECTION 110.15.	
1. SEE GENERAL NOTES FOR ROOF NOTES.		1. SEE GENERAL NOTES FOR ROOF NOTES.	
2. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION.		2. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION.	
3. AT THE ROOF ACCESS FOR THE ROOF ACCESS.		3. AT THE ROOF ACCESS FOR THE ROOF ACCESS.	
4. ROOF ACCESS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION.		4. ROOF ACCESS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION.	
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ELEVATION KEY NOTES	
NOTE	
101	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
102	CEILING ACCESS - IF ANY, MUST BE DONE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION
103	CEILING ACCESS - IF ANY, MUST BE DONE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION
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120	CEILING ACCESS - IF ANY, MUST BE DONE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION

WILLIAM HEZMALHALCH  
ARCHITECTS, INC.  
1000 BROADWAY, SUITE 200, NEW YORK, NY 10018  
212 693 1234



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

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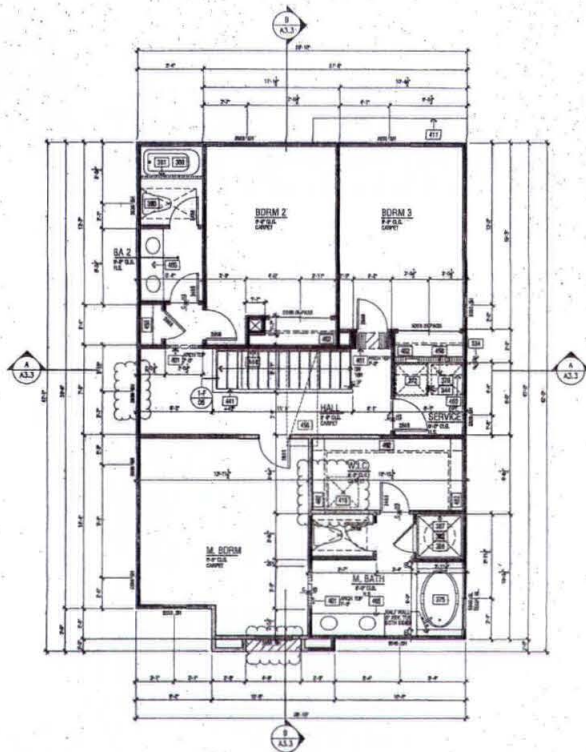
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NO.	DATE	DESCRIPTION
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ELEVATIONS - PLAN 2C

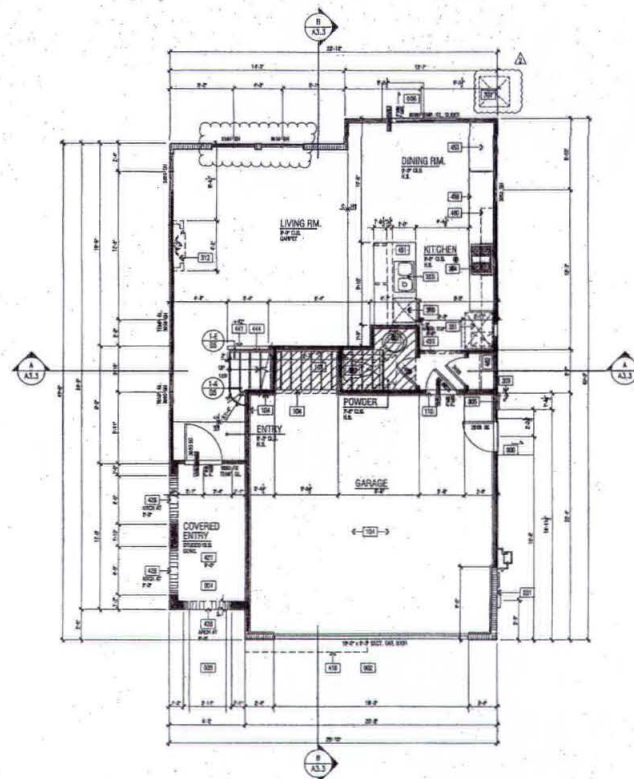
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





UPPER FLOOR PLAN



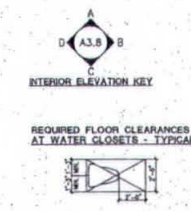
LOWER FLOOR PLAN

**FLOOR PLAN NOTES**

1. ATTIC: ROOMS FOR USE ONLY. DO NOT OCCUPY FOR USE.
2. ATTIC: ROOMS FOR USE ONLY. DO NOT OCCUPY FOR USE.
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**FLOOR PLAN KEY NOTES**

1. CONCRETE SLAB (SEE STRUCTURAL DRAWINGS)
2. CONCRETE CHASE (SEE NOTES)
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**FLOOR AREA TABLE**

Room	Area (sq. ft.)
UPPER FLOOR PLAN	1,000
LOWER FLOOR PLAN	1,000
TOTAL	2,000
GARAGE	1,000
COVERED ENTRY/POOR	1,000

**WILLIAM HEZMAHALCH ARCHITECTS INC.**  
 1000 N. 1ST ST. SUITE 100  
 FRESNO, CA 93703



TRACT NUMBER  
PROJECT TYPE

- PLAN 1648

CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

WILLIAM HEZMAHALCH ARCHITECTS, INC.  
 1000 N. 1ST ST. SUITE 100  
 FRESNO, CA 93703

**REVISIONS**

NO.	DATE	DESCRIPTION
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100	08-06-14	ISSUED FOR CONSTRUCTION

SCALE: 1/4" = 1' - 0"

PLAN 1648A

2013272 - 08-06-14



[illegible][illegible]

**W**  
**WILLIAM HEZMALHALCH**  
**ARCHITECTS INC.**  
2880 RICHMOND AVENUE SUITE 200 SANTA ANA CA 92705-0540  
949 230 0307 [www.whezh.com](http://www.whezh.com) fax 949 230 1500



TRACT NUMBER	PROJECT TYPE
1	1
2	2
3	3
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100	100

- PLAN 1648

CLOVIS, CALIFORNIA

**WILSON HOMES**  
**FRESNO, CALIFORNIA**

1. ☐ 2014 WELLESSE INSPECTION/REPAIR CERTIFICATE. WELLESSE RECORDS (REGISTRATION, INSPECTIONS, REPAIRS, ETC.) CONFORM TO THE REQUIREMENTS OF THE INSPECTION/REPAIR CERTIFICATE. THE INSPECTION/REPAIR CERTIFICATE IS VALID FOR 12 MONTHS. THE INSPECTION/REPAIR CERTIFICATE IS VALID FOR 12 MONTHS. THE INSPECTION/REPAIR CERTIFICATE IS VALID FOR 12 MONTHS.

DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION
1	8-6-14	AS BUILT

CITY OF LOS ANGELES  
 15000  
 MAY 20 2014

PROJECT NUMBER: 15000  
 DRAWER: 15000  
 DRAWER BY: 15000  
 DESIGNED FOR: 15000  
 DESIGNED BY: 15000  
 CAD FILE NAME: 15000

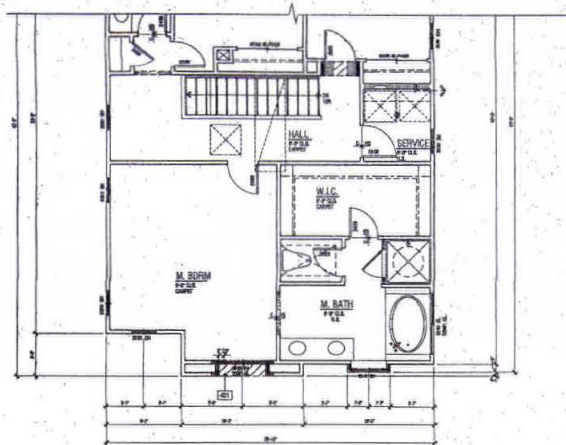
DATE: 08-06-14  
 SHEET: A3.4

ELEVATIONS - PLAN 1660A

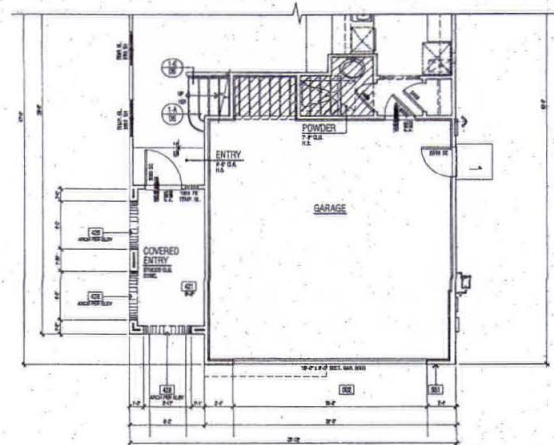
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14

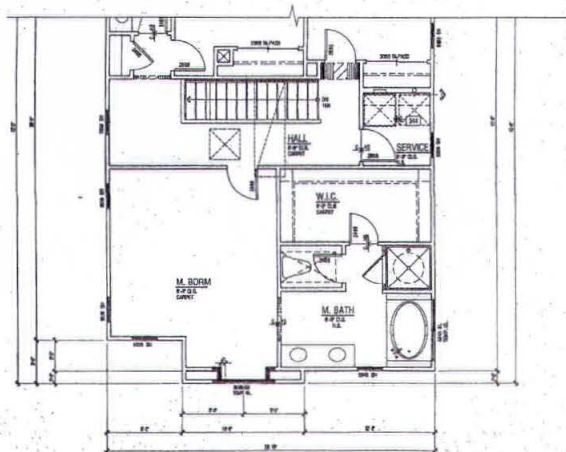




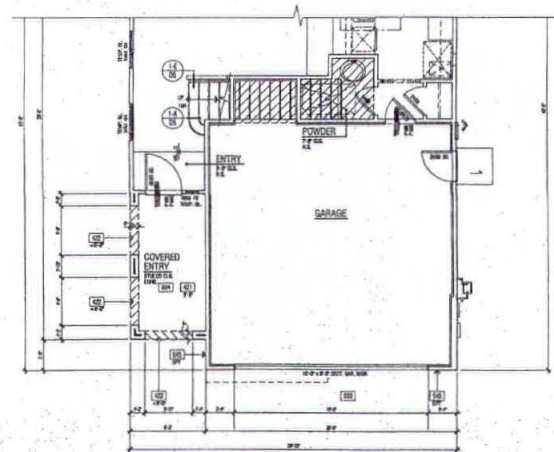
UPPER FLOOR PLAN 3C



LOWER FLOOR PLAN 1660C



UPPER FLOOR PLAN 3B

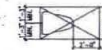


LOWER FLOOR PLAN 1660B

FLOOR PLAN KEY NOTES	
NOTE	NOTE
001	CONCRETE DRIVE (BY OTHERS)
002	CONCRETE WALK (BY OTHERS)
003	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
004	STUCCO GABLE ROOF PER PLAN
005	STUCCO GABLE ROOF PER PLAN
006	STUCCO GABLE ROOF PER PLAN
007	STUCCO GABLE ROOF PER PLAN
008	STUCCO GABLE ROOF PER PLAN
009	STUCCO GABLE ROOF PER PLAN
010	STUCCO GABLE ROOF PER PLAN

FLOOR AREA TABLE	
PLAN 1660C	
LOWER FLOOR PLAN	599 SQ. FT.
UPPER FLOOR PLAN	1,048 SQ. FT.
TOTAL	1,647 SQ. FT.
GARAGE	437 SQ. FT.
COVERED ENTRY PORCH	74 SQ. FT.

REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL



ADDENDA FLOOR PLAN NOTES	
NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT FROM THE BASE FLOOR PLAN.	
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND TERRACES. DRAWINGS.	
REFER TO BASE PLAN SHEET A3.1 FOR ADDITIONAL NOTES AND DIMENSIONS.	



FLOOR PLAN NOTES	
1.	STUCCO GABLE ROOF PER PLAN
2.	STUCCO GABLE ROOF PER PLAN
3.	STUCCO GABLE ROOF PER PLAN
4.	STUCCO GABLE ROOF PER PLAN
5.	STUCCO GABLE ROOF PER PLAN
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9.	STUCCO GABLE ROOF PER PLAN
10.	STUCCO GABLE ROOF PER PLAN
11.	STUCCO GABLE ROOF PER PLAN
12.	STUCCO GABLE ROOF PER PLAN
13.	STUCCO GABLE ROOF PER PLAN
14.	STUCCO GABLE ROOF PER PLAN
15.	STUCCO GABLE ROOF PER PLAN
16.	STUCCO GABLE ROOF PER PLAN
17.	STUCCO GABLE ROOF PER PLAN
18.	STUCCO GABLE ROOF PER PLAN
19.	STUCCO GABLE ROOF PER PLAN
20.	STUCCO GABLE ROOF PER PLAN

FLOOR AREA TABLE	
PLAN 1660B	
LOWER FLOOR PLAN	599 SQ. FT.
UPPER FLOOR PLAN	1,048 SQ. FT.
TOTAL	1,647 SQ. FT.
GARAGE	437 SQ. FT.
COVERED ENTRY PORCH	74 SQ. FT.

SCALE: 1/4" = 1' - 0"

WILLIAM HEZAAHLHALCH  
ARCHITECTS INC.  
300 REPAIR LANE SUITE 200 DAVIS CA 94608  
916 251 0001 www.hezaahlhalch.com 10.08.08.008



TRACT NUMBER  
PROJECT TYPE

- PLAN 1648

CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

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REVISIONS	
NO.	DESCRIPTION
1	REVISION 1
2	REVISION 2
3	REVISION 3
4	REVISION 4
5	REVISION 5
6	REVISION 6
7	REVISION 7
8	REVISION 8
9	REVISION 9
10	REVISION 10
11	REVISION 11
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16	REVISION 16
17	REVISION 17
18	REVISION 18
19	REVISION 19
20	REVISION 20

PLAN 1660B PLAN 1660C

2013272 - 08-06-14

[illegible]

**WILLIAM HEZMALHALCH  
ARCHITECTS INC.**  
3980 REDHILL AVENUE, SUITE 200 SANTA ANA, CA 92705-4502  
949 250 9007 [www.wheharch.com](http://www.wheharch.com) fax 949 250 0326



TRACT NUMBER  
PROJECT TYPE

PLAN 1648

CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

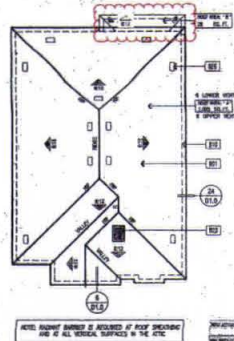
[illegible]

ELEVATIONS - PLAN 1648B

SCALE: 1/4" = 1'-0"

2013272 - 08-06-14





NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	08/27/14	WJH	WJH
2	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
3	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
4	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
5	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
6	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
7	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
8	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
9	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
10	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH

# ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION	NO.	REVISION	DATE	BY	CHKD.
CONCRETE FLAT TILE	1	ISSUED FOR PERMITS	08/27/14	WJH	WJH
CONCRETE FLAT TILE	2	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	3	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	4	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	5	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	6	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	7	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	8	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	9	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH
CONCRETE FLAT TILE	10	ISSUED FOR CONSTRUCTION	08/27/14	WJH	WJH

## ROOF PLAN KEY NOTES

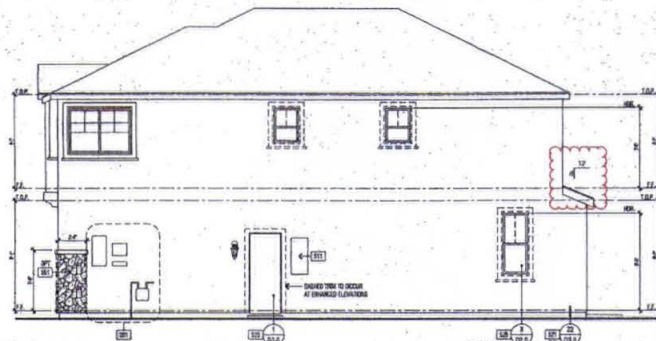
NO.	NOTE
1	ROOFING - CONCRETE - FLAT TILE BY SABLE ROOFING CO. OF SAN JOSE
2	LINE OF WALL BEGINS
3	SHEDDING DRAIN
4	SHEDDING DRAIN
5	SHEDDING DRAIN
6	SHEDDING DRAIN
7	SHEDDING DRAIN
8	SHEDDING DRAIN
9	SHEDDING DRAIN
10	SHEDDING DRAIN



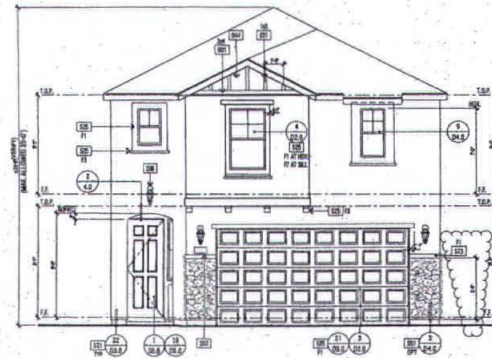
REAR



LEFT



RIGHT



FRONT

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.	
ELEVATION KEY NOTES	
NO.	NOTE
1	SHEDDING DRAIN - CONCRETE - FLAT TILE BY SABLE ROOFING CO. OF SAN JOSE
2	LINE OF WALL BEGINS
3	SHEDDING DRAIN
4	SHEDDING DRAIN
5	SHEDDING DRAIN
6	SHEDDING DRAIN
7	SHEDDING DRAIN
8	SHEDDING DRAIN
9	SHEDDING DRAIN
10	SHEDDING DRAIN

WILLIAM HEZMALHALCH  
ARCHITECTS INC.  
200 N. BROADWAY, SUITE 200, SAN JOSE, CA 95131  
408.281.1111



TRACT NUMBER  
PROJECT TYPE

- PLAN 1648

CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR CONSTRUCTION
3	ISSUED FOR CONSTRUCTION
4	ISSUED FOR CONSTRUCTION
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8	ISSUED FOR CONSTRUCTION
9	ISSUED FOR CONSTRUCTION
10	ISSUED FOR CONSTRUCTION

