



# AGENDA

## CLOVIS CITY COUNCIL

Council Chamber, 1033 Fifth Street, Clovis, CA 93612 (559-324-2060)  
[www.cityofclovis.com](http://www.cityofclovis.com)

*In compliance with the Americans with Disabilities Act, if you need special assistance to access the City Council Chamber to participate at this meeting, please contact the City Clerk or General Services Director at (559) 324-2060 (TTY – 711). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the Council Chamber.*

*Any writings or documents provided to a majority of the City Council regarding any item on this agenda will be made available for public inspection at City Hall, in the City Clerk's office, during normal business hours. In addition, such writings and documents may be posted on the City's website at [www.cityofclovis.com](http://www.cityofclovis.com).*

February 1, 2016

6:00 PM

Council Chamber

**The City Council welcomes participation at Council Meetings. Members of the public may address the Council on any item of interest to the public that is scheduled on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less.**

Meeting called to order by Mayor Magsig  
Flag salute led by Councilmember Flores

### ROLL CALL

### PRESENTATIONS/PROCLAMATIONS

- A. Update from Clovis Community College President Debbie Ikeda.

**PUBLIC COMMENTS** (This is an opportunity for the members of the public to address the City Council on any matter within the City Council's jurisdiction that is not listed on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less. Anyone wishing to be placed on the Agenda for a specific topic should contact the City Manager's office and submit correspondence at least 10 days before the desired date of appearance.)

**ORDINANCES AND RESOLUTIONS** (With respect to the approval of resolutions and ordinances, the reading of the title shall be deemed a motion to waive a reading of the complete resolution or ordinance and unless there is a request by a Councilmember that the resolution or ordinance be read in full, further reading of the resolution or ordinance shall be deemed waived by unanimous consent of the Council.)

**CONSENT CALENDAR** Consent Calendar items are considered routine in nature and voted upon as one item unless a request is made to give individual consideration to a specific item. (See Attached Consent Agenda.)

**1. PUBLIC HEARINGS**

- A. Consider items associated with approximately 4.41 acres of property located near the northwest corner of Peach and Stuart Avenues. Akins Family Trust, Mid Valley Services, Inc.; owners, Beal Development, LLC; applicant; Precision Civil Engineering, Inc., representative. (Continued from January 11, 2016) (Staff: B. Araki)
1. Consider Approval - Res. 16-\_\_\_\_, CUP2015-07, A request to approve a 27-lot single-family planned residential development with public streets, public sidewalks, reduced setbacks with a minimum lot size of 3,916 square feet and an average of 5,115 square feet.
  2. Consider Approval - Res. 16-\_\_\_\_, TM6125, A request to approve a 27-lot vesting tentative tract map.

**2. CITY MANAGER COMMENTS**

**3. COUNCIL ITEMS**

- A. Consider Approval – Change of Council Meeting Schedule. (Staff: R. Woolley)
- B. Council Comments

**ADJOURNMENT**

<b>Meetings and Key Issues</b>			
Feb. 8, 2016 (Mon.)	6:00 P.M.	Regular Meeting (To Be Cancelled)	Council Chamber
Feb. 16, 2016 (Tue.)	6:00 P.M.	Regular Meeting	Council Chamber
Mar. 7, 2016 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Mar. 14, 2016 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Mar. 21, 2016 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Apr. 4, 2016 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Apr. 11, 2016 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber
Apr. 18, 2016 (Mon.)	6:00 P.M.	Regular Meeting	Council Chamber

**CONSENT CALENDAR** - Items considered routine in nature are to be placed upon the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Councilmember requests individual consideration. A Councilmember's vote in favor of the Consent Calendar is considered and recorded as a separate affirmative vote in favor of each action listed. Motions in favor of adoption of the Consent Calendar are deemed to include a motion to waive the reading of any ordinance or resolution on the Consent Calendar. For adoption of ordinances, only those that have received a unanimous vote upon introduction are considered Consent items.

**A. CITY CLERK**

- 1) Approval - Minutes for the January 19, 2016 Council meeting.

**B. ADMINISTRATION**

- 1) Approval - Granting Permission for Councilmember Armstrong's absence from City Council Meetings.

**C. COMMUNITY AND ECONOMIC DEVELOPMENT**

- 1) Approval – Third Amendment to Disposition and Development Agreement between the City of Clovis and Innovative Development and Living Solutions of California.
- 2) Receive and File – Economic Development Corporation Serving Fresno County Quarterly Report, October – December 2015.

**D. FINANCE**

- 1) Receive and File - Status Report of the Development Fee Funds for 2015.
- 2) Receive and File - Status Report of Community Facilities District Revenues and Expenditures.

**E. GENERAL SERVICES**

- 1) Approval – Res. 16-\_\_\_\_, Authorizing Amendments to the Parks Manager Classification; Approval – Res. 16-\_\_\_\_, Authorizing Amendments to the Solid Waste Manager Classification; and, Approval – Res. 16-\_\_\_\_, Authorizing Amendments to the Street Maintenance Manager Classification.

**F. PLANNING AND DEVELOPMENT SERVICES**

- 1) Approval – Rejection of all bids for CIP 15-08 Winery Demolition.
- 2) Approval – Bid Award for CIP 14-22, Shaw Avenue Signal Interconnect – Willow to Temperance and, Authorize City Manager to Execute the Contract on Behalf of the City.
- 3) This item has been removed from the agenda.
- 4) Approval – Res. 16-\_\_\_\_, Annexation of Proposed Tract 5681, located at the northwest area of DeWolf and Ashlan Avenues, to the Landscape Maintenance District No. 1 Of The City Of Clovis (Sam Lucido).
- 5) Approval – Res. 16-\_\_\_\_, Final Map and Final Acceptance of Tract 5681, located at the northwest area of DeWolf and Ashlan Avenues (Sam Lucido).

**G. PUBLIC SAFETY**

- 1) Approval - Waive the City's Standard Purchasing Procedure for Purchase of 15 body worn video cameras from TASER International.

**H. PUBLIC UTILITIES**

- 1) Approval - Waive Formal Bidding Requirements and Authorize the Purchase of a Replacement Wheel Loader off the NJPA Contract from Quinn Company.

**I. REDEVELOPMENT SUCCESSOR AGENCY**

- 1) No items.

CLOVIS CITY COUNCIL MEETING

January 19, 2016

6:00 P.M.

Council Chamber

Meeting called to order by Mayor Magsig  
Flag Salute led by Councilmember Ashbeck

Roll Call: Present: Councilmembers Ashbeck, Flores, Whalen, Mayor Magsig  
Absent: Councilmember Armstrong

6:00 - PUBLIC COMMENTS

Resident, commented on Garbage Can Toters, and requested the Planning Commission and City Council consider the size of these Toters when approving new development with smaller side yards and asked if they were taken into consideration. Staff responded that this was an item that did need to be taken into consideration and will evaluate going forward.

6:07 - CONSENT CALENDAR

Motion by Councilmember Ashbeck, seconded by Councilmember Flores, that the items on the Consent Calendar, except C1, be approved. Motion carried 4-0-1 with Councilmember Armstrong absent.

- A1) Approved - Minutes for the January 11, 2016 Council meeting.
- D1) Received and Filed - Investment Report for the month of November 2015.
- D2) Received and Filed - Treasurer's Report for the month of November 2015.
- F1) Approved – **Res. 16-12**, Supporting and Implementing the “Timely Use of Funding” as Required by AB1012 for Candidate 2016 Federal Transportation Act: Map-21 Projects.
- F2) Approved – **Res. 16-13**, Final Map Tract 6034, located at the southwest corner of Shaw and Highland Avenues (Lennar Homes of California).
- F3) Approved – **Res. 16-14**, Annexation of Proposed Final Map Tract 6034, located at the southwest corner of Shaw and Highland Avenues to the Landscape Maintenance District No. 1 of the City of Clovis (Lennar Homes of California).
- H1) Received and Filed – Public Utilities Report for the month of October 2015.

6:08 - CONSENT CALENDAR ITEM (C1) - APPROVED - REQUEST FROM SOUL 2 SOUL SPORTS FOR USE OF TRAIL AND TEMPORARY CLOSURE OF VARIOUS STREETS AND INTERSECTION TO HOLD A HALF MARATHON ON SUNDAY, FEBRUARY 21, 2016. (CONTINUED FROM JANUARY 11, 2016)

Business Development Manager Shawn Miller provided an update indicating that the promoter had met all requirements for the event. There being no public comment, Mayor Magsig closed the public portion. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Flores, for the Council to approve a request from Soul 2 Soul Sports for use of trail and temporary closure of various streets and



intersection to hold a half marathon on Sunday, February 21, 2016. Motion carried 4-0-1 with Councilmember Armstrong absent.

- 6:11 ITEM 1A1 - ADOPTED - **ORD. 16-01**, R2015-12, REZONING APPROXIMATELY 4.41 ACRES OF PROPERTY LOCATED NEAR THE NORTHWEST CORNER OF PEACH AND STUART AVENUES FROM R-1 (SINGLE-FAMILY RESIDENTIAL) ZONE DISTRICT AND R-2 (LOW DENSITY MULTIPLE-FAMILY RESIDENTIAL) ZONE DISTRICTS TO R-1-PRD (SINGLE-FAMILY PLANNED RESIDENTIAL DEVELOPMENT) ZONE DISTRICT. (VOTE: 4-0-1 WITH COUNCILMEMBER ARMSTRONG ABSENT.)