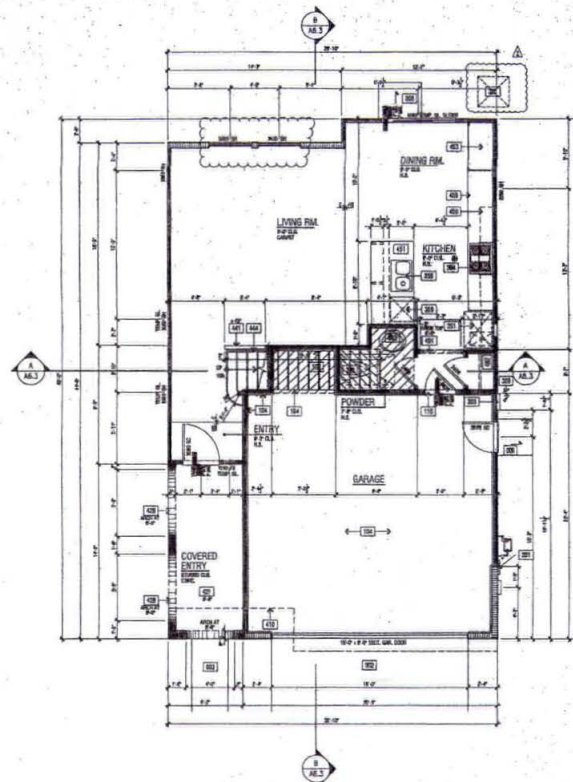
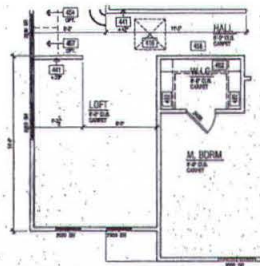
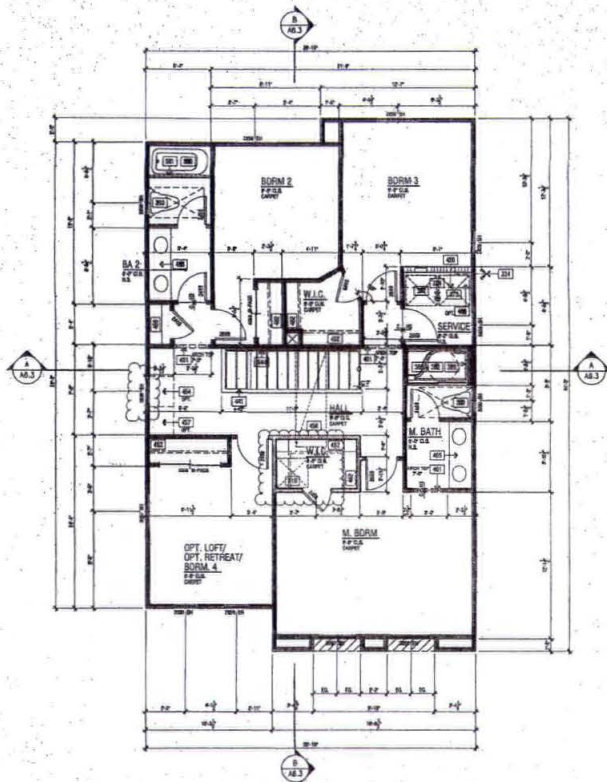
ELEVATIONS - PLAN 1648C



SCALE: 1/4" = 1'-0"

2013272 - 08-06-14



[illegible][illegible]

FLOOR AREA TABLE	PLAN 100
LOWER FLOOR PLAN	899 SQ. FT.
UPPER FLOOR PLAN	1,061 SQ. FT.
TOTAL	1,960 SQ. FT.
GARAGE	437 SQ. FT.
COVERED ENTRY/PORCH	90 SQ. FT.

SCALE: 1/4" = 1'- 0"

**WILLIAM HEZMALHALCH  
ARCHITECTS INC.**  
3000 ROCKHILL AVENUE SUITE 200 SANTA ANA CA 92705-0543  
949 235 5807 [www.hezmalhalch.com](http://www.hezmalhalch.com) fax 949 235 1525



TRACT NUMBER	PROJECT TYPE
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3	3
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- PLAN 1660

CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

3031 2 MILLER ROAD, HUNTSVILLE, AL 35894  
 205-938-7800 FAX 205-938-7801  
 ALL RIGHTS ARE RESERVED. NO PART OF THIS  
 DRAWING OR ANY PART THEREOF IS TO BE REPRODUCED  
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 ENGINEER. THE USER OF THIS DRAWING  
 AGREES TO HOLD THE ENGINEER HARMLESS  
 FROM ALL CLAIMS, DAMAGES, LOSSES AND  
 EXPENSES, INCLUDING ATTORNEY'S FEES,  
 THAT MAY BE INCURRED BY THE ENGINEER  
 AS A RESULT OF THE USER'S NEGLIGENCE  
 OR MISUSE OF THIS DRAWING.

CD SET SCALE PLANS

### REVISIONS

NO.	DATE	DESCRIPTION
1	8-6-14	

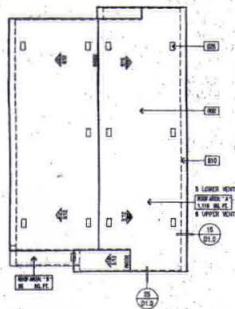
DESIGNED BY: **BN**  
 DRAWN BY: **BN**  
 CHECKED BY: **BN**  
 101 BLVD. S.W. HUNTSVILLE, AL 35894  
 (205) 938-7800 FAX (205) 938-7801  
 WWW.BENNETTENGINEERING.COM

DATE: **08-06-14** SHEET: **A4.1**

PLAN 1660A1

2013272 - 08-06-14





MODEL SHOWN SHOWN & REQUIRED AT ROOF JOINTS AND AT ALL VERTICAL SURFACES IN THE VENTS

ROOF AREA	15,741.15 SQ. FT.	NO. OF VENTS	10
ROOF PERIMETER	1,000.00 FT.	NO. OF VENTS	10
ROOF AREA	15,741.15 SQ. FT.	NO. OF VENTS	10
ROOF PERIMETER	1,000.00 FT.	NO. OF VENTS	10
ROOF AREA	15,741.15 SQ. FT.	NO. OF VENTS	10
ROOF PERIMETER	1,000.00 FT.	NO. OF VENTS	10

## ROOF PLAN

SCALE: 1/8" = 1'-0"

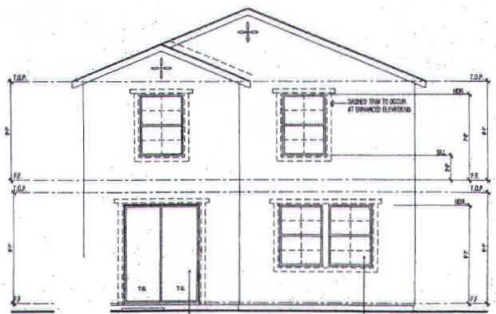
ALTERNATE NUMBER	A	SPANISH
CONCRETE S' TILE	2X6	2X6
1/2" TIGHT	1/2" TIGHT	1/2" TIGHT

### ROOF PLAN NOTES

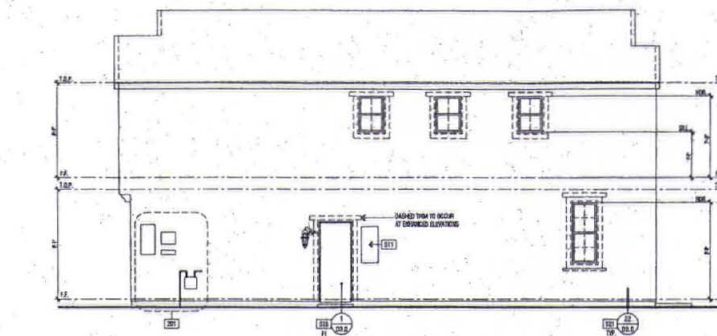
1. SEE GENERAL NOTES FOR ROOF NOTES.
2. SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
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9. SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
10. SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

### ROOF PLAN KEY NOTES

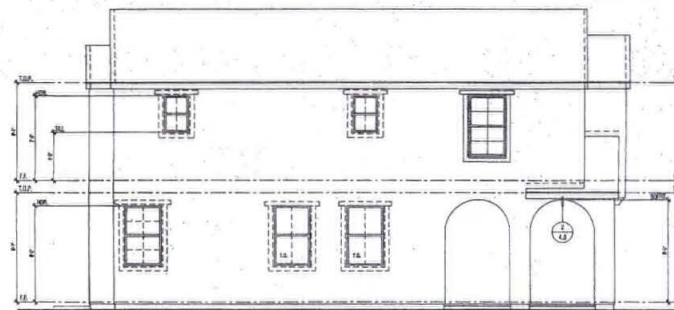
100	POORING - CONCRETE - LOW PROFILE TO TILE BY TIGHTLY ROOFING C/CAP FOR 1000
101	LINE OF WALL BELOW
102	STANDARD COLUMN
103	STANDARD COLUMN
104	STANDARD COLUMN
105	STANDARD COLUMN
106	STANDARD COLUMN
107	STANDARD COLUMN
108	STANDARD COLUMN
109	STANDARD COLUMN
110	STANDARD COLUMN



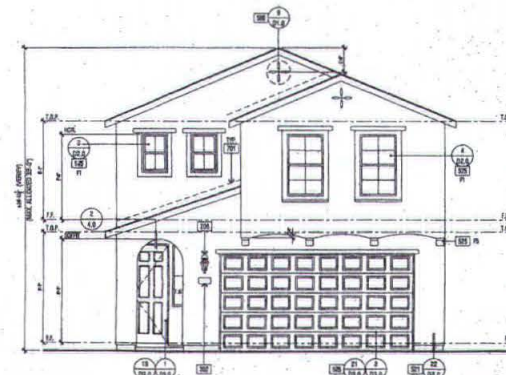
REAR



RIGHT



LEFT



FRONT

FINISHED GRADE VARIOUS. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.	
ELEVATION KEY NOTES	
100	POORING - CONCRETE - LOW PROFILE TO TILE BY TIGHTLY ROOFING C/CAP FOR 1000
101	LINE OF WALL BELOW
102	STANDARD COLUMN
103	STANDARD COLUMN
104	STANDARD COLUMN
105	STANDARD COLUMN
106	STANDARD COLUMN
107	STANDARD COLUMN
108	STANDARD COLUMN
109	STANDARD COLUMN
110	STANDARD COLUMN

WILLIAM HEZMAHALCH  
ARCHITECTS INC.  
300 N. CALIFORNIA AVE. SUITE 200 SAN ANTONIO, TX 78205  
210.207.1000 www.hezmahalch.com



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

ELEVATIONS - PLAN 1660A

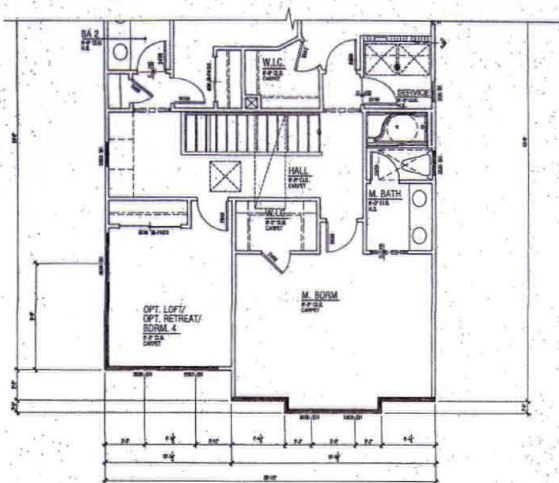
REVISIONS		
NO.	DATE	DESCRIPTION
1	8-6-14	AS BUILT



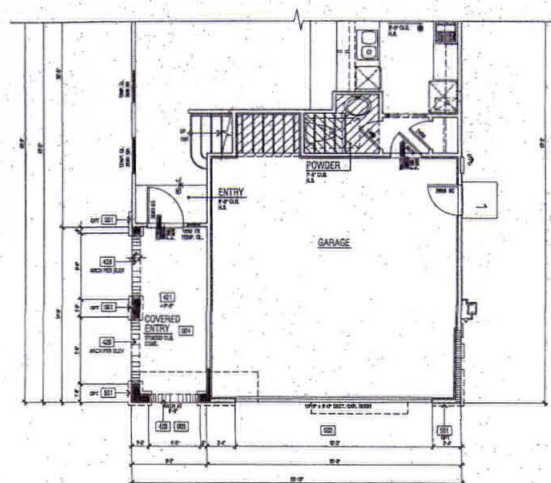
SCALE: 1/4" = 1'-0"

2013272 - 08-06-14

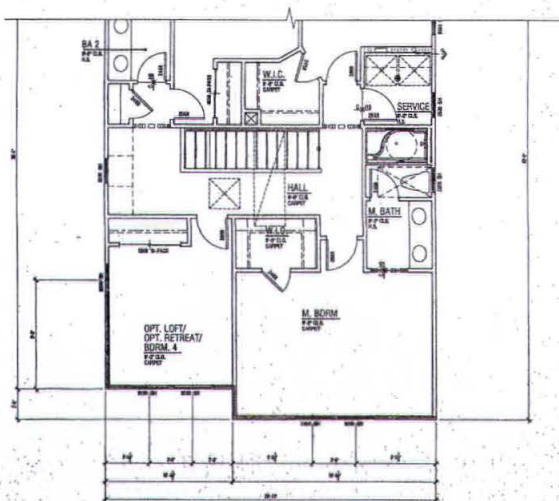




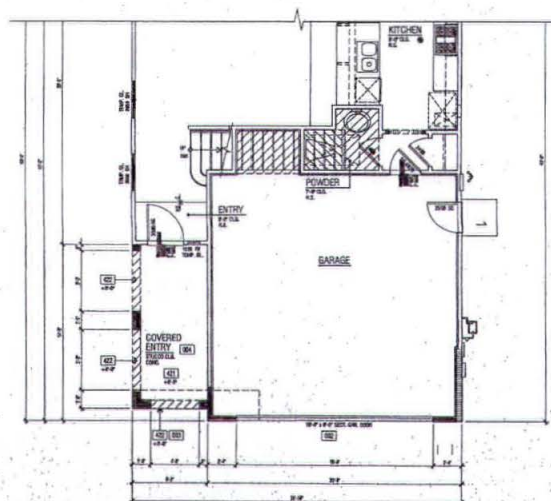
UPPER FLOOR PLAN 4C



LOWER FLOOR PLAN 1660C



UPPER FLOOR PLAN 4B

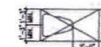


LOWER FLOOR PLAN 1660B

FLOOR PLAN KEY NOTES	
NUMBER	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PAVING SLAB (BY OTHERS) SLIGHT 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	STUCCO COLLAR HEIGHT PER PLAN
006	STUCCO BOARDS HEIGHT PER PLAN
007	ANCHOR STUDS BOARDS - SEE EXTENSION GLAZING
008	THIS SET BRICK VENEER BY INDICATED BLOCK - ASTM C-1088 - INSTALL MANUFACTURER'S INSTRUCTIONS
009	MANUFACTURED ASHED STUCCO STONE VENEER BY CUSTOMER'S DRAWING

FLOOR AREA TABLE	PLAN 1660
LOWER FLOOR PLAN	599 SQ. FT.
UPPER FLOOR PLAN	1,068 SQ. FT.
TOTAL	1,667 SQ. FT.
GARAGE	437 SQ. FT.
COVERED ENTRY/PORCH	90 SQ. FT.

REQUIRED FLOOR CLEARANCES  
AT WATER CLOSETS - TYPICAL



### ADDENDA FLOOR PLAN NOTES

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET 44.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

[illegible]

FLOOR AREA TABLE		PLAN 1660	
LOWER FLOOR PLAN			SQ. FT.
UPPER FLOOR PLAN			SQ. FT.
TOTAL			SQ. FT.
GARAGE			SQ. FT.
COVERED ENTRY/PORCH			SQ. FT.

SCALE: 1/4" = 1'- 0"

**W**  
**WILLIAM HEZMALHALCH**  
**ARCHITECTS INC.**  
2050 FREEMAN AVENUE SUITE 200 GAITHERSBURG, MD 20878-0643  
943 250 0057 [www.whezmah.com](http://www.whezmah.com) fax 943 250 1120




TRACT NUMBER  
PROJECT TYPE

**ELEVATIONS III**  
CLOVIS, CALIFORNIA

WILSON HOMES  
FRESNO, CALIFORNIA

■ 2014 VILLAGE REDEVELOPMENT ARCHITECTS, INC.  
VILLAGE REDEVELOPMENT ARCHITECTS, INC. EXPRESSLY RESERVES  
ITS CONVEYANCE COMPROMISE AND OTHER PROPERTY RIGHTS  
IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED,  
COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE  
WRITTEN PERMISSION AND CONSENT OF VILLAGE REDEVELOPMENT  
ARCHITECTS, INC. IN THE EVENT OF UNAUTHORIZED USE OF  
THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL LITIGATE  
VILLAGE REDEVELOPMENT ARCHITECTS, INC. AND KAPPA.

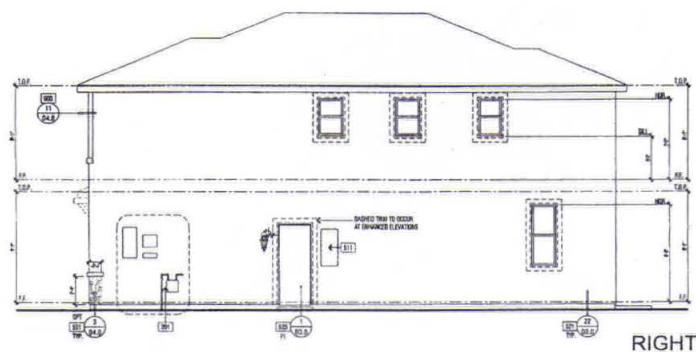
DO	NOT	SCALE	PLANS
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REVISIONS		
NO.	DATE	DESCRIPTION
		
PROJECT NUMBER:	000	
DESIGNER:	HNT	
DRAWN BY:		
REVIEWED BY:		
TEST ROOM (SPL. SUBMITAL)		
NOTES FOR CONSTRUCTION		
AND REVISIONS		
DATE FILE NAME:	REVISED	
DATE:	SHEET:	
08-06-14	A4.5	

PLAN 1660B &amp; PLAN 1660C

2013272 - 08-06-14



[illegible]

**W**  
**WILLIAM HEZMALHALCH**  
**ARCHITECTS INC.**  
 2330 KIDWELL AVENUE SUITE 200 SANITA ANA CA 92705-0545  
 949 250 0207 [www.wheh.com](http://www.wheh.com) fax 949 250 0208



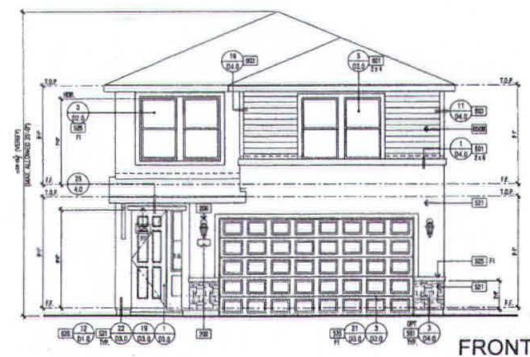
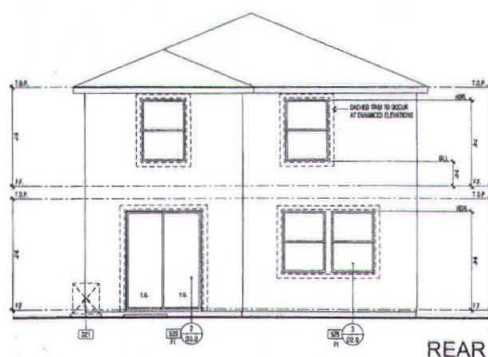
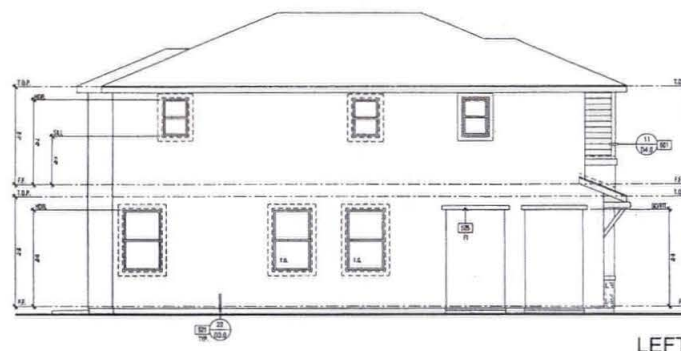
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100	100

ROOF PLAN

SCALE: 1/8" = 1'-0"

[illegible]

ROOF PLAN KEY NOTES	
SYMBOL	NOTE
R01	ROOFING - CONCRETE - FLAT TILE BY GABLE ROOFING ESCAP (SEE 1000)
R10	LINE OF WALL BELOW
R12	STUCCO CEILING
R14	WOOD SKYFILL
R19	MIN. 2'X10"X8" CLEAR OPENING FOR ACCESS; AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
R26	ROOF VENT - 2'X4'X8" MIN. 2"X10"X8" CLEAR VENT (SEE JC - NEW-1000)
R28	ALUMINUM COVERS/CLIMB DOOR/CLIMB

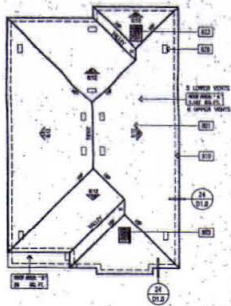


SCALE: 1/4" = 1'-0"

ELEVATIONS - PLAN 1660B

[illegible]

2013272 - 08-06-14



NOTE: ROOF RAMP IS REQUIRED AT ROOF DRAINAGE AND AT ALL VERTICAL SURFACES IN THE ETC.

ROOF AREA: AREA	A	1063	SQ. FT.	CALCULATION FACTOR:	1/150	
MIN. VENTILATION REQUIRED	TOTAL	1029	SQ. IN.	TOTAL PROVIDED:	1055	SQ. IN.
ONLY VENTILATION METHOD	SIZE	PER AREA	AMOUNT	PER UNIT AREA		
CLEANED VENT CONCRETE TILE	18	NO. IN. 1	1500	SQ. IN.		
			1500	SQ. IN.		

ROOF AREA: AREA	B	28	SQ. FT.	CALCULATION FACTOR:	1/150	
MIN. VENTILATION REQUIRED	TOTAL	28	SQ. IN.	TOTAL PROVIDED:	99	SQ. IN.
ONLY VENTILATION METHOD	SIZE	PER AREA	AMOUNT	PER UNIT AREA		
CLEANED VENT CONCRETE TILE	18	NO. IN. 1	1500	SQ. IN.		
			99	SQ. IN.		

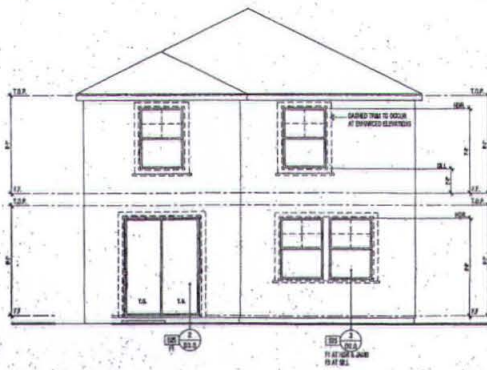
## ROOF PLAN

SCALE: 1/8" = 1'-0"

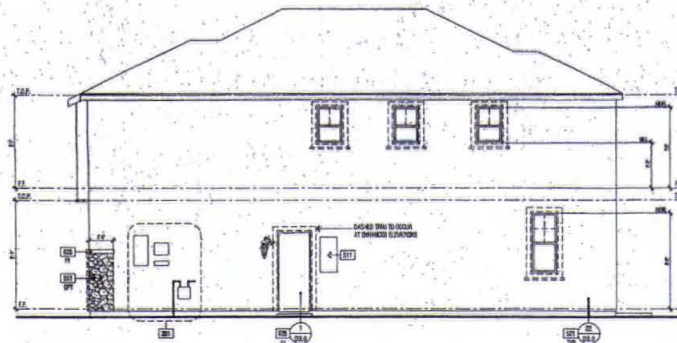
SECTION REFERENCE	C	SECTION REFERENCE	COTTAGE
ADDITIONAL		ADDITIONAL	
CONCRETE 'FLAT' TILE	1	CONCRETE 'FLAT' TILE	1
SHALL BE USED FOR ROOF		SHALL BE USED FOR ROOF	
ROOF PLAN NOTES			
NOTE: MANDATORY REQUIREMENTS FOR ROOF RAMP BUILDING PER CODE SECTION 110.15.			
1. ALL ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.			
2. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.			
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10. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.			

### ROOF PLAN KEY NOTES

NOTE	
1. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	
2. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	
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10. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	



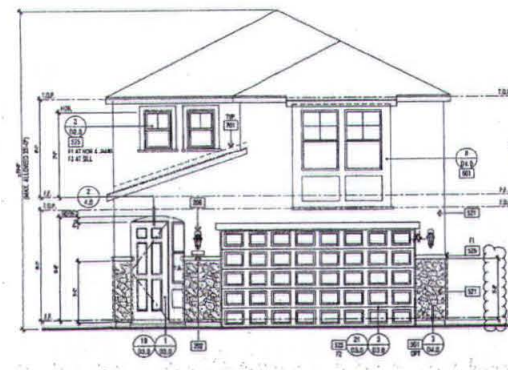
REAR



RIGHT



LEFT



SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES	
NOTE	
1. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	
2. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	
3. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	
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10. ROOF RAMP BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANDATORY REQUIREMENTS.	

WILLIAM HEZMALHALCH  
ARCHITECTS, INC.  
3000 JAVIER DRIVE, SUITE 100, SAN JOSE, CA 95131  
408.255.1000 WWW.HEZMALHALCH.COM 408.255.1000



TRACT NUMBER  
PROJECT TYPE

ELEVATIONS III  
CLOVIS, CALIFORNIA  
WILSON HOMES  
FRESNO, CALIFORNIA

WILLIAM HEZMALHALCH ARCHITECTS, INC.  
1000 JAVIER DRIVE, SUITE 100, SAN JOSE, CA 95131  
408.255.1000 WWW.HEZMALHALCH.COM 408.255.1000

### REVISIONS

NO.	DATE	DESCRIPTION
1	8-6-14	AS BUILT
2	8-6-14	AS BUILT
3	8-6-14	AS BUILT
4	8-6-14	AS BUILT
5	8-6-14	AS BUILT
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8	8-6-14	AS BUILT
9	8-6-14	AS BUILT
10	8-6-14	AS BUILT

ELEVATIONS - PLAN 1660C

2013272-08-06-14



# Planning Area 7-High Density Residential

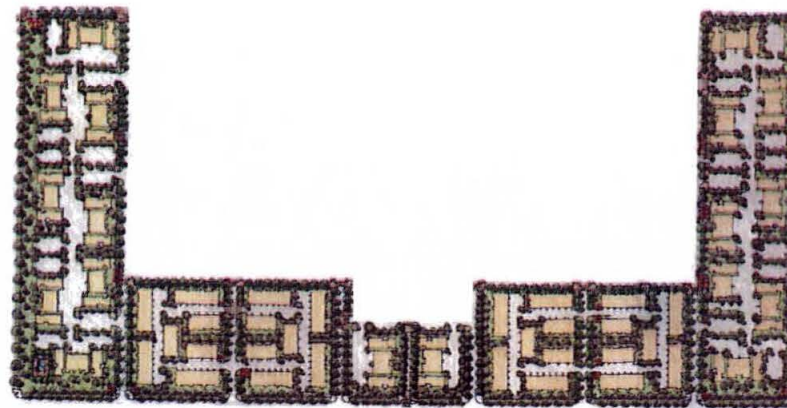
Planning Area 7 is a high density residential district in Community Center South. Homes should front onto Gettysburg, De Wolf and Leonard Avenues with garage access off an alley, for a handsome street scene. A trail system will connect homes to parks, major trails and the Reagan Education Center to the South.

## Development Standards

DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3
Density Range	15.1 to 25 dwelling units per acre

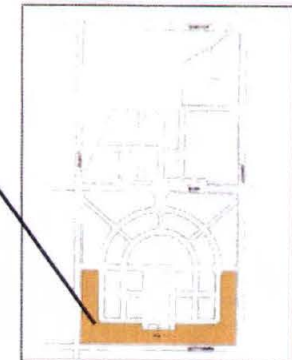
BUILDING INTENSITY		
Minimum Lot Area	2,100 SF	Lots may require a reciprocal use easement for useable private open space.
Minimum Lot Width	35'	
Minimum Lot Depth	55'	
Maximum building height	50'	3-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front to Leonard, De Wolf and Gettysburg ROW	10'	No direct driveway access off Leonard, De Wolf or Gettysburg. 5' to porch
Front Yard to local road	10'	5' to porch
Front to Trail or Park	10'	5' to porch. 5' internal sidewalk included in setback.
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	Rear yards may not face Leonard Ave., San Jose or the Gettysburg Trail.
* Rear yard to garage is 5' to rear property line or alley.		



Planning Area 7-Conceptual Illustrative

Key Map



Paired- Z



Townhomes



LOMA VISTA  
COMMUNITY CENTERS  
North & South

# Planning Area 7-High Density Residential (cont.)

## Development Standards

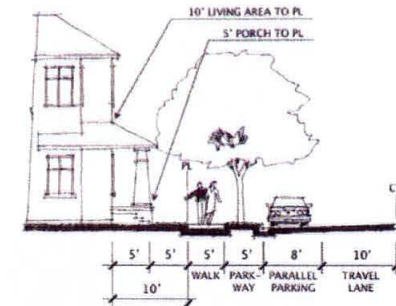
PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential *			
Studio, 1 & 2 BR	1	1	Add .5 for live-work
3+ BR	1	2	1 car garage 10' x 20'
			2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential			
Active Adult	1	.25 per unit	
Semi-independent		.5 per unit	
Child Care		1 per 6 children	
*May be modified through CUP process			

MINIMUM BUILDING SEPARATION		
Front to Front,	2-stories 15'	Please review latest applicable building code for construction and fire wall requirements.
Front to Side,	3-stories 20'	
Front to Rear		
OR		
Rear to Rear		
Side to side	0'	

PERMITTED USES	
Small lot, higher density singlefamily detached homes, alley-loaded preferred	
Duplexes	
Triplex mansion homes	
Paired-Z	
Clustered SFD	
Townhomes	
Apartments	
Senior apartments, active adult and semi-independent (subject to CUP)	
Child care facility (subject to a CUP)	
Neighborhood pocket parks, tot-lots and open space amenities	
Internal pedestrian trails and bike paths	

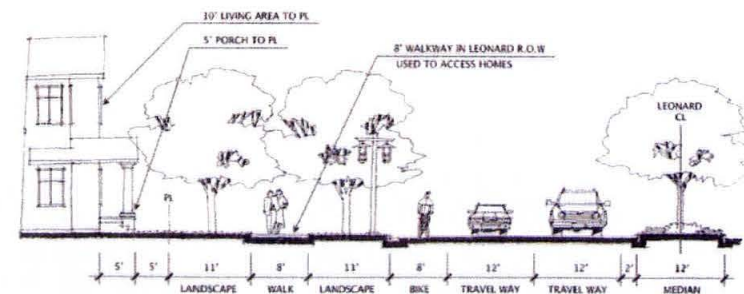
ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		



Front Setback to Local Road



Mansion Homes



Front Setback to Leonard Avenue

**SFD Clusters**  
**LOMA VISTA**  
**COMMUNITY CENTERS**  
 North & South



# Planning Area 8-Very High Density Residential

Planning Area 8 is a very high density residential district consisting of 9.6 acres in Community Center South. PA 8 will be characterized by compact, efficient apartments, townhomes, seniors apartments and live-work units. These micro-neighborhoods are a short walk from the vibrant mixed-use on the Village Green in PA 7 and the retail and entertainment center in PA 5 (or even a quick bike ride away from the Neighborhood Commercial Center in PA 4).

## Development Standards

DESIGNATION	
General Plan	Very High Density Residential
Base Zoning District	R-4
Density Range	25.1 to 43 dwelling units per acre

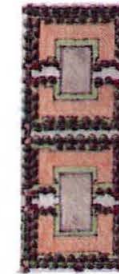
BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.		

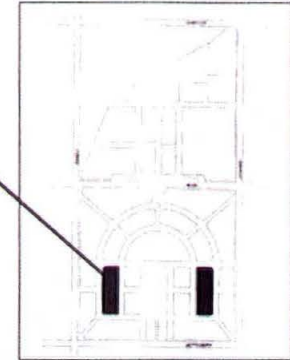
MINIMUM BUILDING SEPARATION		
Front to Front,	2-stories 15'	Please review latest applicable building code for construction and fire wall requirements.
Front to Side,	3-stories 20'	
Front to Rear	4-stories 25'	
OR		
Rear to Rear		
Side to side	0'	



LOMA VISTA  
COMMUNITY CENTERS  
North & South



Key Map



Planning Area 8-Conceptual Illustrative



Townhomes



Stacked Flats

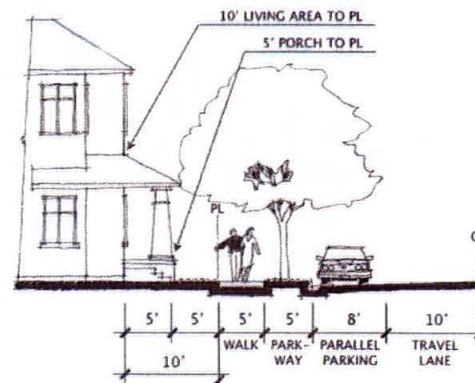
## Planning Area 8-Very High Density Residential (cont.)

### Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION			
Local Roads	36'-40' ROW see street sections		
Alleys	25' ROW, see street sections		
PARKING			
USE	COVERED	OPEN	
Attached Residential *			
Studio, 1 & 2 BR	1	1	Add .5 for live-work units
3+ BR	1	2	1 car garage 10' x 20'
			2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential			
Active Adult	1	.25 per unit	
Semi Independent		.5 per unit	
Child Care		1 per 6 children	
*May be modified through CUP process.			

PERMITTED USES	
Stacked flats	
Townhomes	
Live-work (subject to a CUP)	
Apartments	
Senior apartments, active adult and semi-independent (subject to a CUP)	
Child care facility (subject to a CUP)	
Neighborhood pocket parks, tot-lots and open space amenities	
Internal pedestrian trails and bike paths	
Parking structure (subject to CUP)	

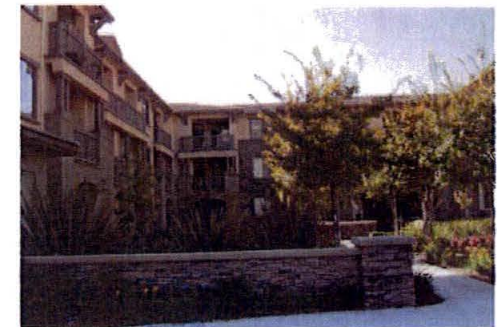
ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 5' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		



Front Setback to Local Road



Live-work



Senior housing



LOMA VISTA  
COMMUNITY CENTERS  
North & South



## Planning Area 9- Mixed use on Village Green

Planning Area 9 provides for a mix of uses on a Village Green in Loma Vista's Community Center South. Retail, service, live-work units and/or mixed-use buildings should be sited to interact with the Village Green, which will contain a variety of public uses serving both community centers. This area is envisioned to have a similar look and feel of a Main Street, with the exception of the addition of a 9.2 acre park.