Mayor Magsig indicated that this item was on the regular agenda because at introduction on January 11, 2016, it was approved with a less than unanimous vote. There being no public comment, Mayor Magsig closed the public portion. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Whalen, for the Council to adopt Ordinance 16-01, R2015-12, rezoning approximately 4.41 acres of property located near the northwest corner of Peach and Stuart Avenues from R-1 (Single-Family Residential) Zone District and R-2 (Low Density Multiple-Family Residential) Zone Districts to R-1-PRD (Single-Family Planned Residential Development) Zone District. Motion carried 4-0-1 with Councilmember Armstrong absent.

- 6:12 ITEM 1A2 - ADOPTED - **ORD. 16-02**, R2015-14, PREZONING APPROXIMATELY 50.25 ACRES OF PROPERTY FROM THE COUNTY AE-20 ZONE DISTRICT TO THE R-1 (SINGLE-FAMILY RESIDENTIAL) ZONE DISTRICT. (VOTE: 4-0-1 WITH COUNCILMEMBER ARMSTRONG ABSENT.)

Mayor Magsig indicated that this item was on the regular agenda because at introduction on January 11, 2016, it was approved with a less than unanimous vote. There being no public comment, Mayor Magsig closed the public portion. Discussion by the Council. Motion by Councilmember Ashbeck, seconded by Councilmember Flores, for the Council to adopt Ordinance 16-02, R2015-14, prezoning approximately 50.25 acres of property from the County AE-20 Zone District to the R-1 (Single-Family Residential) Zone District. Motion carried 4-0-1 with Councilmember Armstrong absent.

- 6:13 ITEM 2A1 - PROVIDE DIRECTION – COST-SHARING AND PARTICIPATION IN SAN JOAQUIN VALLEY WATER INFRASTRUCTURE AUTHORITY

Public Utilities Director Luke Serpa presented a report requesting direction from Council regarding the proposed Cost-sharing and participation in San Joaquin Valley Water Infrastructure Authority. There is the potential for a city from Fresno County to be selected as a member of the San Joaquin Valley Water Infrastructure Authority. At an upcoming meeting the Fresno Council of Governments will be considering a recommendation for sharing the costs associated with city membership of the JPA should a city from Fresno County be selected as a member. Staff is recommending that Council support the COG's recommendation that the cities share this cost in proportion to their population. There being no public comment, Mayor Magsig closed the public portion. Discussion by the Council. Motion by Councilmember Whalen, seconded by Councilmember Flores, for the Council to authorize participation in the cost-sharing and participation in San Joaquin Valley Water Infrastructure Authority in an amount up to

\$6,506.24 and to invite Gary Serrato and Mario Santoyo to update Council. Motion carried 4-0-1 with Councilmember Armstrong absent.

**6:28 - ADJOURN TO THE JOINT MEETING WITH THE CLOVIS PLANNING COMMISSION**

Commission Roll Call: Present: Commissioners Hinkle, Hatcher, Chair Mouanoutoua  
Absent: Commissioners Kallsen and Pawlowski

**6:28 ITEM 1 - COMMUNITY WORKSHOP SUMMARY AND A CENTRAL CLOVIS SPECIFIC PLAN UPDATE PROGRESS REPORT**

Planning and Development Services Director Dwight Kroll provided an update on the Central Clovis Specific Plan. Over the course of six meetings since the last progress report on April 13, 2015, the Project Area Committee (PAC) identified and considered action items for each of the five draft goals to become the basis of the Specific Plan. Additionally, City staff conducted two community outreach workshops in November and December of 2015 to obtain feedback from participants on the implementation of the plan. The plan update is now entering the final phase of preparing the draft document. Staff provided a general presentation on the history of Old Town, creation of the Clovis Community Development Agency, development of the 1983 Central Clovis Specific Plan, 2014 Clovis General Plan Update, community values and guiding principles, and draft goals and action items. The Planning Commission and City Council considered the presentation materials and provided comment and direction. Various members of the Committee commented on the Plan. Discussion by the Commission and Council. It was the consensus of Council and Commission to provide feedback to staff and the Committee on the various design concepts being proposed in the plan update.

**ADJOURNMENT**

Mayor Magsig adjourned the meeting of the Council to February 1, 2016

Meeting adjourned: 8:26 p.m.

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Mayor

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City Clerk



AGENDA ITEM NO: CC-B-1

City Manager: W

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Administration

DATE: February 1, 2016

SUBJECT: Approval - Granting Permission for Councilmember Armstrong's absence from City Council Meetings

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

That the City Council authorize leave of absence for Councilmember Armstrong for the meetings for a period up to 90 days pursuant to Section 36513 of the California Government Code.

### **EXECUTIVE SUMMARY**

Councilmember Armstrong was unable to attend the January 11 and January 19 meetings, and in the event he is unable to attend the meetings in the near term, it would be appropriate to authorize his leave of absence for a period of up to 90 days. His last meeting attended was December 14, 2015; a 90 day leave of absence would excuse him through March 13, 2016. Councilmember Armstrong desires to return as soon as his health will allow him but the up to 90 day leave of absence will allow him appropriate time for recovery.

### **BACKGROUND**

California Government Code 36513 states that a councilmember cannot be absent without permission from all regular city council meetings for a period of 60 days. Due to Councilmember Armstrong's current health condition, he was unable to attend the January 11 and January 19 meetings. He may not be able to attend meetings in the near term.

**FISCAL IMPACT**

None.

**REASON FOR RECOMMENDATION**

It would be appropriate to grant Councilmember Armstrong an authorized leave of absence for 90 days from City Council meeting dates, thus eliminating any concern over the Code section that deals with unauthorized absences.

**ACTIONS FOLLOWING APPROVAL**

Action by the City Council will be included in the Council minutes and notification will be provided to Councilmember Armstrong.

Submitted by:



John Holt, Asst. City Manager



AGENDA ITEM NO: **CC-C-1**

City Manager: *AA*

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

**TO:** Mayor and City Council

**FROM:** Community and Economic Development

**DATE:** February 1, 2016

**SUBJECT:** Approval – Third Amendment to Disposition and Development Agreement Between the City of Clovis and Innovative Development and Living Solutions of California.

**ATTACHMENTS:** (A) Letter Requesting Amendment  
(B) Third Amendment to the Disposition and Development Agreement

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

Authorize the City Manager to execute Amendment 3 to the Disposition and Development Agreement with Innovative Development and Living Solutions of California for affordable senior supportive housing on property located at the southwest corner of Sierra Avenue and Highway 168.

### **EXECUTIVE SUMMARY**

The Clovis Community Development Agency purchased the property at the southwest corner of Sierra Avenue and Highway 168 in 2008 with Redevelopment Bond Housing Set-Aside funds. Innovative Development and Living Solutions of California approached the City with interest to build affordable assisted senior housing on the site consisting of 48 units of housing, 24 will be required to maintain affordable rents. The developer has obtained land use approvals and construction financing. Due to the fact that securing the financing took much longer than anticipated, the developer is now requesting a 90-day extension to the timeline. This extension of time will allow the developer until March 31, 2016 to complete the loan underwriting process and submit

executed loan documents. City staff has confirmed the loan committee approval with the lender.

## **BACKGROUND**

The Clovis Community Development Agency purchased the property at the southwest corner of Sierra Avenue and Highway 168 in 2008 with Redevelopment Bod Housing Set-Aside funds. Innovative Development and Living Solutions of California approached the City with interest to build affordable senior supportive housing on the site in the winter of 2014 and the City, as the Redevelopment Housing Successor Agency, entered into an exclusive right to negotiate an agreement. Amendment 1 was formalized by City Council on April 6, 2015, to extend the timeline until September 30, 2015. Amendment 2 was formalized by City Council on October 5, 2015, to extend the timeline to December 31, 2015. In that time, the Developer has obtained the required General Plan Amendment and has obtained approval for a full financing package which has been reviewed by City staff.

## **FISCAL IMPACT**


None.


## **REASON FOR RECOMMENDATION**

This amendment will provide the additional time needed to complete loan underwriting, execute loan documents, and begin construction of 48 units of assisted senior housing units, 24 of which would be designated as affordable for a term of 55 years. These units would provide much needed affordable assisted senior housing in the community.

## **ACTIONS FOLLOWING APPROVAL**

1. Execute Amendment 3 with Innovative Development and Living Solutions of California.
2. Obtain executed loan documents from Developer.
3. Property will be sold to Innovative Development and Living Solutions of California.
4. Agreement will be monitored to ensure compliance.

Prepared by: Heidi Crabtree, Housing Program Coordinator 

Submitted by: Andrew Haussler, Deputy City Manager 



INNOVATIVE DEVELOPMENT  
AND LIVING SOLUTIONS  
OF CALIFORNIA

2525 Alluvial Suite 201  
Clovis, CA 93611

559-266-6222 ☎  
559-314-6015 ✉  
IDLSCA.org 🌐

January 14, 2016

Andy Haussler, Deputy City Manager  
Heidi Crabtree, Housing Program Coordinator  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

**RE: Disposition and Development Agreement, City Owned Parcel 492-020-51T**

Dear Mr. Haussler and Ms. Crabtree:

We are submitting this correspondence to request an extension to the permanent financing due date in the Disposition and Development Agreement (DDA) between the City of Clovis and Innovative Development and Living Solutions of California for the proposed affordable senior assisted living project at Sierra Avenue and Highway 168.

As you are aware, we have secured loan committee approval from Capital Impact Partners for a \$6 million loan for the project. This amount constitutes full financing for the project but is subject to additional underwriting. The Northern California Community Loan Fund has also recently approved \$90,000 in additional predevelopment funding for the project. Both of these recent commitments represent very significant and positive progress. The DDA requires preapproval of permanent financing or permanent financing. We have satisfied the preapproval of permanent financing requirement and appreciate your patience in allowing us to fulfill the permanent financing requirement by the proposed new timeline.

At this time, we are requesting an extension to the DDA timeline to secure permanent financing to March 31, 2016 in order to prudently continue with the project. We are very confident we can deliver the project as promised. Please do not hesitate to contact us should you need any additional information. Thank you in advance for your time and consideration.

Sincerely,

Michael Sigala, President  
Innovative Development and Living Solutions of California

**THIRD AMENDMENT TO DISPOSITION AND DEVELOPMENT AGREEMENT****CITY OF CLOVIS****and****INNOVATIVE DEVELOPMENT AND LIVING SOLUTIONS OF CALIFORNIA**

THIS THIRD AMENDMENT to Disposition and Development Agreement for the Sierra /HWY 168 Senior Supportive Housing Project ("Third Amendment") is made and entered into effective February \_\_, 2016, between the City of Clovis acting as the Housing Successor to the former Clovis Community Development Agency ("City") and Innovative Development and Living Solutions of California, a California nonprofit corporation ("Developer") with respect to the following recitals:

**RECITALS**

WHEREAS, on August 4, 2014, the City and Developer entered into a Disposition and Development Agreement ("Agreement"), which is on file with the City and Developer and incorporated herein by this reference, whereby the City agreed to sell Property to Developer for the development of a senior supportive affordable housing project; and

WHEREAS, Developer has requested a third extension to the timeline indicated in Exhibit 5 of the Disposition and Development Agreement in order to allow this much needed affordable housing project to be constructed.

NOW, THEREFORE, in consideration of the above recitals and their mutual promises, the City and Developer agree as follows:

1. Amendment to Exhibit 5 Schedule of Performance. Exhibit 5, Section 3, is amended from a period of 90 days after the second amendment to the agreement to a date certain of March 31, 2016.
2. All Other Terms Remain in Effect. Except as otherwise expressly provided herein, all terms and conditions of the Agreement shall remain in full force and effect, and shall be interpreted so as to give full force and effect to this Third Amendment.

IN WITNESS WHEREOF, City and Developer have signed this Agreement as set forth below.

CITY OF CLOVIS, acting as the Housing  
Successor to the former Clovis Community  
Development Agency

Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Robert Woolley, City Manager  
"CITY"



INNOVATIVE DEVELOPMENT AND LIVING  
SOLUTIONS OF CALIFORNIA, a California nonprofit  
corporation

Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Michael Sigala, President  
"DEVELOPER"

ATTEST:

By: \_\_\_\_\_  
John Holt, City Clerk

Dated: \_\_\_\_\_

APPROVED AS TO FORM:

By: \_\_\_\_\_  
David J. Wolfe  
City Attorney



AGENDA ITEM NO: **CC-C-2**

City Manager: rw

## **- CITY OF CLOVIS – REPORT TO THE CITY COUNCIL**

**TO:** Mayor and City Council

**FROM:** Community and Economic Development

**DATE:** February 1, 2016

**SUBJECT:** Receive and File – Economic Development Corporation Serving Fresno County Quarterly Report, October – December 2015

**ATTACHMENT:** (A) EDC Second Quarter Report, October – December 2015  
(B) EDC Work Plan

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

That the City of Clovis receive and file the Quarterly Report, October – December 2015 (second quarter 2015-16 contract), from the Economic Development Corporation Serving Fresno County.

### **EXECUTIVE SUMMARY**

The Economic Development Corporation serving Fresno County (EDC) has submitted their second quarter report of activities for the City Council to receive and file, as required per the 2015-16 Agreement with the City.

### **BACKGROUND**

According to the Agreement for Fiscal Year 2015-16 between EDC and the City of Clovis, EDC is to submit a report to the City Manager detailing the progress of their activities to provide information to industrial/commercial representatives not currently located in Clovis for recruiting purposes, and continue to assist existing Clovis businesses with informational and/or technical assistance.

Highlights of the EDC quarterly reports include:

- Eleven qualified business attraction leads were received.
- EDC assisted hosting Broker meetings with City Staff.
- Provided an updated industrial inventory.
- The EDC staff met with 19 Clovis businesses and provided referrals for business services including Energy Watch and the New Employment Opportunity program.
- The EDC researched successful industrial parks elsewhere in the Valley.
- The EDC provided listings of available properties in Clovis.

### **FISCAL IMPACT**


The City will forward the third quarter installment payment to EDC upon approval of receive and file. The funds were budgeted in the 2015-16 fiscal year budget.

### **REASON FOR RECOMMENDATION**

The attached report meets the requirement established in the 2015-16 Agreement between the EDC and the City of Clovis.

### **ACTIONS FOLLOWING APPROVAL**

Staff will file the report.

Prepared by: Andy Haussler, Deputy City Manager 



# INVOICE

P.O. Box 1552  
Fresno, CA 93716-1552  
(559) 476-2500

Date: 12/31/2015  
Inv. No.: 7145  
Account No.: 517

**Remit To:**

City of Clovis  
ATTN:Mr. Andrew Haussler  
1033 5th Street  
Clovis, CA 93612

Fresno County EDC  
P.O. Box 1552  
Fresno, CA 93716

Membership Level	Contact	Terms
DIAMOND	Mr. Andrew Haussler	1 Year
Description		Total
City of Clovis Q2 October - December 2015		\$13,750.00

<b>Total:</b>	\$13,750.00
<b>Paid/Credited:</b>	\$0.00
<b>Balance Due:</b>	\$13,750.00



# Fresno County Economic Development Corporation

## *Economic Development Report*

### *City of Clovis*



FISCAL YEAR 2015-2016

QUARTER 2

OCTOBER 1, 2015 – DECEMBER 31, 2015

Esther Cuevas, Vice President Business Development

Jose Mora, Client Services Manager

Andrea Reyes, Contracts Manager

Katrina Ballard, Economic Development Coordinator

Mark Mimms, Economic Development Coordinator

Katrina Ballard, Economic Development Coordinator

Shawna Glazener, Economic Development Specialist

Lavell Tyler, Economic Development Specialist

Sergio Hernandez, Economic Development Analyst

Margo Lerwill, Economic Development Analyst

# Fresno County Economic Development Corporation

City of Clovis

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## Second Quarter Activity

*This report summarizes the agreement requirements between the City of Clovis and the Fresno County Economic Development Corporation (EDC).*

### Fresno EDC's Mission

To market Fresno County as the premiere location for business prosperity.

### EDC Services

The Economic Development Corporation serving Fresno County is a nonprofit organization established to market Fresno County as the premier location for business prosperity. We strive to not only facilitate site selection for new businesses within Fresno County, and we assist in the retention and expansion of businesses through our alliance with collaborative partners and resources.

The EDC agrees to the following services:

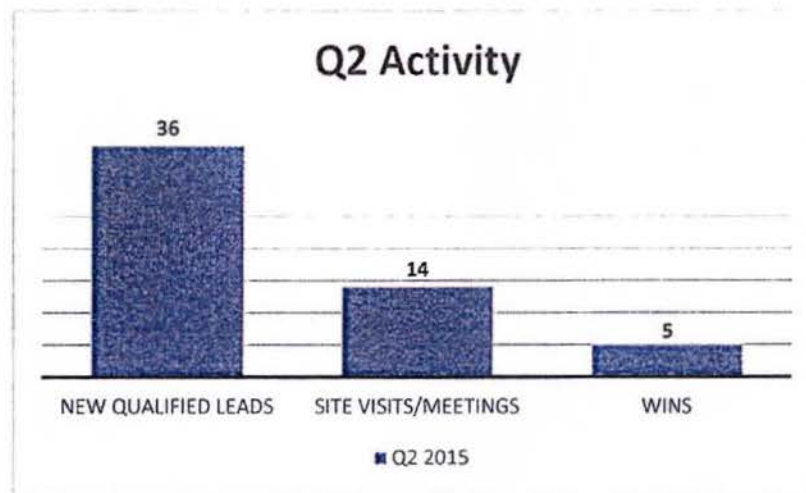
1. Provide information to the industrial and office representatives not located in the Clovis for recruiting new businesses and industries.
2. Assist in the development of marketing materials to attract new investments, commercial and industrial brokers, developers, and site selectors. Assist in utilizing online marketing to advance economic and community development efforts.
3. Assist existing businesses and industries that contact the EDC with informational and technical assistance needs through BEAR Action Network.
4. EDC will work towards fostering a closer working relationship with local business associations to enhance EDC services to Clovis area employers.
5. Continue leadership role in promotion of High Speed Rail and promote the Clovis area.