### Development Standards

DESIGNATION	
General Plan	Community Center
Base Zoning District	P-C-C
Density Range	7-25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum F.A.R.	1	

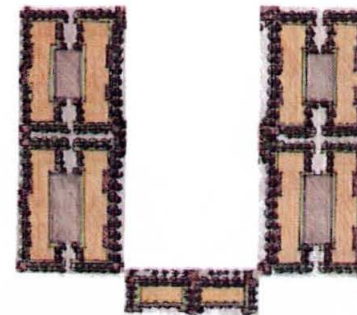
BUILDING SETBACKS (From Property Line)		
Front to San Jose	10'	5' to porch
Front Yard to local road	10'	5' to porch
Front to Main street	5'-20'	Build- to line is 5'-20' from ultimate ROW
Side yard	N/A	
Corner side yard	10'	
Rear yard*	N/A	

MINIMUM BUILDING SEPARATION		
Front to Front,	2-stories 15'	Please review latest applicable building code for construction and fire wall requirements.
Front to Side,	3-stories 20'	
Front to Rear	4-stories 25'	
OR		
Rear to Rear		
Side to side	0'	

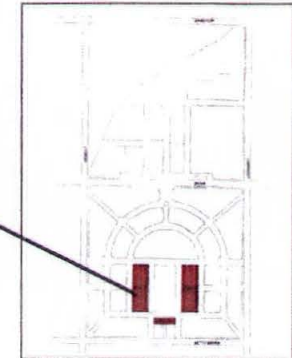


LOMA VISTA  
COMMUNITY CENTERS  
North & South

Key Map



Planning Area 9-Conceptual Illustrative



Village Green Illustrative Concept



# Planning Area 9- Mixed use on Village Green (cont.)

## Development Standards

### PERMITTED USES

Retail, including bicycle shops, book stores, carpet sales, clothing and shoe stores, small drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.
Business, professional and medical/dental offices, included veterinary clinics
Places of worship (subject to CUP)
2 & 3 floor residential (vertically mixed uses)
Live-work units
Restaurants, bakeries, delis and ice cream parlors
Neighborhood pocket parks & open space amenities
Trails and bike paths
Bars and cocktail lounges in conjunction with restaurant (subject to CUP)
Health clubs, gyms (over 5,000 SF subject to CUP)
Financial institutions and banks
Barber and beauty salons
Service, including laundry and photography
Parking garage (subject to CUP)
Places of worship (subject to CUP)

### ACCESSORY USES

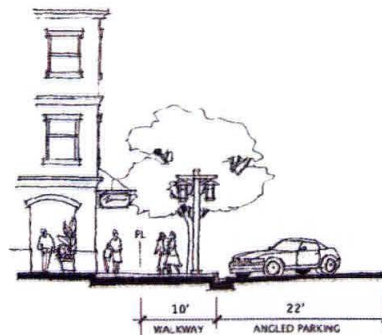
Walls and fences	3'-6'	No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Loma Vista street and paseo standards		

### PEDESTRIAN and VEHICULAR CIRCULATION

Sidewalks	All front doors must be accessed by a minimum 6' sidewalk	
Local roads	36'-40' ROW (See Street Sections)	
Alleys and Service roads	25' ROW (See Street Sections)	

### PARKING

USE	COVERED	OPEN	
Attached Residential *			
Studio, 1, 2 BR	1	1	Add 0.5 for Live-work units
3+ BR	1	2	1 car garage 10' x 20'
			2 car garage: standard 20' x 20'; tandem 12' x 40'
Business professional offices	1 per 250 square feet		
medical, dental offices/clinics	8 for first doctor plus 5 for each additional doctor		
General retail	0-20,000 square feet - 5.4 per 1,000 gross building area		
	20,000-70,000 square feet - 5.0 per 1,000 gross building area		
	70,000 square feet and over - 4.7 per 1,000 gross building area		
Restaurants, delis, bars/cocktail lounges	0-1,000 SF- 1 per 200 SF		
	1,000-4,000 SF- 1 per 100 SF		
	4,000 SF- 40 spaces plus 1 per 50 SF over 4,000 SF		
Financial institutions/banks	5.4 per 1,000 gross building area		
Health club/gym	1 per 100 SF		
Barber/beauty salon	2 per station		
*May be modified through CUP process.			



Setback to Main Street



Mixed Use



Village green

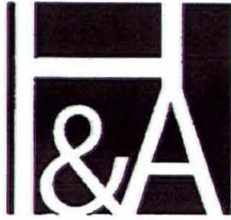


Village green



LOMA VISTA  
COMMUNITY CENTERS  
North & South





## Harbour & Associates

### Civil Engineers

389 Clovis Avenue, Suite 300 • Clovis, California 93612  
(559) 325-7676 • Fax (559) 325-7699 • e-mail [lorrens@harbour-engineering.com](mailto:lorrens@harbour-engineering.com)

August 08, 2017

### City of Clovis

1033 Fifth Street  
Clovis, Ca. 93612

Attn: Bryan Araki, Senior Planner

Re: Letter of Justification  
Urban Trail Realignment  
TM6168

Dear Bryan,

As you know, in the Loma Vista Specific Plan there are designated paseos running generally from the corners at the major street intersection to the neighborhood parks near the centers of the quarter sections. Within the Loma Vista Community Centers North and South the paseo/urban trails are not always planned in the same manner. The quarter section that our proposed Tentative Map No. 6168 is within does not have the paseo/urban trail planned to run diagonally to the center of the quarter section. The planned urban trail in this quarter section does begin at the intersection of Gettysburg and Leonard Avenues, but ends up at the planned Loma Vista Avenue alignment, on the north side of our quarter section, approximately 300 feet west of Leonard Avenue. This creates a trail that parallels Leonard Avenue and would be only 300 feet, or so, to the west of Leonard Avenue. This trail does not connect into the Village Green (Public Area No. 3) at this location (See attached exhibit).

TM6168 proposes to relocate the portion of the urban trail that parallels Leonard Avenue. We propose that the trail continue west from where it is planned to begin at the Gettysburg and Leonard intersection and connect into the planned urban trail at Sanders Avenue (midway between DeWolf Avenue and Leonard Avenue, see attached exhibit). Leonard Avenue is planned to provide a 20 foot wide area for landscaping and pedestrians and will provide for north south pedestrian traffic. The location of our proposed urban trail re-alignment will provide for the following advantages:

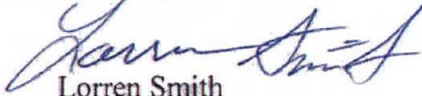
- Less landscaping and improvements for the City to maintain due to a shorter trail length.
- By locating the trail along the north side of Gettysburg, the 20 foot landscape buffer will now become a 30 foot trail and increase the buffer between the Reagan Educational Center and the proposed homes.
- An additional trail connection to the existing Reagan Center pedestrian connection at the Sanders Avenue alignment.
- Provide a more direct connection to the Village Green (Public Area No. 3).

- Eliminate the potential for youth to congregate on a trail within the proposed residential development.

Therefore, based on the current planned urban trail location and the benefits of the realignment, we believe our proposal to be an improvement and therefore justified.

If you have any questions regarding this proposal, please feel free to contact me at 559-325-7676.

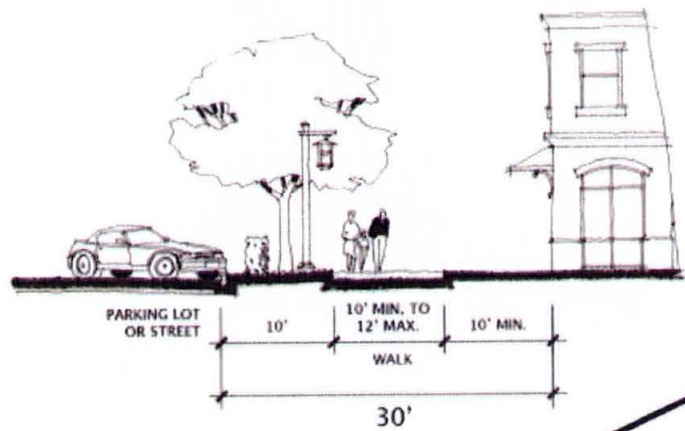
Sincerely,

A handwritten signature in blue ink, appearing to read "Lorren Smith", is written over the printed name.

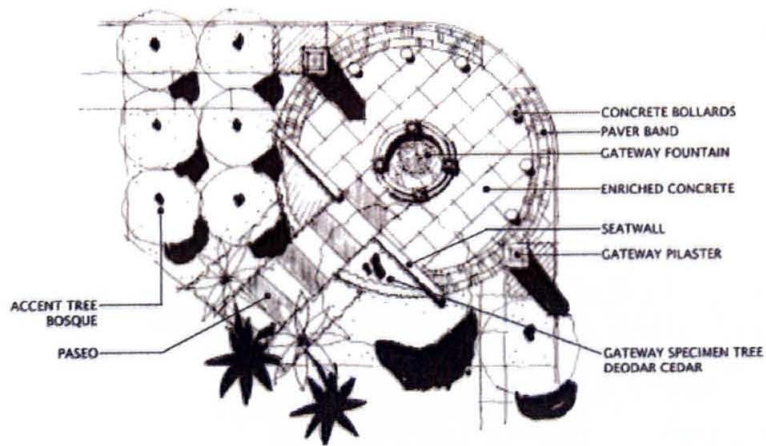
Lorren Smith  
Project Manager

cc: Jeff Harris, Wilson Development  
Dirk Poeschel, Land Development Services, Inc.





Urban Trail



Gateway

Loma Vista Ave. Alignment

E. Shaw Ave.

E. Gettysburg Ave.

N DeWolf Ave.

Sanders Ave.

Leonard Ave.

PROPOSED URBAN TRAIL ALIGNMENT

SECTION OF URBAN TRAIL PROPOSED TO BE REALIGNED



September 11, 2017

Stanley W. Harbour, P.E.  
Civil Engineer  
Harbour & Associates  
389 Clovis Avenue, Suite 300  
Clovis, CA 93612

Via Email Only: [stanley@harbour-engineering.com](mailto:stanley@harbour-engineering.com)

**Subject: Tract Map 6168 Multi-Purpose Trail Safety Analysis (Project 006-017)**

Dear Mr. Stanley W. Harbour,

JLB Traffic Engineering, Inc. has completed a qualitative multi-purpose trail safety analysis of Tract Map 6168 (Project) located at the northwest corner of Gettysburg Avenue and Leonard Avenue within the Loma Vista Community Center in the City of Clovis. The Project map analyzed is dated June 16, 2017. An item of concern for the developer is if pedestrian safety under the current Project design is superior to a concept that would include two to three additional "urban neighborhood" local streets to Gettysburg Avenue. It should be noted that this multi-purpose trail safety analysis does not evaluate levels of service for vehicular traffic. To complete this qualitative analysis, it is important to note that the multi-purpose trail will be built along the north side of Gettysburg Avenue within the Project limits, then head due north towards the center of the Loma Vista Community Center. It is also important to note that the Project will be located across the street from the Reagan Education Complex which includes: 1) Reagan Elementary School, 2) Reyburn Intermediate School, 3) Clovis East High School and 4) McFarlane-Coffman Agriculture Center. Figure 1 illustrates the Project site plan while Figure 2 illustrates the "urban neighborhood" local streets that are depicted in some of the Loma Vista Community Center Specific Plan illustrations.

Given the Project location (across the street from the Reagan Educational Complex), it is anticipated that pedestrian and bicyclist activity along the Gettysburg Avenue multi-purpose trail will be on the high side. Furthermore, students within the Project site will be served by the K-12 schools located within the Reagan Education Complex and will be required to walk, bike or be driven to their respective schools. Therefore, it is anticipated that many of the students will end up walking or biking to school. As a result, the Project site plan, which eliminates the number of street crossings of the multi-purpose trail along the north side of Gettysburg Avenue, would provide greater pedestrian and bicyclist safety when compared to a plan that would include two or three "urban neighborhood" street crossings for the following reasons.



**Traffic Engineering, Inc.**

[www.JLBtraffic.com](http://www.JLBtraffic.com)

Traffic Engineering, Transportation Planning & Parking Solutions

[info@JLBtraffic.com](mailto:info@JLBtraffic.com)

1300 E Shaw Ave., Ste. 103

Fresno, CA 93710

(559) 570-8991

Page | 1

**EXHIBIT J**



Mr. Stanley W. Harbour  
TM 6168 Multi-Purpose Trail Safety Analysis  
September 11, 2017

The number of pedestrian vs vehicular traffic conflict points would be reduced by up to 75 percent and improve pedestrian safety as a result. The utilization rate of the multi-purpose trail is more likely to be higher when the number of street crossings are minimized. The Project design also includes pedestrian and bicyclist connectivity from the Project to the multi-purpose trail, which promotes alternative modes of transportation and is consistent with the Loma Vista Community Center Specific Plan. The Project, as currently designed, incorporates several of the guiding principles within the Loma Vista Specific Plan in the design of multi-purpose trails and more importantly that "multi-purpose trails should be located where motor vehicle crossings can be eliminated or minimized". Based on this qualitative multi-purpose trail safety analysis, JLB supports the design of the Project concept that eliminates the number of vehicle crossings across the multi-purpose trail along the north side of Gettysburg Avenue.

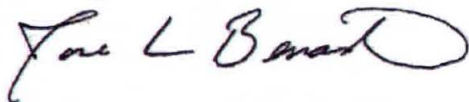
## Findings and Conclusions

Based on the Multi-Purpose Trail Safety Analysis, findings and conclusions regarding Tract Map 6168 are provided below:

- This multi-purpose trail safety analysis does not evaluate levels of service for vehicular traffic.
- The Project site plan, which minimizes the number of street crossings of the multi-purpose trail, would provide greater pedestrian and bicyclist safety when compared to a plan that would include two or three "urban neighborhood" street crossings.
- The Project reduces the number of pedestrian vs vehicular traffic conflict points by up to 75 percent and improves pedestrian safety as a result.
- The Project is likely to have a higher utilization rate of the multi-purpose trail when compared to a concept that increases the number of street crossings.
- The Project incorporates a key guiding principle of the Loma Vista Specific Plan which states that "multi-purpose trails should be located where motor vehicle crossings can be eliminated or minimized"
- JLB supports the design of the Project since it eliminates the number of vehicle crossings across the multi-purpose trail along the north side of Gettysburg Avenue.

If you have any questions or require additional information, please contact me at via phone at (559) 570-8991, or via email at [jbenavides@jlbtraffic.com](mailto:jbenavides@jlbtraffic.com).

Sincerely,



Jose Luis Benavides, P.E., T.E.  
President

X:\01 Projects\006 Clovis\006-017 TT 6168\Letter\L09102017 TT 6168.docx



**Traffic Engineering, Inc.** [www.JLBtraffic.com](http://www.JLBtraffic.com)

Traffic Engineering, Transportation Planning & Parking Solutions

[info@JLBtraffic.com](mailto:info@JLBtraffic.com)