6. EDC will inform of legislation important to the Economic and Community Development of the region and act on their behalf.
7. The EDC shall assist in identifying economic development projects on Clovis's behalf for the inclusion in the County of Fresno's Comprehensive Economic Development Strategy (CEDS) for possible grant funding.
8. Provide administrative staffing at all Executive Committee, Board and related events.

### Business Expansion and Attraction Leads



Per agreement the EDC has agreed to provide a minimum of 40 new business leads. The EDC has provided 15 business leads in Quarter 2 activity for a total of 26 business leads for the fiscal year. See below for listing:

Client Number	Industry	Site Requirements	Jobs	Source	Cities
151001A1	Retail	-	-	Direct	Orange Cove
151002A1	Call Center	50,000	500	Direct	Clovis, Fresno
151005E1	Agriculture	10,000	10	Referral	Firebaugh
151006A1	Manufacturing	4,000 SF	-	Direct	Fowler, Fresno, Kingsburg, Selma, Unincorporated
151007E1	Food Manufacturing	-	-	GO-Biz	Fresno
151013A1	Manufacturing	-	5	Direct	Clovis, Fresno
151014A1	Retail	-	-	Direct	Fresno
151021A1	Wholesalers	7,000 SF	3	Direct	Unincorporated
CCVEDC 1537	Food Processing	-	-	CCVEDC	Fresno
CCVEDC 1538	Food Processing	-	-	CCVEDC	TBD
151027E1	Hospitality	2 AC	20	Direct	Fresno

151027A1	Retail	-	-	Referral	Fresno
151028A1	Wholesale	-	-	Referral	Clovis, Fresno
151102A1	Food Manufacturing	-	-	Referral	All
151104A1	Entertainment	50,000 SF	-	Direct	Clovis, Fresno
151105A1	Manufacturing	-	-	Referral	All
CBIS15056GG	Manufacturing	100,000 SF	100	GO-Biz	Fresno, San Joaquin, Unincorporated
CCVEDC 1540	Construction	Industrial Parks	-	CCVEDC	Clovis, Fresno, Kingsburg, Selma, Unincorporated
151106A1	-	-	-	Direct	All
151110A1	Construction	-	-	Direct	Clovis, Fresno
151116A1	Construction	20,000 SF	20	Direct	Firebaugh, Mendota, San Joaquin, Unincorporated
151116A2	Distribution	1 million SF	600	Direct	All
151116A3	Energy	-	-	Direct	All
151118A1	Distribution	80,000 SF	-	Direct	Selma
151124A1	Wholesale	-	-	Direct	Mendota, Sanger, Unincorporated
CCVEDC 1542	Distribution	-	-	CCVEDC	Fowler, Fresno, Unincorporated
151201A1	Educational Svs	4,000 SF	10	Referral	Fresno
151208E1	Manufacturing	50,000 SF	22	Direct	Fresno, Unincorporated
CBIS15060GG	Manufacturing	100,000 SF	175	GO-Biz	Fresno, Sanger, Unincorporated
CCVEDC 1545	Food Manufacturing	-	-	CCVEDC	Fresno
CCVEDC 1547	Utilities	-	-	CCVEDC	TBD
151215E1	Other Services	5,000 SF	-	Direct	Clovis, Fresno
CCVEDC 1548	Manufacturing	10,000 SF	10	CCVEDC	All
CCVEDC 1544	Manufacturing	2,000 SF	5	CCVEDC	Clovis, Fresno, Reedley
151222E1	Manufacturing	1,000 SF	-	Direct	Clovis, Fresno
151229A1	Other Services	-	-	Referral	TBD

#### Wins

Client	Company	Site	Jobs	Industry	Win Date
150929A1	BlueLine Rental	2670 S. East Ave. Fresno, CA	15	Rental & Leasing Services	10/19/2015
151021A1	Yardney Water Filtration Systems	4027 E. Therese Ave. Fresno, CA	3	Wholesalers	10/21/2015
150724E1	MBS Accountancy Corp.	2300 Tulare St. Fresno, CA	13	Professional Technical Svs	11/18/2015
150612A1	Baker Distributing	2904 S. Angus Ave. Fresno, CA	10	Wholesalers	11/23/2015
140702A1	Alfa Laval, Inc.	3145 S. Norpointe Dr. Fresno, CA	28	Manufacturing	12/9/2015



## Marketing

The EDC promoted the city of Clovis at all the following events:

### Broker Events/Missions:

- 10/21/15: Los Angeles & Ontario Mission
- 11/18/15: Newport Beach and Orange: 250 contacts
- 11/19/15: SIOR Southern California, Networking Dinner: 50 contacts
- 12/2/15: SIOR Southern California Broker Event: 50 contacts
- 12/3/15: Bay Area Broker Mission: 490 contacts
- 12/3/15: SIOR San Francisco Holiday Luncheon: 133 contacts

## Clovis Business Retention and Expansion Outreach

Team conducted outreach throughout communities marketing BEAR Action Network services, such as:

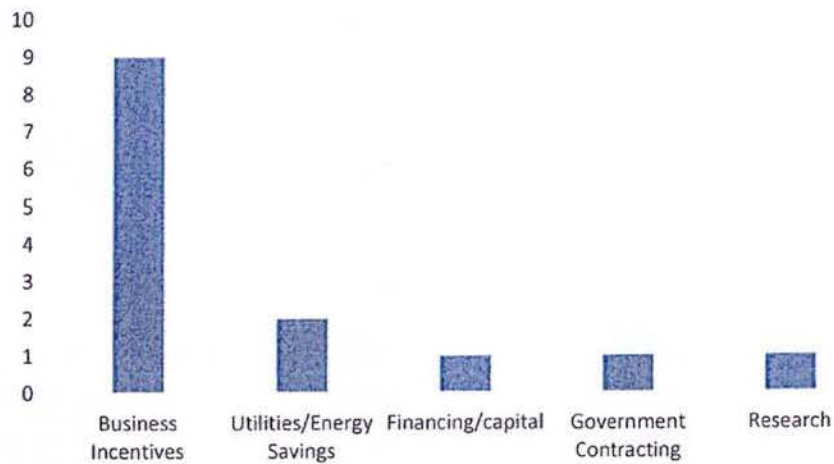
- Operational Analysis to evaluate the health of the business. This tool provides us with a deeper understanding of the appropriate referrals or resources needed for business retention or expansion.
- Free employee recruitment services available from Fresno County Department of Social Services and corresponding labor subsidies potentially available from such a labor pool
- Fresno Energy Watch services/information
- Federal/Local Tax Incentives
- Financing assistance

Per agreement the EDC has agreed to provide a minimum of 600 Clovis business contacts and a minimum of 100 business referrals. The EDC has provided 707 business contacts and 14 referrals in Quarter 2 activity. See below for listing:

Areas of interest generated as a result of direct outreach, workshops, 1x1 meetings, and marketing efforts. Top categories are indicated below.

	Q2 2015	FY Total	Deliverable
Businesses Contacted	707	726	600
Referrals	14	70	100

### Referrals By Service Type



#### City of Clovis

Appl, Labs  
 Artworkz  
 Asha Embroidery  
 Best Party Rentals  
 Breco Firearms Inc.  
 CALBEC Group  
 Clovis Manufacturing Company  
 Clovis Polycon  
 Clovis Veterans Memorial District  
 Darrell Kong Bean Sprout  
 District 3 Salon  
 Eckhaus Fleet  
 Gilbert K. Moran, M.D. F.A.C.O.G. INC.  
 Graphic Packaging Intl.  
 Hatcher's Upholstery & Interiors  
 House of Pendragon  
 I Heart Solar  
 Intelligent Farm Machines  
 J I.T Outsource  
 Mark's Chevron  
 Moderne Plastic  
 Niacc-Avitech Technologies, Inc.  
 Old Hotel Bistro  
 Overhead Technology  
 Pathology Associates  
 Precision Plastics, Inc.  
 QuickBuy Insurance Services

R & R So-Cal  
 Sequoia Upholstery  
 Sims Power Technology  
 Snowflake Designs  
 Symmetry Elevating Solutions  
 Tent City Canvas House  
 Valley Chrome Plating  
 Westech Systems

### High Speed Rail

Throughout the lifetime of the High Speed Rail project, the HSR Support team has kept a running list of relocation-ready property and land located throughout Fresno County. The HSR Support team is working with members of the BEAR team to identify areas throughout the county that are available for relocation. The HSR Support team also partners with the BEAR team to provide further assistance to relocated businesses.