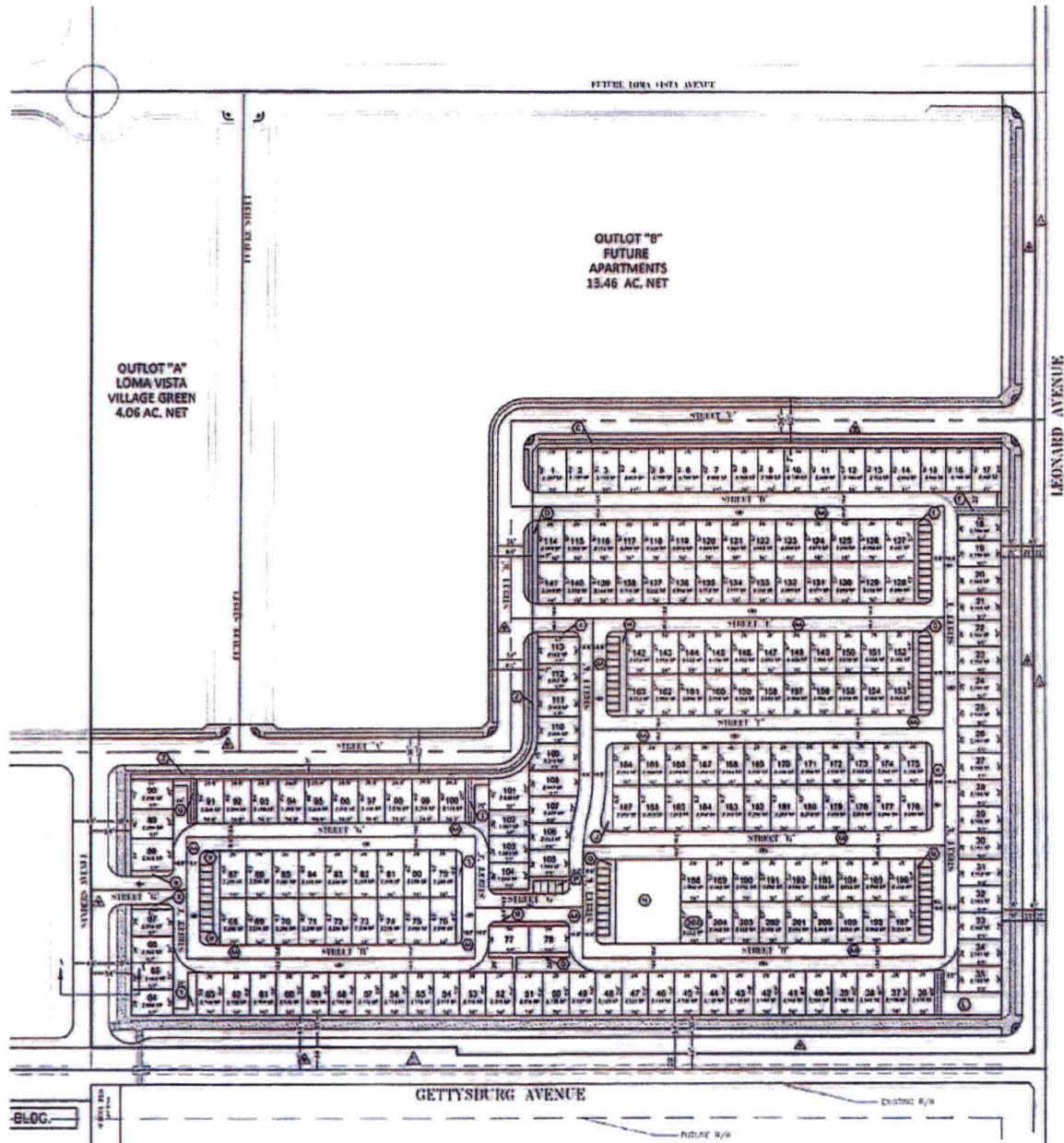
1300 E Shaw Ave., Ste. 103

Fresno, CA 93710

(559) 570-8991

Page | 2



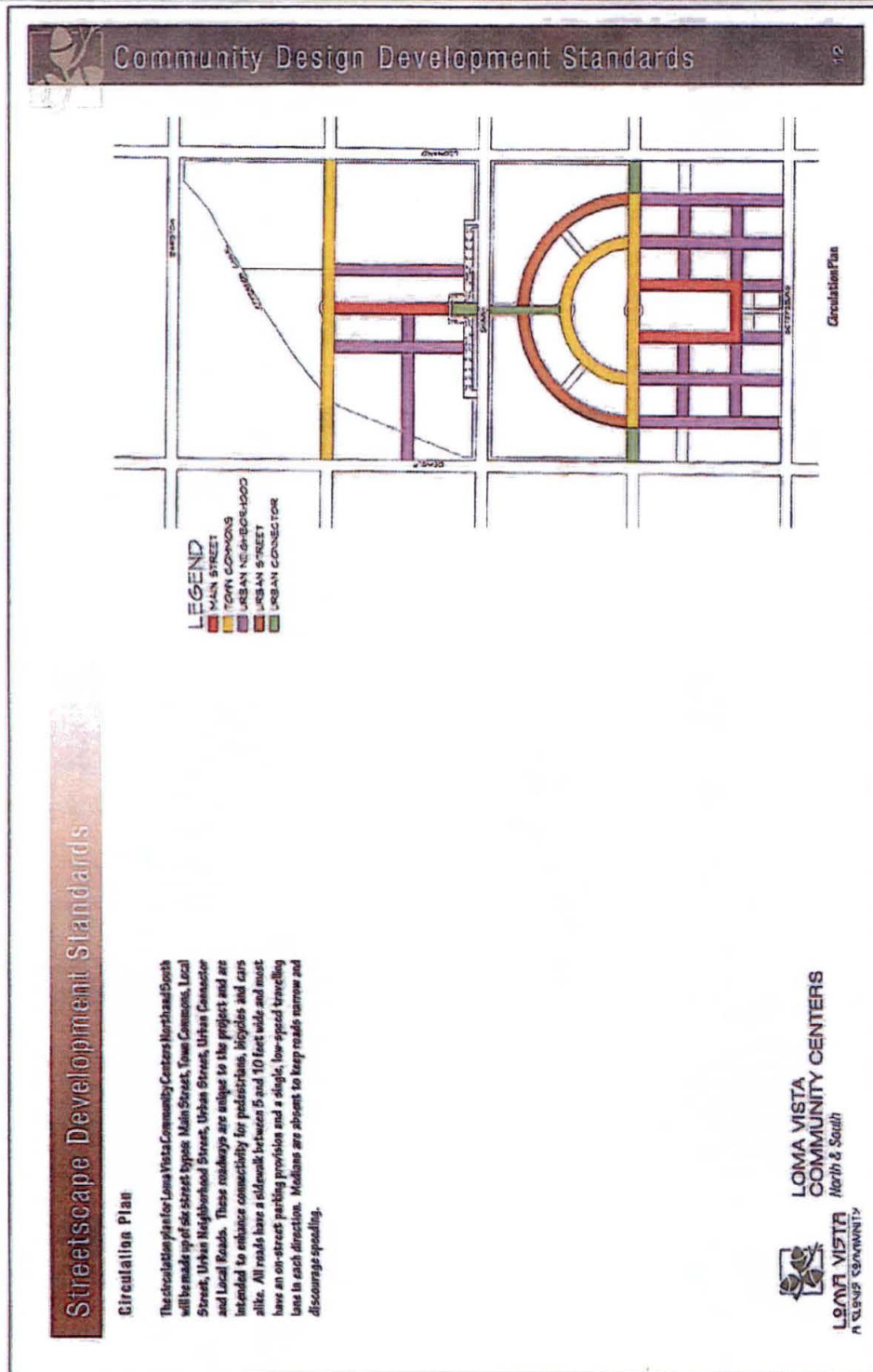


1300 E. Shaw Ave., Ste. 103, Fresno, CA 93710  
PHONE: (559) 570-8991, EMAIL: info@JLBtraffic.com, www.JLBtraffic.com



Not To Scale





1300 E. Shaw Ave., Ste. 103, Fresno, CA 93710  
PHONE: (559) 570-8991, EMAIL: info@JLBtraffic.com, www.JLBtraffic.com



Not To Scale





# LOMA VISTA COMMUNITY CENTER

Master Plan Concept  
WILSON HOMES

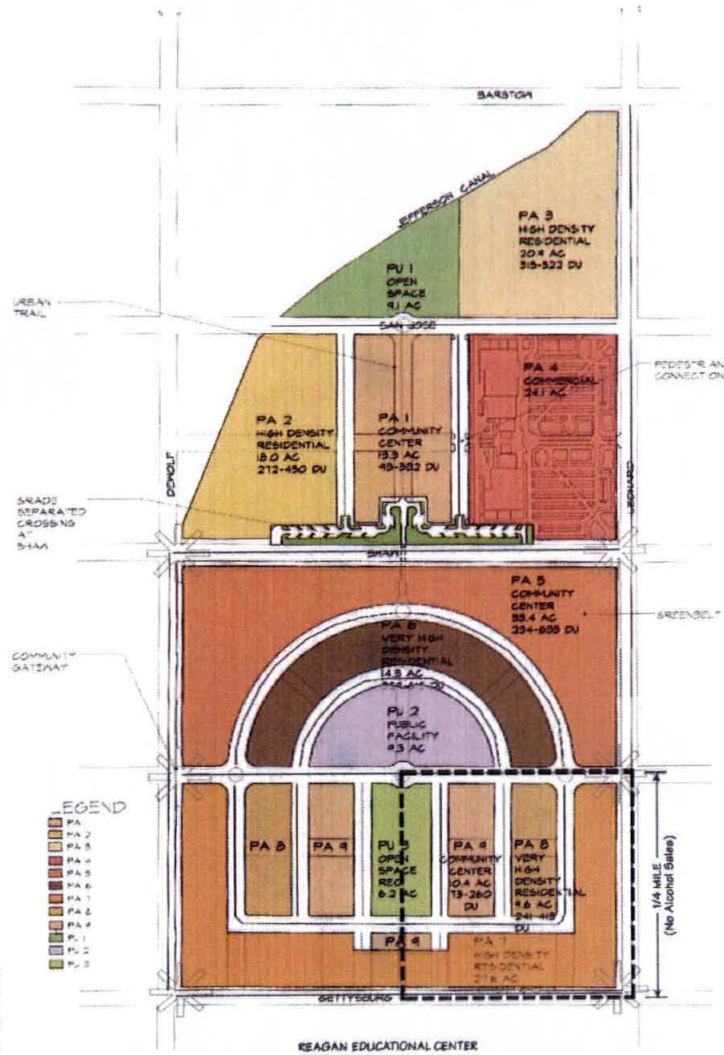
BROUSSARD  
ASSOCIATES  
landscape architects

0 50' 100'  
SCALE 1" = 50'