- EDC maintains a customer relationship management platform called Executive Pulse (EP). EP allows extensive reporting on meetings, relocation efforts, outreach, and contact information. We are overhauling our data management to help drive the implementation of an inter-departmental referral process with the Business Expansion, Attraction and Retention Department, allowing the EDC to maintain contact and further assist our clients in the future.
- Using our referral process, this quarter alone we were able to connect the BEAR team with five businesses that have been affected by the high speed rail project.

### Partnership with Department of Social Services

The EDC has been contracted to assist the Department of Social Services in marketing the New Employment Opportunity (NEO) program and with the identification of employers to hire their public assistance recipients.

New Employment Opportunities (NEO)	Q2 2015
Participating Businesses	10
Positions Posted	101
Positions filled by Businesses	37

\*Contract Start Date October 1, 2015



### Customized Training

**West Hills College, Coalinga:** Class A Truck Driving Class. Partnership between Fresno County EDC, Department of Social Services, West Hills College, and Lawson Rock and Oil to facilitate the training of Class A truck drivers.

<b>Licensed Class A Drivers</b>	<b>32</b>
Business Needs Filled YTD	25

**BitWise Industries, Fresno:** Training the Next Generation of Technologists, through the GeekWise Academy program. Class focused on Computer/Website coding training and the future partnership with Fresno County EDC and Department of Social Services. Valuable data was gathered from the 1<sup>st</sup> cohort and adjustments were made for the 2<sup>nd</sup> cohort to meet the business needs of entry level coders. The class was extended from a 4 hour/day to an 8 hour, day of instruction. The second cohort graduated on Friday, December 18<sup>th</sup>.

**1st Cohort: 7 Graduates**  
**2<sup>nd</sup> Cohort: 10 Graduates**

### Comprehensive Economic Development Strategy (CEDS)

The CEDS update was adopted by the County of Fresno on October 13, 2015, contingent upon two brief changes to language. These revisions have been submitted to and accepted by the County Board of Supervisors, and the EDC has been authorized to submit the CEDS to the EDA.

- Reviewed proposals from consultants regarding complete 2016 update of the County of Fresno Comprehensive Economic Development Strategy (CEDS) to include re-evaluation of goals and vision as well as project lists from municipalities; selected best-fit consultant.

### EDC and City Activities

- The EDC contacted business directly and through Clovis Chamber about Fresno Energy Watch incentives workshop held at Clovis Veterans Memorial District on 12/9/15;
- Held Standing meetings with Community and Economic Development department;
- Coordinated 1-on1 meetings with Brokers for the City of Clovis;
- Provided monthly list of available retail, commercial, and industrial properties;
- The EDC coordinated EDA meeting for the City of Clovis;
- Staff attended and commented on the need for industrial parks at the County of Fresno Board of Supervisors Joint meeting with the cities of Clovis, Fowler, Fresno, and Sanger.

### Other Activities

- Attended GO-Biz "Grow California Business" Summit at Clovis Veteran's Memorial District;
- Participated in the following monthly meetings: Veteran's Employment Committee, Business Education meeting, and Fresno4Biz;



- Attended the West Hills "2015 Policy Series, Essential Elements: Shifting Ground" meeting held at Harris Ranch;
- Attended at 10<sup>th</sup> Annual Central Valley Venture Forum; and
- Presented at SBDC small business financing workshop: 10/10/15



Overview of Work Product	Deliverables	FY 2015 – 2016 Target Outcomes	Status as of Q2 2015-2016
<p>Economic Development Corporation Serving Fresno County</p> <p>Contract-60,000</p> <p>Staff:</p> <p>CEO-Lee Ann Eager</p> <p>Vice President of Business Development-Esther Cuevas</p> <p>Client Services Manager-Jose Mora</p>	<p><b>Business Contacts:</b> Targeted businesses will be contacted by a variety of methods: Direct mail, phone, e-mail, etc., with the aim of arranging one-on-one meetings with the principal of the businesses that are referred to the EDC BEAR Action Network for in-person consultation and issue resolution.</p> <ul style="list-style-type: none"> <li>Business and Community Survey to gather information from business and to determine business attitudes toward the City.</li> <li>Connect businesses to local, state, and federal incentives.</li> </ul> <p><b>New Business Recruitment:</b> Provide information and tours to industrial and commercial representatives not currently located in Clovis for the purpose of recruiting new businesses and industries to the City of Clovis. Assist the City of Clovis in marketing identified industrial parks or industrial areas to new clients.</p> <ul style="list-style-type: none"> <li>Create and update marketing materials.</li> <li>Coordinate commercial and industrials broker events for the city of Clovis.</li> </ul>	<p>600 Clovis businesses contacted</p> <p>40 Clovis businesses surveyed</p> <p>A minimum of 100 business referrals</p> <p>A minimum of 40 new business leads will be provided</p> <p>Economic Profile Demographic Information</p> <p>2 Broker events</p>	<p><b>707</b> have been contact by EDC</p> <p>List of targeted businesses to be survey will be generated in part at the completion of the EDC's Reverse Attraction study in Q2.</p> <p><b>70</b> referrals have been provided.</p> <p><b>11</b> leads have been generated</p> <p>Economic profile updated with new contact information and new City Council positions.</p> <p>Five (5) broker coffee session completed. Date of official broker events TBD.</p>



## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Finance Department

DATE: February 1, 2016

SUBJECT: Receive and File - Status Report of the Development Fee Funds for 2015

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

That the Council receive and file the report on the status of the development fee funds.

### **EXECUTIVE SUMMARY**

State law (Government Code Section 66006) requires that local agencies shall make available to the public certain information relative to development impact fees.

### **BACKGROUND**

Per law, the City is providing account information relative to development impact fees. This information includes the following:

1. A description of the fee.
2. The amount of the fee.
3. The beginning and ending balance of the fee account.
4. The amount of the fee collected and interest earned.
5. Identification of the public improvements for which the fee was expended, the amount of the expenditure and the percentage funded by the fee.
6. The date by which construction will begin if sufficient funds are available.
7. A description of each fund transfer or loan from the account.
8. The amount of refunds made of unexpended funds once all projects for which the fee was imposed are complete.



The City of Clovis has established the following development fees that are collected at various stages of the development process:

1. Sewer Major Facilities Fee
2. Sewer Oversize Acreage Fee
3. Sewer Front Footage Fee
4. Water Major Facilities Fee
5. Water Oversize Acreage Fee
6. Water Front Footage Fee
7. Community Sanitation Fee
8. Park Acquisition and Development Fee
9. Major Street Fees
  - Outside Travel Lane Fee
  - Center Travel Lane Fee
  - Traffic Signal Fee
  - Bridge Fee
  - Existing Facility Relocation Fee
  - Quad Intersection Fee
  - Underground Overhead Utilities Fee
  - Street Fee Administration Charge
10. Fire Department Fee
11. Police Department Fee
12. Landfill Liner Fee
13. Library Facilities Fee

The following is the required information provided for each of the above fees for fiscal year 2014-15:

1. Sewer Major Facilities Fee and Northwest Sewer Surcharge: The Sewer Major Facilities Fee is for the construction of major trunk mains and the capital improvement costs required for upgrading of the Regional Sewer Treatment Plant and debt service payments related to the bond issues to construct the improvements. The fee for 2014-15 was \$9,002 per EDU (equivalent dwelling unit). The Northwest Area Sewer Surcharge Fee went into effect May 16, 2001, to pay for the cost to serve the area bounded by Sunnyside, Shepherd, Alluvial and Willow. The fee has served its purpose as the land within the service area is nearly completely developed and was discontinued in 2012-13. Most of these funds are committed to repayment of Sewer Bonds. This fund ended the year with a negative fund balance due to interest payable shortly after year end. A transfer was made from the Sewer Enterprise fund prior to the payment of the debt service.



Beginning Balance 2014-15	(\$1,702,777)
Plus: Fee Revenue	6,646,787
Interest	(6,219)
Loan from Users for Bonds	1,500,000
Transfers in: Cash with Agent	(118)
Other Revenues	9,012
Less: Expenditures	7,239,636
Transfers out: Debt Service	373,000
Transfers out: Projects	<u>270,000</u>
Ending Balance 2014-15	(\$1,435,951)

2. **Sewer Oversize Fee:** The Sewer Oversize Fee is for sewer mains greater than 8" in diameter, and/or mains 8" in diameter or greater that are installed deeper than 8', to provide adequate capacity for future development. The fee for 2014-15 was \$859.00 per gross acre. The fee is used to reimburse developers who have installed the lines. Disbursement is made based on the developer's claim.

Beginning Balance 2014-15	\$20,876
Plus: Fee Revenue	36,010
Less: Expenditures	<u>48,254</u>
Ending Balance 2014-15	\$8,632

3. **Sewer Front Footage Fee:** The Sewer Front Footage Fee is for the reimbursement of sewer mains previously installed. The fee for 2014-15 was \$19.80 per linear foot. The fee is used to reimburse developers who have installed the lines. Disbursement is made based on the developer's claim.