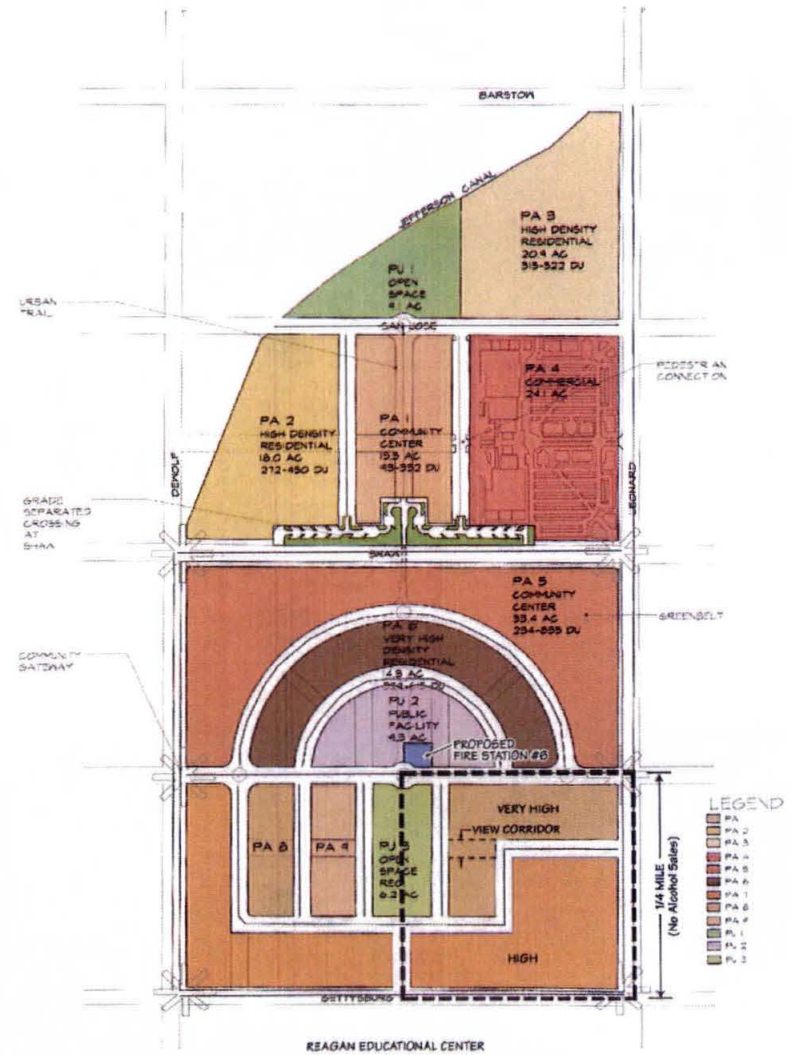


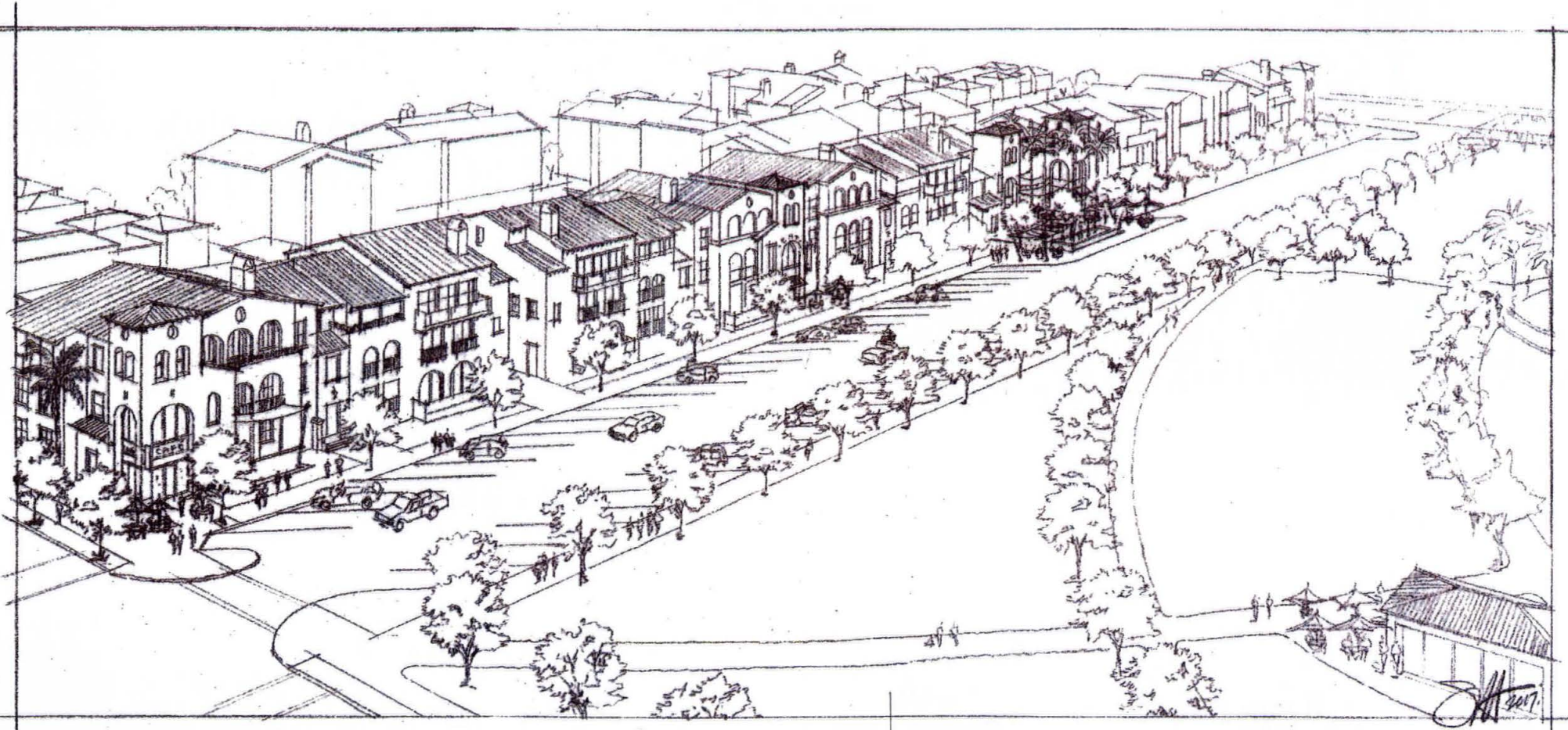


## EXISTING PLANNING AREAS



## PROPOSED PLANNING AREAS



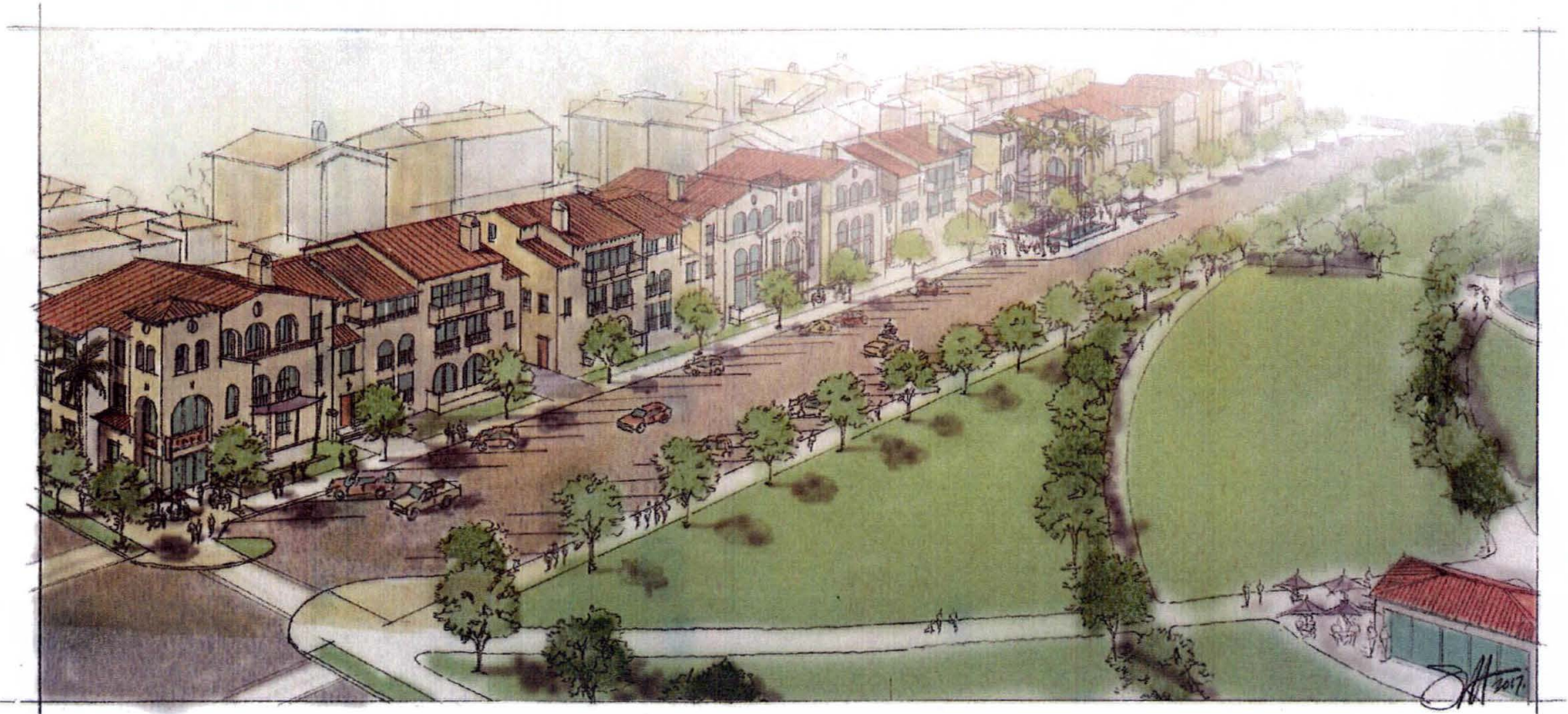


WILSON HOUSE APARTMENTS

2017.03.01

EXHIBIT M





**PROPOSED STREET VIEW FROM PARK**

EXHIBIT N





**PROPOSED STREET SCAPE**









EXHIBIT Q





PROPOSED ENTRY VIEW FROM SCHOOL

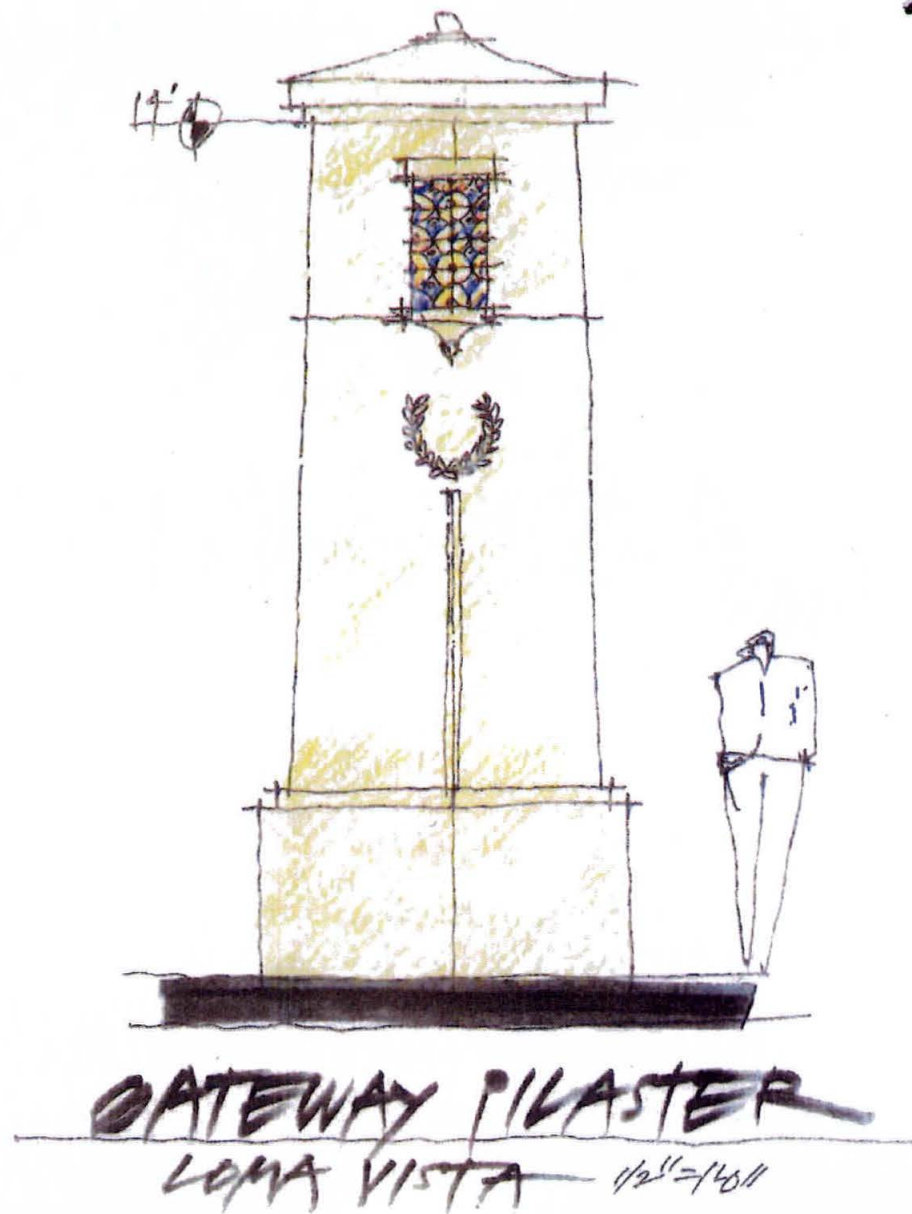
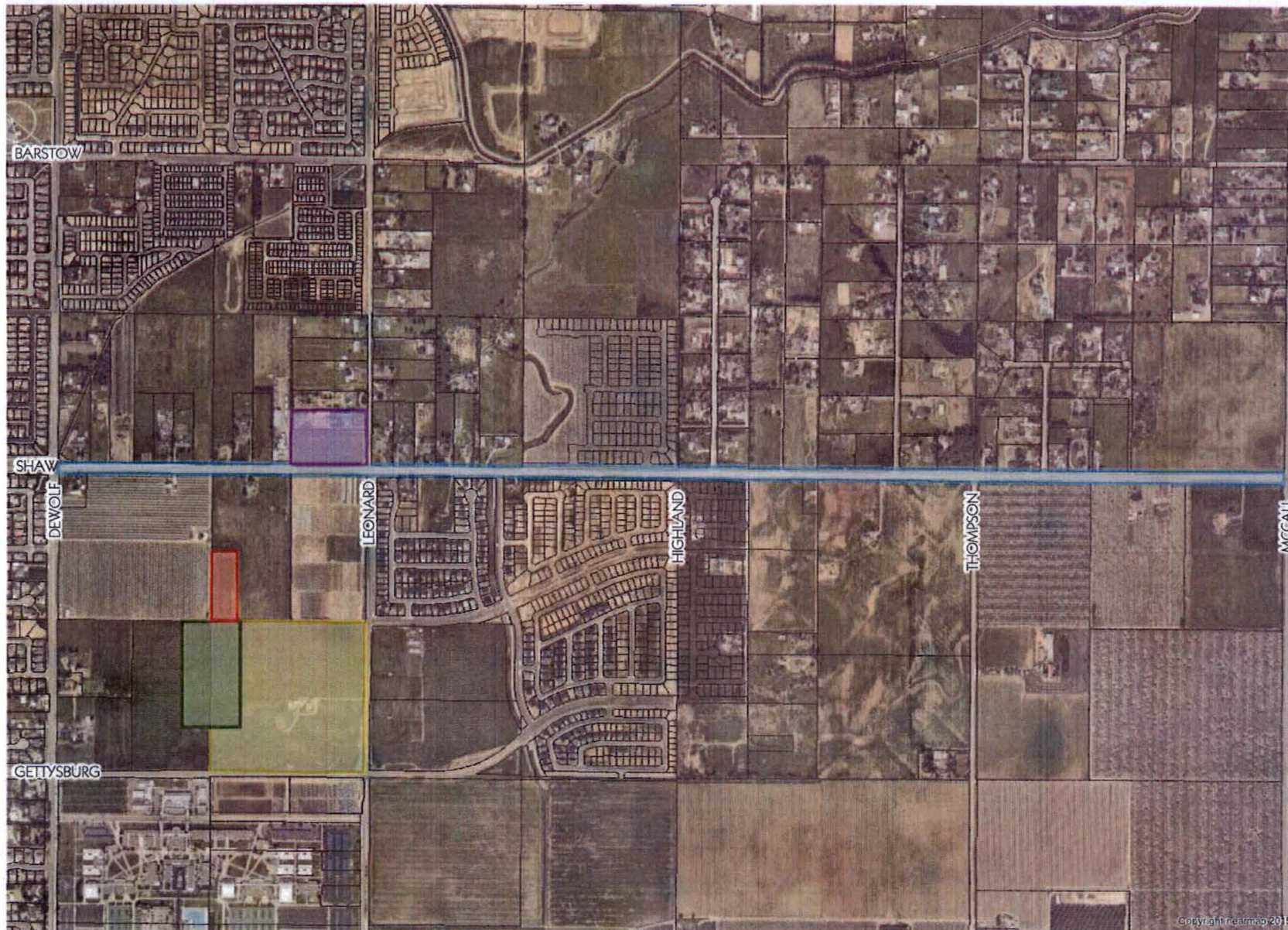






EXHIBIT T





## Community Center Projects

- Loma Vista Village Green
- R2008-07A2, CUP2017-11, SPR2017-14
- Fire Station #6
- Tract 6168 (Wilson Homes)
- Shaw Avenue Widening

1" = 800'



9/18/2017  
**EXHIBIT U**

Copyright ne tmap 2013





AGENDA ITEM NO: 1-B

City Manager: *AA*

# CITY of CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: October 16, 2017

SUBJECT: Consider Introduction, Ord. 17-\_\_\_\_, **R2017-13**, A request to approve a prezone of approximately 10.61 acres of land located near the southwest corner of Ashlan and Thompson Avenues from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential) Zone District. Roman Catholic Bishop of Fresno, owner; Divine Mercy Catholic Church, applicant; Harbour & Associates, representative.

### ATTACHMENTS:

Figure 1:	Location Map
Attachment 1:	Draft Ordinance
Attachment 2:	Planning Commission Minutes
Attachment 3:	Correspondence from Commenting Agencies

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

Planning Commission and staff recommend that the City Council approve Prezone R2017-13.

### EXECUTIVE SUMMARY

The applicant is requesting to prezone approximately 10.61 acres of property from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential) Zone District. The requested rezoning would bring the subject property into consistency with the General Plan Land Use Diagram and Loma Vista Specific Plan. The applicant has received approval from the County for the construction of a church on this site and will seek annexation to the City of Clovis with proposed Wilson Homes projects to the west.

## BACKGROUND

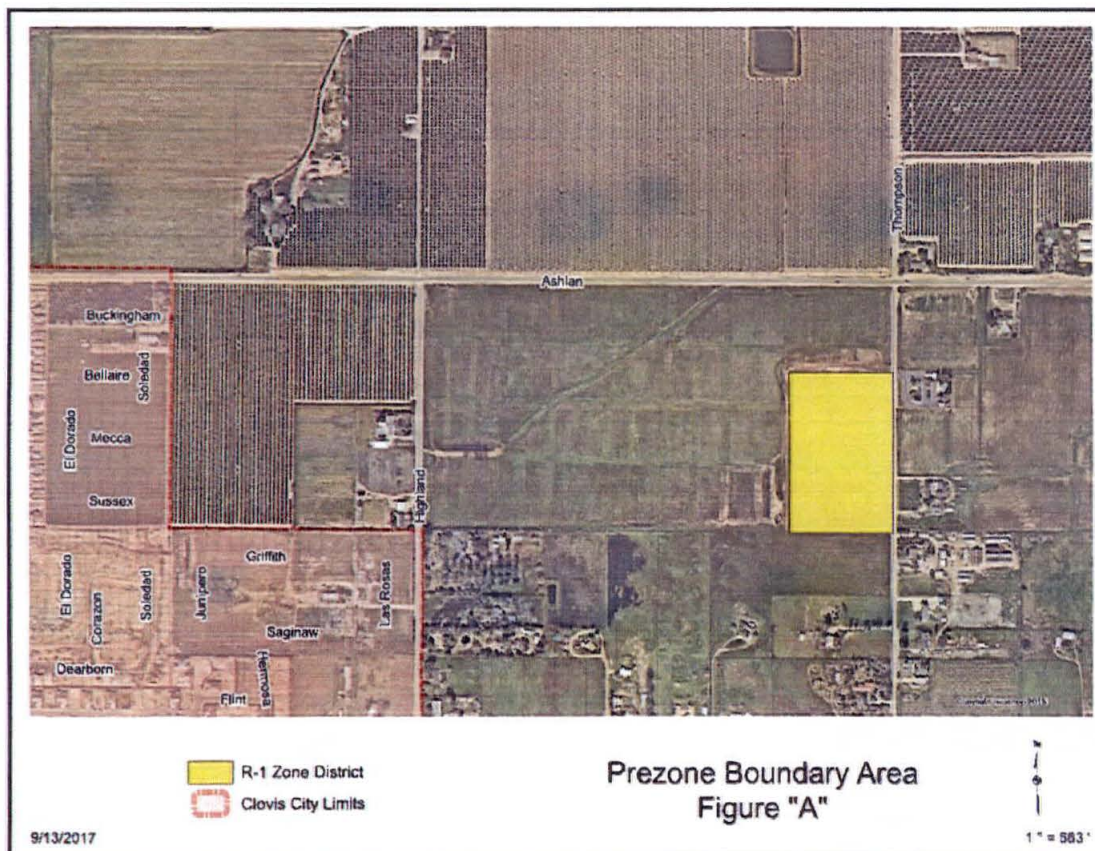
- General Plan Designation: Low Density Residential (2.1 to 4.0 units per acre)
- Specific Plan Designation: Low Density Residential (2.1 to 4.0 units per acre)
- Existing Zoning: County AE-20
- Lot Size: Total Area 10.61 acres
- Current Land Use: Vacant
- Adjacent Land Uses:
 

North:	Vacant
South:	Rural Residential
East:	Rural Residential/ Agricultural
West:	Vacant

## PROPOSAL AND ANALYSIS

### Prezone

The applicant is requesting to prezone approximately 10.61 acres from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential) Zone District (see Figure A Below). The project area's land use designation of Low Density Residential in the Loma Vista Specific Plan is consistent with the proposed prezone.



**FIGURE A – Prezone Boundary**



On February 16, 2017, the Fresno County Planning Commission approved Administrative Use Permit No. 4431 and Variance No. 4009 for the construction of a church and related facilities, including a daycare.

Approval of this prezone would bring the parcel into consistency with the General Plan upon annexation, and therefore, would be in compliance with State Planning and Zoning Law.

The lot is currently being graded and prepared for underground utilities under a permit from the County of Fresno.

#### Public Comments

A public notice was sent to area residents within 1,200 feet of the property boundaries. Staff has not received comments or concerns from the public upon finalization of this report.

#### Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, State Department of Fish and Wildlife, LAFCo, and the County of Fresno.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

#### Planning Commission Comments

The Planning Commission considered this Project on Thursday, September 28, 2017. The Commission approved Prezone R2017-13 with a vote of 4-0-1. There was no public comment during the public hearing.

#### Consistency with General Plan Goals and Policies

Staff has evaluated the Project in light of the General Plan Land Use goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of auto trips.

**Goal 3:** Orderly and sustainable outward growth into three Urban Centers with neighborhoods that provide a balanced mix of land uses and development types to support a community lifestyle and small town character.

**Policy 3.3 Completion of Loma Vista.** The City prioritizes the completion of Loma Vista while allowing growth to proceed elsewhere in the Clovis Planning Area in accordance with agreements with the County of Fresno and LAFCo policies.

**Goal 6:** A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

**Policy 6.2: Smart growth.** The city is committed to the following smart growth goals.

- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Mix land uses.
- Strengthen and direct development toward existing communities.
- Take advantage of compact building design.

#### California Environmental Quality Act (CEQA)

The applicant's project is in substantial conformance with the environmental analysis performed for the 2014 General Plan Update and the 2014 Development Code Update. No major revisions will be required with the adopted Environmental Impact Report to accommodate the proposed project, therefore, subject to California Government Code Section 65457, no further environmental review is required for this project.

The City published notice of this public hearing in *The Business Journal* on Wednesday, October 4, 2017.

#### **Annexation**

The prezone area is part of a larger annexation to the City of Clovis (see Figure B below). An application for Annexation has been submitted and identified as the Ashlan-Highland Southwest Reorganization (RO281). The project site is proposed to be annexed under the Reorganization RO281. The annexation boundary consists of five properties, one of which is related to the proposed church development and four others which are associated with approved Vesting Tentative Tract Map TM6023 and a development application recently submitted for Vesting Tentative Tract Map TM6193.



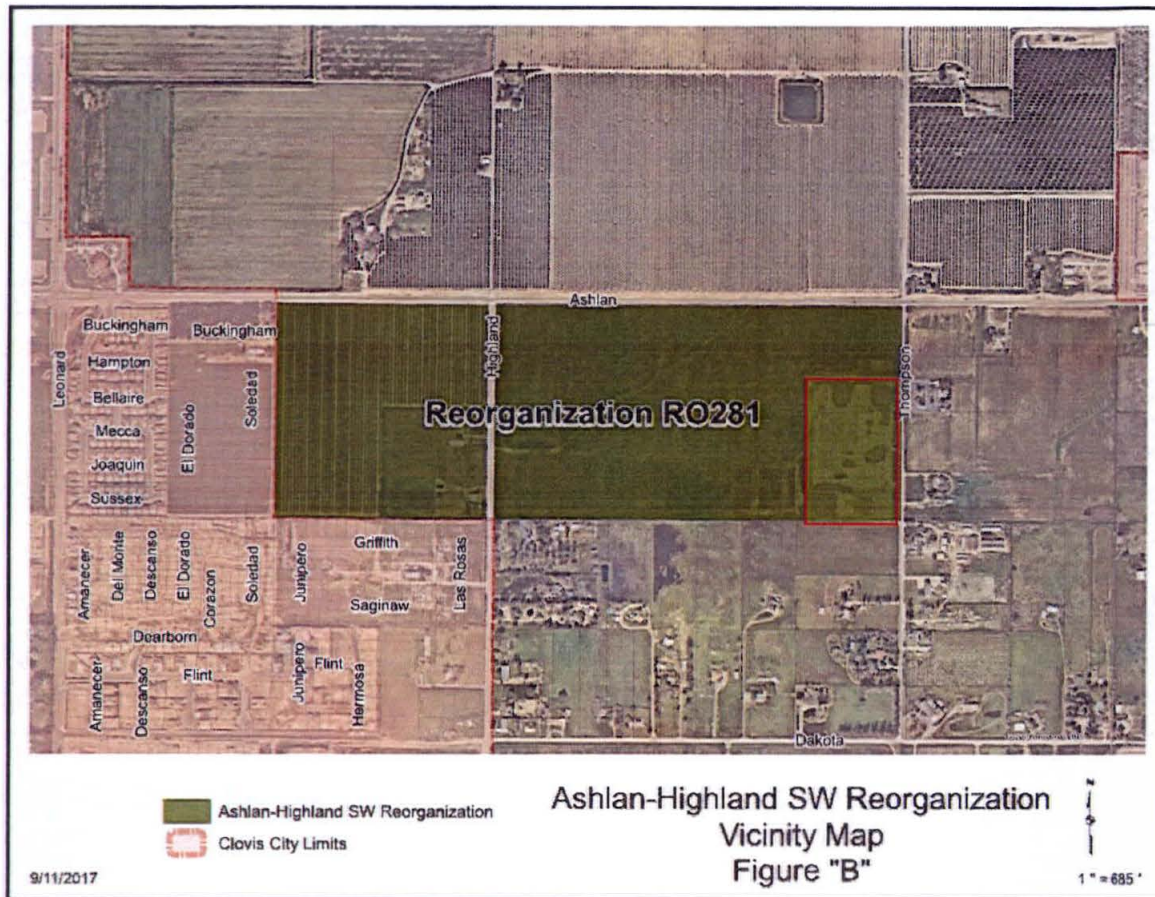


FIGURE B – Annexation Boundary

## FISCAL IMPACT

None.

## REASON FOR RECOMMENDATION

The proposed prezone is consistent with the General Plan Land Use Diagram and Loma Vista Specific Plan. Planning Commission and staff therefore recommend approval of Prezone R2017-13.

The findings to consider when making a decision on a prezone application include:

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, and compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

## ACTIONS FOLLOWING APPROVAL

The second reading of the Prezone Ordinance will be heard by the City Council at its next regular meeting, and if approved, will go into effect 30 days from its passage and adoption.

## NOTICE OF HEARING

Property Owners within 1,200 feet notified: 26  
Interested individuals notified: 10

Prepared by: George González, MPA, Associate Planner

Submitted by:  \_\_\_\_\_  
Dwight Kroll  
Director of Planning  
and Development Services



FIGURE 1  
PROJECT LOCATION MAP



**DRAFT ORDINANCE**

**ATTACHMENT 1**



**DRAFT  
ORDINANCE 17-\_\_**

**AN ORDINANCE AMENDING AND CHANGING THE OFFICIAL ZONE MAP OF THE CITY  
OF CLOVIS IN ACCORDANCE WITH SECTIONS 9.08.020 AND 9.86.010 OF THE CLOVIS  
MUNICIPAL CODE TO RECLASSIFY LAND LOCATED NEAR THE SOUTHWEST  
CORNER OF ASHLAN AND THOMPSON AVENUES AND CONFIRMING  
ENVIRONMENTAL FINDINGS**

**LEGAL DESCRIPTION:**

See the attached Exhibit "One."

**WHEREAS**, Divine Mercy Catholic Church, 2525 Alluvial Avenue, Suite 241, Clovis, CA 93611, has applied for a Prezone R2017-13; and

**WHEREAS**, this is a request to prezone approximately 10.61 acres from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential) Zone District for property located near the southwest corner Ashlan and Thompson Avenues, in the County of Fresno, California; and

**WHEREAS**, on February 16, 2017, the Fresno County Planning Commission approved Administrative Use Permit No. 4431 and Variance No. 4009 for the construction of a church and related facilities, including a daycare; and

**WHEREAS**, the Planning Commission held a noticed Public Hearing on September 28, 2017, to consider the Project Approval, at which time interested persons were given opportunity to comment on the Project; and

**WHEREAS**, the Planning Commission recommended that the Council approve Prezone R2017-13; and

**WHEREAS**, the Planning Commission's recommendations were forwarded to the City Council for consideration; and

**WHEREAS**, the City published Notice of a City Council Public Hearing for October 16, 2017, to consider Prezone R2017-13. A copy of the Notice was delivered to interested parties within 1,200 feet of the project boundaries and published in The Business Journal; and

**WHEREAS**, the City Council does find the project in substantial conformance with the environmental analysis performed for the 2014 General Plan Update and 2014 Development Code Update, pursuant to CEQA guidelines; and

**WHEREAS**, the City Council held a noticed public hearing on October 16, 2017, to consider the approval of Prezone R2017-13; and

**WHEREAS**, on October 16, 2017, the City Council considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings relating to Prezone R2017-13, which are maintained at the offices of the City of Clovis Planning and Development Services Department; and

**WHEREAS**, the City Council has evaluated and considered all comments, written and oral, received from persons who reviewed Prezone R2017-13, or otherwise commented on the Project; and

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CLOVIS DOES ORDAIN AS FOLLOWS:**

**SECTION 1: FINDINGS.** The Council finds as follows:

1. That the proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

**SECTION 2:** The Official Map of the City is amended in accordance with Sections 9.8.020 and 9.86.010 of the Clovis Municipal Code by reclassification of certain land in the County of Fresno, State of California, to wit:

From Classifications County AE-20 to Classifications Clovis R-1 (Single Family Residential)

The property so reclassified is located near the southwest corner of Ashlan and Thompson Avenues in the County of Fresno, California, and is more particularly described as shown in "Exhibit One."

**SECTION 3:** This Ordinance shall go into effect and be in full force from and after thirty (30) days after its final passage and adoption.

**SECTION 4:** The record of proceedings is contained in the Planning and Development Services Department, located at 1033 Fifth Street, Clovis, California 93612, and the custodian of record is the City Planner.

APPROVED: October 16, 2017

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

\* \* \* \* \*

The foregoing Ordinance was introduced at a regular meeting of the City Council held on October 16, 2017, and was adopted at a regular meeting of said Council held on \_\_\_\_\_, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

\_\_\_\_\_  
City Clerk



## **PLANNING COMMISSION MINUTES**

**ATTACHMENT 2**

CLOVIS PLANNING COMMISSION MINUTES  
September 28, 2017

- A. Consider Approval Res. 17-47, R2017-13, A request to approve a prezone of approximately 10.61 acres of land located near the southwest corner of Ashlan and Thompson Avenues from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential - 6,000 Sq. Ft.) Zone District. Roman Catholic Bishop of Fresno, owner; Divine Mercy Catholic Church, applicant; Harbour & Associates, representative.

City Planner Bryan Araki presented the staff report.

At this point the Chair opened the floor to the applicant.

At this point the Chair opened the floor to those in favor.

There were no comments in support.

At this point the Chair opened the floor to those in opposition.

There were no comments in opposition.

At this point the Chair closed the public portion.

At this point a motion was made by Commissioner Cunningham and seconded by Commissioner Terrence to approve R2017-13. The motion was approved by a vote of 4-0-1.



## **CORRESPONDENCE**

**ATTACHMENT 3**



# County of Fresno

## DEPARTMENT OF PUBLIC HEALTH

David Pomaville, Director  
Dr. Ken Bird, Health Officer

August 15, 2017

LU0019103  
2604

George Gonzalez, Associate Planner  
City of Clovis  
Planning and Development Services Department  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Gonzalez:

PROJECT NUMBER: **R2017-13**

**R2017-13, A request to approve a prezone of approximately 10.61 acres of land located near the southwest corner of Ashlan and Thompson Avenues from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential - 6,000 Sq. Ft.) Zone District.**

**APN: 309-021-25**

**ADDRESS: Near the SWC of Ashlan & Thompson Avenues**

Recommended Conditions of Approval:

- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

---

REVIEWED BY:

Kevin Tsuda, R.E.H.S.  
Environmental Health Specialist II

(559) 600-3271

---

***Promotion, preservation and protection of the community's health***

1221 Fulton Mall / P. O. Box 11867, Fresno, CA 93775

(559) 600-3271 • FAX (559) 600-7629

The County of Fresno is an Equal Opportunity Employer

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George Gonzalez  
August 15, 2017  
R2017-13  
Page 2 of 2

kt

cc: Glenn Allen- Environmental Health Division (CT. 59.12)  
Ed Graveline- Applicant ([edgraveline@yahoo.com](mailto:edgraveline@yahoo.com))  
Loren Smith- Representative ([lorrens@haurbour-engineering.com](mailto:lorrens@haurbour-engineering.com))

**DEPARTMENT OF TRANSPORTATION****DISTRICT 6**

1352 WEST OLIVE AVENUE

P.O. BOX 12616

FRESNO, CA 93778-2616

PHONE (559) 488-7307

FAX (559) 445-5875

TTY 711

www.dot.ca.gov

*Making Conservation a  
California way of life.*

August 23, 2017

FRE-180-68.052

R2017-13

Clovis Rezone

Mr. George Gonzalez  
Associate Planner  
City of Clovis  
1033 Fifth Street  
Clovis, California 93612

Dear Mr. Gonzalez:

Thank you for including the California Department of Transportation (Caltrans) in the review process for the project referenced above. The project proposes to rezone approximately 10.61 acres of land near the southwest corner of Ashlan Avenue and Thompson Avenue from AE-20 zone district to R-1 zone district. Caltrans provides the following comments:

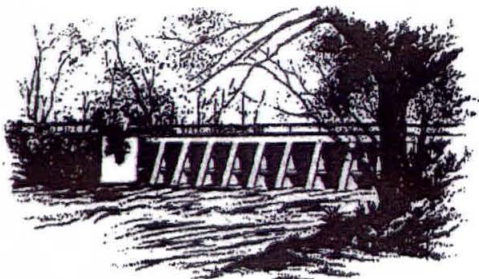
Caltrans has no objection to the proposed project as it is in keeping with the General Plan and the pedestrian-friendly Loma Vista Specific Plan. However, traffic often increases with higher density land use, and it is Caltrans' objective to work with local partners regarding land use planning and development to mitigate adverse impacts to the transportation system. The City of Clovis has expressed interest in taking proactive measures to manage operational challenges, therefore Caltrans encourages the City to develop a funding source for future developments (i.e. establish a Traffic Impact fee program, per house fee, etc.).

If you have any further questions, please contact me at (559) 488-7307.

Sincerely,

JAMAICA GENTRY  
Transportation Planner  
Planning North Branch





YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208

August 24, 2017

George Gonzalez  
City of Clovis  
Department of Planning and Development Services  
1033 Fifth Street  
Clovis, CA 93612

RE: Rezone R2017-13  
S/E Ashlan and Highland avenues

Dear Mr. Gonzalez:

The Fresno Irrigation District (FID) has reviewed Rezone 2017-13 requesting to approve a prezone of approximately 10.61 acres of land from the County AE-20 Zone District to the Clovis R-1 Zone District, APN: 309-021-25. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, FID's active Redbanks No. 388 Pipeline runs southwesterly and crosses Ashlan Avenue approximately 600 feet northwest of the subject property and Thompson Avenue approximately 1,300 feet north of the subject property, as shown on the attached FID exhibit map. Should any future project on this parcel include and street and/or utility improvements along Ashlan Avenue, Thompson Avenue, or in the vicinity of this pipeline, FID requires it review and approve all plans.
3. For informational purposes, FID's active Redbanks C No. 388 Pipeline runs southerly and crosses Ashlan Avenue approximately 1,400 feet northeast of the subject property, as shown on the attached FID exhibit map. Should any future project on this parcel include and street and/or utility improvements along Ashlan Avenue or in the vicinity of this pipeline, FID requires it review and approve all plans.

G:\Agencies\Clovis\Rezone\R2017-13.doc

**BOARD OF** President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.  
**DIRECTORS** CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

George Gonzalez  
RE: Rezone R2017-13  
August 24, 2017  
Page 2 of 2

4. For informational purposes, Fresno Metropolitan Flood Control District's Redbanks No. 388 runs southerly, crosses Ashlan Avenue approximately 470 feet north of the subject property and traverses both the east side and south side of the subject property, as shown on the attached FID exhibit map. FID recommends the applicant contact FMFCD for any further comments.

Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or [clundeen@fresnoirrigation.com](mailto:clundeen@fresnoirrigation.com).

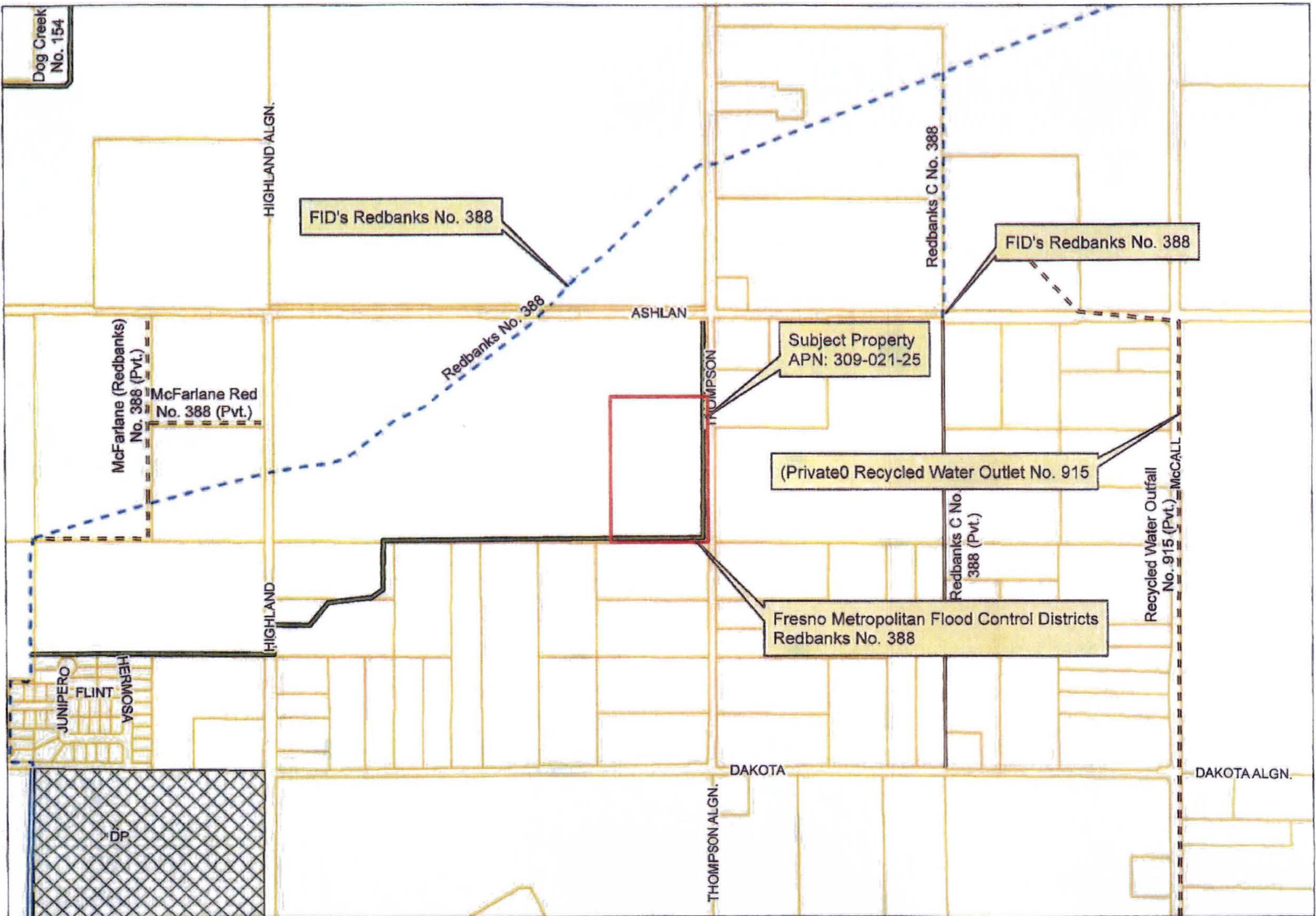
Sincerely,

A handwritten signature in blue ink, appearing to read 'Laurence Kimura', with a stylized flourish at the end.

Laurence Kimura, P.E.  
Chief Engineer

Attachment





This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

#### Legend

- |                 |                    |                   |                       |                       |
|-----------------|--------------------|-------------------|-----------------------|-----------------------|
| FID Canal       | FID Pipeline       | Stream Group      | FID Boundary          | Parcel                |
| Private Canal   | Private Pipeline   | Other-Creek/River | FMFCD Acquired Basins | FMFCD Proposed Basins |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline    | Railroad              |                       |
|                 |                    | Streets & Hwys    |                       |                       |





FRESNO METROPOLITAN FLOOD CONTROL DISTRICT

File 210.434

September 6, 2017

Mr. George Gonzalez  
City of Clovis  
Department of Planning & Development Services  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Gonzalez,

**Rezone Application No. R2017-13**  
**Drainage Area "DP"**

The District has reviewed the land use changes proposed through the subject rezone. The District's Master Plan drainage system is designed to serve medium density residential uses and the existing Master Plan storm drainage facilities does not have the capacity to accommodate the increased runoff generated by the proposed high density residential type land use.

The District requests that as a condition of the rezone, the developer be required to mitigate the impacts of the increased runoff from the proposed high density residential type land use to a rate that would be expected if developed to a medium density residential land use. The developer may either make improvements to the existing pipeline system to provide additional capacity or may use some type of permanent peak reducing facility in order to eliminate adverse impacts on the existing system. Implementation of the mitigation measures may be deferred until the time of development.

Should the developer choose to construct a permanent peak reducing facility, such a system would be required to reduce runoff from a ten-year storm produced by the high density residential type use development to a two-year medium density residential land use discharge. The developer will be required to submit improvement plans to the District for review and approval showing the proposed method of mitigation prior to implementation.

Please contact us if you need further information at (559) 456-3292.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Michael Maxwell".

Michael Maxwell  
Engineering Technician III

MM/lrl

k:\letters\rezone letters\clovis\2017\2017-013(dp)(mm).docx





# Fresno Local Agency Formation Commission

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August 24, 2017

George Gonzalez, MPA  
Associate Planner  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Gonzalez:

Subject: Comments Regarding Concurrent Applications RO281 and R2017-13 for Properties located near the Southwest corner of Ashlan and Thompson Avenues.

Thank you for the opportunity to comment on this project. From the material provided to this office, my understanding of the project description is as follows:

R2017-13, a request to approve a prezone of approximately 10.61 acres of land located near the Southwest corner of Ashlan and Thompson Avenues from the County AE-20 Zone District to the Clovis R-1 (Single Family Residential- 600 Sq., Ft.) Zone District;  
RO281 Proposed reorganization known as the Ashlan-Highland Southwest Reorganization to detach approximately 112.35 acres from the subject property from the Kings River Conservation District and the Fresno County Fire Protection District and annex to the City of Clovis.

The Fresno Local Agency Formation Commission (LAFCo) regulates, through approval or denial, the boundary changes proposed by local agencies or individuals. LAFCo's objectives are to:

- Encourage orderly formation and development of agencies;
- Encourage consistency with spheres of influence and recommended reorganization of agencies;
- Encourage orderly urban development and preservation of open space patterns;
- Encourage conservation of prime agricultural lands and open space areas; and
- Identify and address disadvantaged unincorporated communities.

LAFCo should be identified in the city's environmental document as a Responsible Agency under CEQA whose role is to consider changes of organizations and spheres of influence. Commission action on the annexation request should be noted in the environmental document. As a Responsible Agency, the Commission is required to review and consider the City's Initial Study and Mitigated Negative Declaration prior to taking its action. A Responsible Agency complies with CEQA by considering the environmental analysis prepared by the Lead Agency and by reaching its own conclusions on whether and how to approve the project. The Commission may then make a finding that it independently reviewed and considered the information in the environmental document and that the environmental document is sufficient to support a determination on the proposed reorganization.

Unless a territory is at full build-out, LAFCo law and Commission policy require that territory be prezoned before it may be annexed to a city so that LAFCo may find that the proposed project is consistent with a city's general plan. Given the multiple proposed zone districts, please be sure to identify what land is prezoned to the appropriate zone district in the annexation proposal area.

Be advised that extraneous conditions of pre zoning ordinance bills can impair the Commission's ability to approve projects. LAFCo staff is available to review and comment on the city's draft pre zoning ordinance to ensure that it meets Commission standards.

Fresno LAFCo recommends participation in the Pre-Application Review with LAFCo staff as early as feasible. The Pre-Application Review process is intended to provide the applicant with information related to LAFCo law and the Commission's adopted policies, Standards, and Procedures, and to provide a preliminary evaluation of the applicant's organization or reorganization proposal.



As we have discussed, staff and the Commission will evaluate this project in light of the Commission's adopted policies and procedures, which include minimizing "creation of peninsulas and corridors, or other distortion of boundaries." It is therefore important that Clovis' application provides sufficient context as to how this proposal contributes to "planned, well ordered, efficient development patterns and service areas, and does not encourage urban sprawl."