Beginning Balance 2014-15	\$844,312
Plus: Fee Revenue	95,822
Less: Expenditures	<u>20,555</u>
Ending Balance 2014-15	\$919,579

4. **Water Major Facilities Fee:** The Water Major Facilities Fee is for the construction of water wells, well site acquisitions, well head treatment, auxiliary power systems, reservoirs, and debt service payments related to bond issues to construct the improvements. The fee for 2014-15 was \$3,730 per unit. The transfer in from the Water Enterprise represents the Enterprise customers' share of debt service on the surface water treatment plant.

Beginning Balance 2014-15	\$161,788
Plus: Fee Revenue	3,761,831
Interest	2,670
Transfers In – Debt Service	581,000
Loan From Users – (Water Banking)	500,000
Less: Expenditures	<u>4,170,956</u>
Ending Balance 2014-15	\$836,333

5. **Water Oversize Fee:** The Water Oversize Fee is to provide reimbursement for the oversize cost increment of water mains 12" in diameter or greater than must be installed to insure adequate pressure and volume throughout the system. The fee for 2014-15 was \$1,234.00 per gross acre. The fee is used to reimburse developers who have installed the lines. Disbursement is made based on the developer's claim.

Beginning Balance 2014-15	\$24,169
Plus: Revenue	130,238
Less: Expenditures	<u>69,042</u>
Ending Balance 2014-15	\$85,365

6. **Water Front Footage Fee:** The Water Front Footage Fee is for reimbursement of water mains previously installed. The fee for 2014-15 was \$24.80 per linear foot. The fee is used to reimburse developers who have installed the lines. Disbursement is made based on the developer's claim.

Beginning Balance 2014-15	\$1,058,697
Plus: Revenue	100,455
Less: Expenditures	<u>23,861</u>
Ending Balance 2014-15	\$1,135,291

7. **Community Sanitation Fee:** The Community Sanitation Fee is for the purchase of toters, commercial bins, disposal trucks, and street sweeping equipment. The fee for 2014-15 was \$374 per EDU for single family and \$212 per EDU for multi-family, commercial, and churches. The fee is transferred to the Refuse Enterprise as purchases are made.

Beginning Balance 2014-15	\$1,441,860
Plus: Revenue	221,715
Interest	3,943
Less: Expenditures	2,331
Transfers Out	161,000
Ending Balance 2014-15	\$1,504,187

8. **Park Acquisition and Development Fee:** The Park Acquisition and Development Fee is for the purchase of parkland and the construction of improvements for regional and community parks. The fee for 2014-15 was \$3,230.00 per EDU for residential and \$1.81 per sq. ft. for commercial.

Beginning Balance 2014-15	\$3,177,458
Plus: Revenue - Fees	1,042,253
Interest	4,872
Other-Grants	1,247,798
Less: Expenditures	2,909,993
Ending Balance 2014-15	\$2,562,388

9. **Major Street Fees:** The Street fees include fees for center travel lane improvements, outside travel lane improvements, construction of bridges, construction of traffic signals, under-grounding of utilities, quad intersections, and administration. The fees are specific to certain areas within the City based on the infrastructure requirements and development characteristics of the areas.

**Outside Travel Lane Fee:** The fee is to reimburse developers for Outside Travel Lane improvements that were constructed with their project in excess of the development's proportionate share.

**Center Travel Lane Fee:** The fee is to reimburse developers for Center Travel Lane improvements that were constructed with their project, in excess of the development's proportionate share.

**Traffic Signal Fee:** The fee is for the reimbursement for the cost to install traffic signals either by the City or developers in excess of the development's proportionate share.

**Bridge Fee:** The fee is for the reimbursement for the cost to construct bridges and culverts either by the City or developers in excess of the development's proportionate share.

**Existing Facilities Relocation Fee:** The fee is to reimburse developers for existing facilities that are required to be relocated as part of their development.

**Quad Intersection Fee:** The fee is for the reimbursement for the cost to construct quad intersection improvements either by the City or developers in excess of the development's proportionate share.

**Undergrounding Overhead Utilities:** The fee provides a funding source for the City to underground existing overhead utilities or to reimburse developers for the undergrounding of existing overhead utilities in excess of the development's proportionate share. Under-grounding of existing overhead utilities includes the undergrounding along arterial and collector streets.

Beginning Balance 2014-15	\$2,830,578
Plus: Revenue	2,451,455
Less: Expenditures	<u>2,206,012</u>
Ending Balance 2014-15	\$3,076,021

**Street Fee Administration Charge:** The fee is no longer being charged as of 12-31-2003. Future administrative charges for the administrative work performed by the City staff to collect, track, and reimburse the street fees program will come from interest earnings. Interest earnings will also cover applicable interest charges on developer's reimbursement requests. Interest earned on the balance of street fee deposits will be utilized to complete the major street system where development is not anticipated.

Beginning Balance 2014-15	\$1,163,787
Plus: Interest	43,934
Less: Expenditures	<u>886,377</u>
Ending Balance 2014-15	\$321,344

10. **Fire Department Fee:** The Fire Department Fee was established in June 1997 to construct, equip and furnish fire stations. The fee for 2014-15 was \$672.00 per EDU. Due to a change in building code the fee for multi-story buildings is no longer necessary.

Beginning Balance 2014-15	\$0
Plus: Revenue	293,596
Less: Expenditures	<u>293,596</u>
Ending Balance 2014-15	\$0

11. **Police Department Fee:** The Police Department Fee was established in May 2000 for development to contribute to providing adequate police equipment and facilities as community growth requires. The fee for 2014-15 was reduced to \$100.00 per EDU. The fee revenue reported represents permits initiated prior to the suspension program and collected subsequently. During the 2014-15 year applicable expenses for this fee exceeded the revenues collected and will be applied to future revenues collected.

Beginning Balance 2014-15	\$0
Plus: Revenue	22,400
Less: Expenditures	<u>22,400</u>
Ending Balance 2014-15	\$0

12. **Landfill Liner Fee:** The Landfill Liner Fee was established in August 2006 for development to contribute to construction of a new cell for the landfill. The fee for 2014-15 was \$201.00 per EDU and was eliminated from the municipal code. The fee revenue reported represents permits initiated prior to the suspension program and collected subsequently.

Beginning Balance 2014-15	(\$555,635)
Plus: Revenue	-
Interest	(102)
Less: Expenditures	<u>0</u>
Ending Balance 2014-15	(\$555,737)

13. **Library Facilities Fee:** The Library Facilities Fee was established in April 2008 and became effective July 1, 2008. This fee is to provide a portion of the funding needed to provide library facilities within the City of Clovis. The fee for 2014-15 was reduced to \$604.00 per unit for single-family and \$494.00 per unit for multi-family and assisted living/group homes. In 2013 the fee was temporarily suspended. The fee revenue reported represents permits initiated prior to the

suspension program and collected subsequently. This fee will begin again in the 2014-15 year.

Beginning Balance 2014-15	\$279,467
Plus: Revenue	172,933
Interest	-
Less: Expenditures	<u>(500,000)</u>
Ending Balance 2014-15	(\$47,600)

### FISCAL IMPACT

This report provides a status of the Development Fee's charged by the City. It provides a good indication of available balances for projects, or reimbursements where applicable.

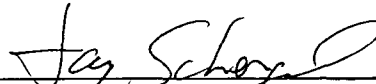
### REASON FOR RECOMMENDATION

The report is for information only and no action is required.

### ACTIONS FOLLOWING APPROVAL

Copies of the report will be made available to any member of the public who requests a copy of the report. The Building Industry requested a copy of the report in accordance with Section 66006 of the Government Code as amended in 1997 and was provided a copy on June 30, 2016.

Submitted by:

  
Jay Schengel, Assistant Finance Director



AGENDA ITEM NO: **CC-D-2**

City Manager:     *rw*    

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Finance Department

DATE: February 1, 2016

SUBJECT: Receive and File - Status Report of Community Facilities District Revenues and Expenditures.

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

That the Council receive and file the report on the status of the Community Facilities District (CFD) Revenues and Expenditures.

### **EXECUTIVE SUMMARY**

In March 2004, the Council approved the formation of Community Services District 2004-1, which provides funding for public safety operations in new growth areas generally located north of Herndon and east of Locan Avenues. The Council directed staff to prepare an annual report indicating the amounts received from CFD assessments and expenditures applicable to the CFD. The Council also requested that a citizen's committee be established to review the revenues and expenditures of the CFD.

### **BACKGROUND**

Fiscal year 2005-2006 was the first year the City received revenues from the assessment of community facilities district fees. Any parcel located in the CFD with a building permit issued prior to May 1, would be subject to the CFD fee the following fiscal year, payable with their property tax bill.

There were 3,832 parcels assessed in 2014-2015, generating \$876,000 in assessments. The per-unit assessment for 2014-2015 was \$222.76 for single family units and \$192.34 for multifamily units.

Expenditures for public safety services associated growth in the CFD area for 2014-2015 were \$2,773,000. In 2014-2015 Community Service District fee revenue covered 32% of Community Service District expenditures.