If one or more conditions contained in the prezone resolution for the subject property or properties prevents the prezone from being effective prior to LAFCo's consideration this process can become problematic. A condition of approval is a requirement to complete a specific action by a certain time imposed by a local agency's land use approval. The timing requirements are often tied to specific action within the land development process. Conditions such as performance measures, incorporation of mitigation measures, payment of fees, dedication of public right-of-way, and other action to be completed by the developer may not take place by the time the application is submitted to LAFCo. If any conditions in the prezone resolution are unsatisfied, the subject territory is not correctly prezoned and the application will be deemed incomplete. This situation can be avoided by not including extraneous conditions on the project's prezone resolution. If any conditions must be added to a proposal project, consider assigning them as conditions of approval

The proposal description should evaluate potential impacts to prime agricultural lands. It is understood that in order for the City to develop in a logical and orderly manner, annexation of agricultural lands is inevitable. The efficient use of this land is, therefore, of great importance to LAFCo. For example, LAFCo Policy Section 103 states, "The Commission encourages well-planned, orderly, and compact urban development patterns for all developing areas." Policy Section 104 further states, "Proposals which would conflict with the goals of maintaining the physical and economic integrity of open space lands, agricultural lands, as indicated in the City or County General Plan shall be discouraged."

With respect to how prime agricultural land is defined, the CEQA document should consider the definition of "Prime Agricultural Land" as listed within Government Code Section 56064 of the Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000. *This definition differs from the California Department of Conservation's definition of Prime Farmland and may be considered to be more inclusive.*

It is important to note that LAFCo standards for annexation state a proposal for annexation is acceptable if one of the following can be providing by the City:

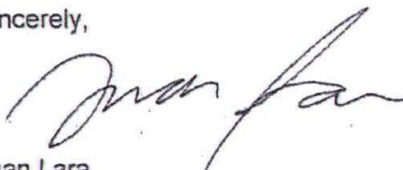
- There is existing substantial development provide the City confines its area requested to that area needed to include the substantial development and create logical boundaries.
- Development exists that requires urban services, which can be provided by the City
- If no development exists, at least 50% of the area proposed for annexation has:
  - a. Approved tentative subdivision map(s) (S.F. residential)
  - b. Approved site plan (for other uses)

Growth within the Clovis plan area will require the City to provide a number of different services to the area, including, fire, police, water, sewer, solid waste, parks, and other services.

I suggest that conditions of annexation be addresses by the City prior to application approval.

Thank you for the opportunity to provide comments. If you have any questions, please contact me at (559) 600-0604.

Sincerely,



Juan Lara  
LAFCo Analyst II





AGENDA ITEM NO: 1-C

City Manager: 

## CITY of CLOVIS

### REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: October 16, 2017

SUBJECT: Consider Introduction, Ord. 17-\_\_\_\_, R2017-09, A request to approve a rezone from the R-A (Single Family Residential - 24,000 Sq. Ft.) Zone District to the R-1-7500 (Single Family Residential – 7,500 Sq. Ft.) Zone District for approximately one acre of property located at 3072 De Wolf Avenue. Ekam Construction, Inc, owner/applicant; Dale G. Mell & Associates, representative.

#### ATTACHMENTS:

Figure 1:	Location Map
Exhibit "A.":	Conditions of Approval
Attachment 1:	Draft Ordinance

#### CONFLICT OF INTEREST

None

#### RECOMMENDATION

The Planning Commission and staff recommend the City Council approve R2017-09, subject to the conditions listed in Exhibit "A."

#### EXECUTIVE SUMMARY

The applicant is requesting to rezone approximately one acre of land located at 3072 De Wolf Avenue, from the R-A (Single-Family Residential – 24,000 sq. ft.) Zone District to the R-1-7500 (Single Family Residential – 7,500 Sq. Ft), Zone District. Approval of the request will bring the property into conformance with the General Plan and permit future development of single-family homes.

The City Council heard the applicant's proposal and after receiving concerns from the public, continued the rezone request to provide the applicant opportunity to address the adjacent property owner's concerns with future development proposals on the subject property.

## BACKGROUND

- General Plan Designation: Low Density Residential (2.1 to 4.0 DU/AC).
- Specific Plan Designation: Loma Vista Specific Plan
- Existing Zoning: R-A (Single-Family Residential – 24,000 sq. ft.)
- Lot Size: Total area is approximately 1.04 acres
- Current Land Use: Rural Residential
- Adjacent Land Uses: North: Rural Residential  
South: Rural Residential  
East: Educational Facility  
West: Low Density Residential
- Previous Entitlements: None

## PROPOSAL AND ANALYSIS

The applicant is requesting to rezone the property located at 3072 De Wolf Avenue from the R-A Zone District to the R-1-7500 District. The request would classify the site as a Low Density R-1-7500 Zone District for consistency with low density development (2.1 to 4.0 du/ac) in the area. The property encompasses an approximate one acre parcel that will be subdivided to accommodate future development. The property is bounded by rural and low density single family development on three sides and the Reagan Educational facility on the east.

At the onset, the applicant and staff did reach out to the property owner to the south for inclusion into this zoning request; however, staff did not receive any indication of interest from the adjacent property owner previous to the finalizing of the initial report.

### Consistency with the General Plan and Herndon-Shepherd Specific Plan

Any future development of this site requires that the zoning and General Plan are consistent. Approval of the rezone is a clean-up action which will bring the zoning into conformance with the General Plan.



### Associated Applications

The applicant has received Planning Commission approval of a variance for the future development of a 2-lot subdivision. The applicant is also seeking planning approval of an associated Parcel Map which is contingent upon zoning approval.

### Public Comments

A public notice was sent to area residents within 600 feet of the property boundaries. Staff did not receive any inquiries and/or correspondence prior to finalization of the staff report.

### Planning Commission Discussion

The Planning Commission considered this Project on August 24, 2017. The Commission accepted testimony from the public both in support and opposition of the Project. Two property owners adjacent to the project expressed concern specific to any future two-story construction on the proposed parcels. The Commission approved the Rezone request.

### City Council Discussion

The City Council considered this Project on September 11, 2017. During the public hearing an adjacent property owner to the south of the Project spoke in opposition stating that any development would deter from the rural setting of the immediate area. The homeowner's primary concerns stemmed from potential 2-story development, setbacks in close proximity to his property and development of property that could be detrimental to his way of life. As part of the homeowner's request, he felt that if development must occur, the project be limited to single-story homes.

The Council directed the applicant (who was not present), to conduct further outreach with area property owners prior to presenting this request to the Council for reconsideration.

### Applicant's Outreach

Mr. Dale Mell, the applicant's representative, has stated that subsequent to the Council hearing, he has been in communication with the affected property owners in seeking resolution to their concerns. Mr. Mell has responded that limiting future development to single-story homes is not a feasible resolution in that the City's Development Code permits by right, two-story construction. Additionally, Mr. Mell has indicated that under the prescribed zoning classification of Low Density, the applicant has the ability to develop up to four homes on the subject parcel(s). With the creation of two parcels, the applicant's Project falls at the low end of the density range (2.1 to 4.0 dwelling units per acre), per the General Plan.

### Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, and the State Department of Fish and Wildlife.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

### **Methodology**

Plan conformity is defined as the upholding of the General Plan Vision and goals. Conforming activities or actions should not result in the following:

- Direct or indirect conflict with the vision or goals;
- Result in new or more significant environmental impacts; or
- Conflict with other city program, improvements, or activities.

A General Plan Conformity Rule establishes conformity as a coordination process in which the economic, environmental, and social aspects of ongoing, cumulative land planning and development are considered. In other words General Plan conformity refers to the process of evaluating plans, programs, and projects to determine and demonstrate they meet the vision and subordinate goals of the General Plan and Specific Plan as these are implemented over the life of the plan.

### Analysis

The rezone would provide for a Single Family Development at a low density designation.

- Because the project would not amend the General and Specific plans' land use diagrams intensity, if approved there would be no conflict between the proposed use and the existing land use designation.
- The proposal is consistent with the goals and policies of the housing element and the General Plan. At a zoning level, the development standards of the General Plan address residential development.
- The R-1-7500 Zone District will provide for future development subject to conditions of approval. These will be developed by staff and subject to review through the Parcel Map process during the course of noticed public hearings.



- The developer will be required by conditions of approval to make the necessary public improvements required by the project. There are no other conflicts with other city programs, improvements, or activities.

Consistency with the General Plan and Policies

Staff has evaluated the Project in light of the General Plan Land Use goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of auto trips.

**Goal 6:** A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

**Policy 6.2 Smart growth.** The city is committed to the following smart growth goals.

- Create walkable neighborhoods
- Encourage community and stakeholder collaboration
- Foster distinctive, attractive communities with a strong sense of place
- Make development decisions predictable, fair, and cost-effective
- Mix land uses
- Preserve open space, farmland, natural beauty, and critical environmental areas
- Provide a variety of transportation choices
- Strengthen and direct development toward existing communities
- Take advantage of compact building design
- Enhance the economic vitality of the region
- Support actions that encourage environmental resource management

California Environmental Quality Act (CEQA)

This project is in substantial conformance with the environmental analysis performed for the 2014 General Plan. No major revisions will be required with the adopted Environmental Impact Report to accommodate the proposed project, therefore, subject to CEQA Sections 15162 and 15182 no further environmental review is required for this project.

The City published notice of this public hearing in The Business Journal on Wednesday, October 4, 2017.

**FISCAL IMPACT**

None

## REASONS FOR RECOMMENDATION

The Project is consistent with the goals and policies of the General Plan and Zoning and provides a diversity of housing within an in-fill property. Planning Commission and staff therefore still recommend that the City Council approve R2017-09, subject to the attached conditions of approval listed as Exhibit "A".

## ACTIONS FOLLOWING APPROVAL

The second reading of the rezone Ordinance will be heard by the City Council at its next regular meeting and if approved, will go into effect 30 days from its passage and adoption.

## NOTICE OF HEARING

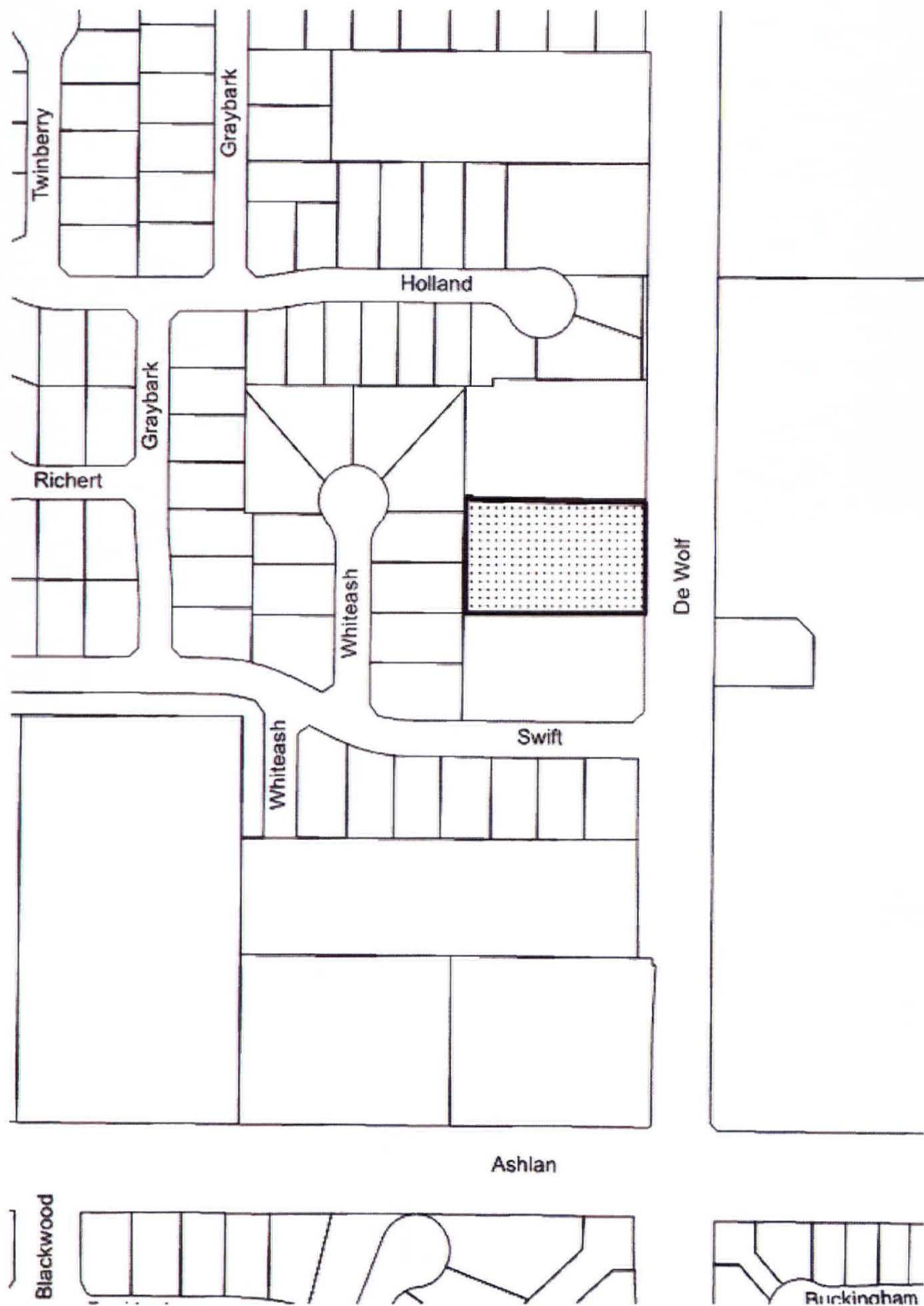
Property Owners within 600 feet notified:	53
Interested individuals notified:	10

Prepared by: Orlando Ramirez, Senior Planner

Submitted by:   
Dwight Kroll, AICP  
Director of Planning and  
Development Services



**FIGURE 1**  
**PROJECT LOCATION MAP**



**EXHIBIT "A"**  
**Conditions of Approval – R2017-09**

**Planning Division Conditions**  
**(Orlando Ramirez, Division Representative – (559) 324-2345)**

1. Development of this site shall be consistent with the General Plan, Low Density Designation (2.1 to 4.0 DU/AC).
2. Rezone R2017-09 approves an R-1-7500 Zoning permitting the development of Single Family Development. Density shall be consistent with the General Plan and not exceed 4.0 dwelling units per acre.
3. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Development Code.
4. Development of this parcel shall be a consistent with the R-1-7500 Zone District.
5. Prior to development, the applicant shall submit a building permit along with required documentation for demolition of any structures as warranted.



**DRAFT  
ORDINANCE 17-\_\_**

**AN ORDINANCE AMENDING AND CHANGING THE OFFICIAL ZONE MAP OF THE CITY  
OF CLOVIS IN ACCORDANCE WITH SECTIONS 9.08.020 AND 9.86.010 OF THE CLOVIS  
MUNICIPAL CODE TO RECLASSIFY LAND LOCATED AT 3072 DE WOLF AVENUE AND  
CONFIRMING ENVIRONMENTAL FINDINGS**

**LEGAL DESCRIPTION:**

See the attached Exhibit "One."

**WHEREAS**, EKAM Construction, Inc., 5879 N. Torrey Pines Avenue, Fresno, CA 93723, has applied for a Rezone R2017-09; and

**WHEREAS**, this is a request to rezone approximately one acre from the R-A (Single Family Residential – 24,000 Sq. Ft.) Zone District to the R-1-7500 (Single Family Residential – 7,500 Sq. Ft.) Zone District for property located 3072 De Wolf Avenue, in the City of Clovis, County of Fresno, California; and

**WHEREAS**, the Planning Commission held a noticed Public Hearing on August 24, 2017, to consider the Project Approval, at which time interested persons were given opportunity to comment on the Project; and

**WHEREAS**, the Planning Commission recommended that the Council approve Rezone R2017-09; and

**WHEREAS**, the Planning Commission's recommendations were forwarded to the City Council for consideration; and

**WHEREAS**, the City published Notice of a City Council Public Hearing for September 11, 2017, to consider Rezone R2017-09. A copy of the Notice was delivered to interested parties within 600 feet of the project boundaries and published in The Business Journal; and

**WHEREAS**, the City Council does find the project in substantial conformance with the environmental analysis performed for the 2014 General Plan Update and 2014 Development Code Update, pursuant to CEQA guidelines.

**WHEREAS**, the City Council held a noticed public hearing on September 11, 2017, to consider the approval of Rezone R2017-09; and

**WHEREAS**, on September 11, 2017, the City Council considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings relating to Rezone R2017-09, which are maintained at the offices of the City of Clovis Planning and Development Services Department; and

**WHEREAS**, the City Council has evaluated and considered all comments, written and oral, received from persons who reviewed Rezone R2017-09, or otherwise commented on the Project; and

**WHEREAS**, the City Council has continued Rezone R2017-09, to a noticed public hearing on October 16, 2017; and

**WHEREAS**, the City published Notice of a City Council Public Hearing for October 16, 2017, to reconsider Rezone R2017-09. A copy of the Notice was delivered to interested parties within 600 feet of the project boundaries and published in The Business Journal; and

**WHEREAS**, the City Council does find the project in substantial conformance with the environmental analysis performed for the 2014 General Plan Update and 2014 Development Code Update, pursuant to CEQA guidelines.

**WHEREAS**, the City Council held a noticed public hearing on October 16, 2017, to consider the approval of Rezone R2017-09; and

**WHEREAS**, on October 16, 2017, the City Council considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings relating to Rezone R2017-09, which are maintained at the offices of the City of Clovis Planning and Development Services Department; and

**WHEREAS**, the City Council has evaluated and considered all comments, written and oral, received from persons who reviewed Rezone R2017-09, or otherwise commented on the Project; and

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CLOVIS DOES ORDAIN AS FOLLOWS:**

SECTION 1: FINDINGS. The Council finds as follows:

1. That the proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

SECTION 2: The Official Map of the City is amended in accordance with Sections 9.8.020 and 9.86.010 of the Clovis Municipal Code by reclassification of certain land in the City of Clovis, County of Fresno, State of California, to wit:

From Classification R-A to Classification R-1-7500

The property so reclassified is located at 3072 De Wolf Avenue in the City of Clovis, County of Fresno, California, and is more particularly described as shown in "Exhibit One."

SECTION 3: This Ordinance shall go into effect and be in full force from and after thirty (30) days after its final passage and adoption.

SECTION 4: The record of proceedings is contained in the Planning and Development Services Department, located at 1033 Fifth Street, Clovis, California 93612, and the custodian of record is the City Planner.

APPROVED: October 16, 2017

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Mayor

---

City Clerk



\* \* \* \* \*

The foregoing Ordinance was introduced at a regular meeting of the City Council held on October 16, 2017, and was adopted at a regular meeting of said Council held on \_\_\_\_\_, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

---

City Clerk