	<u>2014-2015</u>	<u>2013-2014</u>	<u>2012-2013 and prior</u>
Expenditures	\$2,773,000	\$2,799,000	\$18,327,000
Revenue	\$ 876,000	\$ 782,000	\$ 3,532,000

The Council established an independent citizen's oversight committee for the purpose of reviewing revenue and expenditures associated with the Community Facilities District. The committee consists of five members for a term of four (4) years without compensation and shall be appointed by the Mayor, subject to approval by the City Council. The committee includes one member of the real estate community, one member of the Building Industry Association, and three members who are landowners of residential properties within the Community Facilities District. Once appointed, the committee reviews expenditures of the tax proceeds and determines that such expenditures are in accordance with the purpose and intent of the Community Facilities District Resolution of Intention approved by the City Council and to report those findings to the City Council.

The following members were appointed at the January 21, 2014 Council meeting:

Ed Flores - Real Estate Community Representative  
Mike Prandini - Building Industry Association Representative  
Jim Henderson - Property Owner  
Justin Witte - Property Owner  
Shelly Circo - Property Owner

## **FISCAL IMPACT**

This report provides a status of the CFD revenue and expenditures attributable to Community Facilities District. The report currently reflects that the CFD is contributing a small percentage toward the total expenditures attributable to the CFD.

## **REASON FOR RECOMMENDATION**

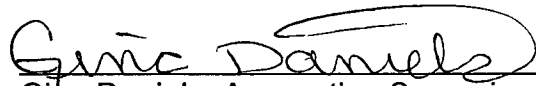
The fiscal report is for information only and no action is required. The recommended members of the Citizens Oversight Committee need Council confirmation. The committee will review the status report and provide comment to Council only if deemed necessary by the committee.



## ACTIONS FOLLOWING APPROVAL

Copies of the report will be made available to any member of the public who requests a copy. The Committee will be meeting within the next two months and should they deem it necessary, will present their report to council no later than May 1.

Prepared by:

  
Gina Daniels, Accounting Supervisor

Submitted by:

  
Jay Schengel, Assistant Finance Director



AGENDA ITEM NO: CC-E-1

City Manager: *[Signature]*

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: General Services Department

DATE: February 1, 2016

SUBJECT: Approval – Res. 16-\_\_\_\_, Authorizing Amendments to the Parks Manager Classification; Approval – Res. 16-\_\_\_\_, Authorizing Amendments to the Solid Waste Manager Classification; and, Approval – Res. 16-\_\_\_\_, Authorizing Amendments to the Street Maintenance Manager Classification

ATTACHMENTS: Res. 16-\_\_\_\_, Amendments to the Parks Manager Classification  
Res. 16-\_\_\_\_, Amendments to the Solid Waste Manager Classification  
Res. 16-\_\_\_\_, Amendments to the Street Maintenance Manager Classification  
Exhibit A – Parks Manager Classification  
Exhibit B – Solid Waste Manager Classification  
Exhibit C – Street Maintenance Manager Classification

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

Approve Resolution 16-\_\_\_\_; authorizing amendments to the Parks Manager, Solid Waste Manager and Street Maintenance Manager classifications.

### **EXECUTIVE SUMMARY**

It is necessary to update the Parks Manager, Solid Waste Manager and Street Maintenance Manager classification specifications in order to reflect the licensing requirements that are necessary for these management classifications. In addition, it is recommended that the Parks Manager classification be amended to include an Arborist Certificate. Modification of the City's Classification Plan requires the City Council's approval.

## **BACKGROUND**

Following a review of the Parks Manager, Solid Waste Manager and Street Maintenance Manager classifications, it has been determined that the classifications should be updated in order to reflect current licensing standards. Specifically, these classifications should be revised to state that a Class 'C' California Driver's License is necessary for the incumbent. In previous years, due to limited staffing, it was required that the Public Utilities managers possess Commercial Driver's licenses so they could operate the equipment if necessary. Over the years, staffing levels have improved and it is no longer necessary for the Public Utilities managers to possess a Commercial Driver's License. A Class 'C' Driver's License is appropriate for these classifications.

Additionally, it is recommended that the Parks Manager specification be amended to include an Arborist Certificate within one (1) year of appointment. The knowledge gained through obtaining the certificate helps to ensure that industry best practices are used in managing the City's diverse tree inventory.

## **FISCAL IMPACT**

None

## **REASON FOR RECOMMENDATION**

The Parks Manager, Solid Waste Manager, and the Street Maintenance Manager classifications are recommended for revision in order to reflect an accurate description of the knowledge, skills and abilities required of the classifications. Modification of the City's Classification Plan requires the City Council's approval.

## **ACTIONS FOLLOWING APPROVAL**

The City's Classification Plan will be updated to include the revised Parks Manager, Solid Waste Manager and Street Maintenance Manager classifications (Exhibits A, B and C).

Prepared by: Lori Shively, Personnel/Risk Manager

Submitted by: Robert K. Ford, General Services Director



**RESOLUTION 16-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING  
AMENDMENTS TO THE CITY'S CLASSIFICATION PLAN FOR THE PARKS  
MANAGER CLASSIFICATION**

The City Council of the City of Clovis resolves as follows:

**WHEREAS**, a review of the Parks Manager classification has identified a need to update the classification specification; and,

**WHEREAS**, it has been determined that the minimum driver's license requirements should be updated to reflect that a Commercial Class B Driver's License is no longer necessary and that a Class C Driver's License is appropriate; and,

**WHEREAS**, it has been determined that it is appropriate to amend the Parks Manager license requirement section of the classification specification to state that incumbents must obtain an Arborist Certificate issued by the International Society of Arboriculture within one (1) year of appointment.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of the City of Clovis that the City's Classification Plan shall be modified to include the revised Parks Manager classification specification (Exhibit A) attached.

\* \* \* \* \*

The foregoing Resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote to wit:

AYES:

NOES:

ABSENT:

Dated: February 1, 2016:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**RESOLUTION 16-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING  
AMENDMENTS TO THE CITY'S CLASSIFICATION PLAN FOR THE SOLID WASTE  
MANAGER CLASSIFICATION**

The City Council of the City of Clovis resolves as follows:

**WHEREAS**, a review of the Solid Waste Manager classification has identified a need to update the classification specification; and,

**WHEREAS**, it has been determined that the minimum driver's license requirements should be updated to reflect that a Commercial Class B Driver's License is no longer necessary and that a Class C Driver's License is appropriate.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of the City of Clovis that the City's Classification Plan shall be modified to include the revised Solid Waste Manager Classification specification (Exhibit B) attached.

\* \* \* \* \*

The foregoing Resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote to wit:

AYES:

NOES:

ABSENT:

Dated: February 1, 2016:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**RESOLUTION 16-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING  
AMENDMENTS TO THE CITY'S CLASSIFICATION PLAN FOR THE STREET  
MAINTENANCE MANAGER CLASSIFICATION**

The City Council of the City of Clovis resolves as follows:

**WHEREAS**, a review of the Street Maintenance Manager classification has identified a need to update the classification specification; and,

**WHEREAS**, it has been determined that the minimum driver's license requirements should be updated to reflect that a Commercial Class A Driver's License is no longer necessary and that a Class C Driver's License is appropriate.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of the City of Clovis that the City's Classification Plan shall be modified to include the revised Street Maintenance Manager classification specification (Exhibit C) attached.

\* \* \* \* \*

The foregoing Resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote to wit:

AYES:

NOES:

ABSENT:

Dated: February 1, 2016:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



**EXHIBIT A**

City of Clovis  
**Parks Manager**

**DESCRIPTION:**

**DEFINITION**

Under administrative direction supervises and participates in the maintenance and daily operation of the City's public landscape areas. Performs a variety of duties essential to the daily maintenance of parks, street landscape, trails, Civic Center and Old Town including planning and coordinating work, supervision, scheduling and training of new personnel, budgeting, and; reviews proposed design documents and performs related work as required.

**CLASS CHARACTERISTICS**

Under the direction of an Assistant Public Utilities Director, this single position class is responsible for the management of the City's landscaped areas and assigned staff. This incumbent acts with a high degree of independence of action in the assigned area of responsibility to attain objectives according to policy guidelines. Methods and procedures are expected to be developed to resolve problems encountered. Except where a deviation in policy is involved, most work is not reviewed; the review is directed towards final outcome and results. Work hours vary and include being subject to 24-hour emergency callback working holidays and weekends.

**EXAMPLES OF DUTIES:**

Duties may include but are not limited to the following: directs, schedules and supervises the daily activities of landscape maintenance in public landscape areas maintained by the City including irrigating, mowing, pruning, planting, weeding, cleaning and maintenance of barbeques, picnic benches, removal of trash, spraying of insecticides and herbicides and fertilizing, participates in the selection and training of the City's landscape maintenance personnel; prepares and submits requisitions for park supplies, tools, and equipment; coordinates and schedules activities of citizen volunteer groups; receives and acts to resolve citizen complaints in accordance with departmental policy and procedure; reviews proposed landscape design documents for all public landscape areas maintained by the City; provides day-to-day leadership and works with assigned staff to ensure the proper, safe and efficient operation; provides for the training of assigned personnel in proper and safe operating procedures and methods; assists in developing written manuals and instructions; instructs staff in new operating procedures and methods; assists in creating training instruction manuals in assigned areas of responsibilities; responds to emergency situations as required, including those occurrences after normal working hours; supports the City's safety program; ensures subordinates follow safety practices in work methods and

procedures; enforces proper safety procedures; educates employees on rules, regulations, codes, safe work habits and potential hazards presented by their work; responds as needed to after-hour emergencies; keeps records, maintains files and assists in preparation of a variety of technical research and reports; supervises and evaluates the performance of assigned personnel; recommends hiring and disciplinary action as appropriate; participates in budget preparation and performs related work as required.

**TYPICAL QUALIFICATIONS:**

**LICENSE REQUIRED**

Possession of a valid Class C California Driver's License and a good driving record. Also requires a Qualified Applicators Certificate issued by the State of California and an Arborist Certificate issued by the International Society of Arboriculture within one year of appointment.

**Knowledge of:**

- State and local laws pertaining to the operation of motorized equipment on public rights-of-way;
- Planting, cultivating, fertilizing, watering and care of lawns, flowers, shrubs and trees;
- Methods and procedures of preparing soils for planting;
- Various kinds of fertilizers and their proper usage;
- Common plant diseases and pests of the area and means for their eradication and control;
- Building maintenance methods;
- Basic math;
- Record-keeping;
- Proper methods, materials, tools and equipment used in the parks maintenance and construction trade;
- General principles of supervision and training;
- Appropriate safety precautions and procedures;
- Landscape irrigation system design.

**Ability to:**

- Estimate and organize personnel, material and equipment requirements for parks maintenance and construction projects;
- Perform and train others in the performance of skilled parks maintenance duties and equipment operation;
- Prepare reports;
- Read, write and perform mathematical calculations at the level required for successful job performances;
- Maintain records;
- Supervise the work of others;
- Operate a vehicle observing legal and defensive driving practices;

- Establish record-keeping systems;
- Formulate and administer budget;
- Formulate long range strategic plans for parks section;
- Ability to operate personal computer including word processing, spreadsheet, database, presentation and other associated software;
- Administer contracts related to park section activities;
- Understand and carry out oral and written instructions;
- Establish and maintain effective relationships with those contacted in the course of work.

**EDUCATION AND EXPERIENCE:**

Any combination of education and experience that would likely provide the required knowledge and abilities is qualifying. A typical way to obtain the knowledge and abilities would be:

Graduation with a Bachelor's Degree from an accredited college or university with major study in horticulture, public or business administration or a related field and five years of experience in the maintenance of landscape facilities, with two years at a lead or supervisory level. No more than two years of education may be substituted by additional related experience.

**SUPPLEMENTAL INFORMATION:**

The conditions herein are representative of those that must be met by an employee to successfully perform the essential functions of this job

**Environment:**

May be required to work in inclement weather, including sun, cold and rain; wear protective apparel, including goggles, face protectors, noise insulator, apron and shoes; work around hazardous material and substances. Some assigned areas are exposed to extreme heat, humidity, and noise; explosive hazards of gasses; traffic, mechanical and electrical hazards of machinery; fumes, odors and dust from construction and maintenance equipment.

**Physical:**

**FREQUENT** walking, standing, sitting, downward flexion of neck, side-to-side turning of neck, lifting below and at waist level of tools weighing up to 50 lbs., including carrying of these tools up to 300 feet.

**OCCASIONAL** bending and stooping, squatting, reaching above and at shoulder height, kneeling, balancing above ground, pushing/pulling, twisting at waist, upward flexion of neck; lifting objects weighing 26-75 lbs. from below waist to above shoulder level either with or without assistance and transporting for distances up to 25 feet; lifting of objects weighing over 75 lbs. and with assistance

City Council Report  
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transporting for distances less than 10 feet; manual dexterity to operate computer keyboard, grasp writing materials; strength to grasp hand and power tools.

INFREQUENT crawling, climbing, lifting of objects weighing 26 lbs. to over 100 lbs. from below waist to chest level either with or without assistance and transporting for distances less than 10 feet. Action as appropriate; participates in budget preparation and performs related work as required.

**EXHIBIT B**

City of Clovis  
**Solid Waste Manager**

**DESCRIPTION:**

**DEFINITION**

Under administrative direction, to organize and supervise the collection, removal and disposal of solid waste products from commercial and residential sites as well as street sweeping; and to ensure the operation and maintenance of related equipment; to maintain a budget; and to perform related duties as required.

**CLASS CHARACTERISTICS**

Under the direction of an Assistant Public Utilities Director, this single position class is responsible for the management of the street sweeping, solid waste collection and disposal and recycling services of the Public Utilities Department. The incumbent acts with a high degree of independence of action in the assigned area of responsibility to attain objectives according to policy guidelines. Methods and procedures are expected to be developed to resolve problems encountered. Except where a deviation in policy is involved, most work is not reviewed; the review is directed towards final outcome and results. Work hours vary and include being subject to 24-hour emergency callback, and working holidays and weekends.

**EXAMPLES OF DUTIES:**

Duties may include but are not limited to the following: plans, organizes, and supervises a program of refuse collection, disposal, street sweeping and recycling; prepares and monitors department budget; schedules and assigns work of subordinate staff; approves refuse collection and street sweeping routes and time tables; monitors efficiency of program; trains personnel in safe operating procedures; writes and transmits violation notices; reviews and takes action on complaint calls; initiates new services and routes as required; attends Development Review Committee meetings; reviews blueprints for bin enclosures; inspects bin enclosures; operates a computer; contacts and communicates with vendors; inspects landfill site; assigns duties to personnel involved in the Fresno County Probation work program; arranges for Christmas tree removal; administers the community cleanup program; arranges for the collection and disposal of dangerous or volatile materials; purchases materials and equipment for refuse collectors; makes work assignments, sets priority for, trains and reviews the work of subordinate staff; conducts performance evaluations; recommends hiring and discipline of subordinate employees; establishes standards of performance for each position supervised; conducts staff meetings;

provides for the training of assigned personnel in proper and safe operating procedures and methods; assists in developing written manuals and instructions; instructs staff in new operating procedures and methods; assists in creating training instruction manuals in assigned areas of responsibilities; responds to emergency situations as required, including those occurrences after normal working hours; supports the City's safety program; ensures subordinates follow safety practices in work methods and procedures ;enforces proper safety procedures; educates employees on rules, regulations, codes, safe work habits and potential hazards presented by their work; distributes assigned work to subordinate personnel; instructs assigned staff in work methods; checks and corrects work in progress and upon completion; reports to supervisor problems encountered in the assigned work and progress in completing work assignment; keeps labor and material records; operates City vehicles; keeps various records and logs; writes correspondence; and performs related work as required.

### **TYPICAL QUALIFICATIONS:**

#### **LICENSE REQUIRED**

Possession of a valid Class C California Driver's License and a good driving record.

#### **QUALIFICATIONS**

Knowledge of:

- Refuse work collection methods;
- Street sweeping methods;
- Basic machine operation;
- Street location, general City geography and thorough knowledge of refuse collection; points and storage areas;
- Safe work practices of refuse collection, landfill site operations, and street sweeping operations;
- Principles and practices of administration, budgeting and supervision;
- Environmental regulations regarding municipal solid waste landfills.

Ability to:

- Plan and schedule route collection and street sweeping vehicles and personnel;
- Plan and schedule landfill operations;
- Plan and coordinate recycling programs;
- Properly operate refuse packer-truck and other auxiliary equipment used in refuse collection program;
- Train personnel in the proper loading and operation of refuse trucks and street sweepers and landfill equipment;
- Maintain and prepare clear, concise and accurate reports;
- Communicate effectively orally and in writing;
- Operate a vehicle observing legal and defensive driving practices;
- Read, understand and apply difficult materials;



- Establish record-keeping systems;
- Plan, schedule, make work assignments, set priorities, train, evaluate, select and recommend discipline of subordinates;
- Formulate and administer budget;
- Maintain records of budgetary expenditures;
- Understand and carry out oral and written instructions;
- Establish and maintain effective relationships with those contacted in the course of work;
- Operate a personal computer, including word processing, spreadsheet, database, presentation and other associated software.

#### EDUCATION AND EXPERIENCE

Any combination of education and experience that would likely provide the required knowledge and abilities is qualifying. A typical way to obtain the knowledge and abilities would be:

Graduation from an accredited four-year college or university, with major coursework related to solid waste management, civil engineering, industrial technology, public or business administration or a closely related field and five (5) years progressively responsible professional work experience in waste management and at least two (2) years of supervisory experience. No more than two years of education may be substituted by additional related experience.

#### SUPPLEMENTAL INFORMATION:

##### PHYSICAL DEMANDS AND WORKING CONDITIONS

The conditions herein are representative of those that must be met by an employee to successfully perform the essential functions of this job.

##### Environment:

May be required to work in inclement weather, including sun, cold and rain; wear protective apparel, including goggles, face protectors, noise insulator, apron and shoes; work around hazardous material and substances. Some assigned areas are exposed to extreme heat, humidity, and noise; explosive hazards of gasses; traffic, mechanical and electrical hazards of machinery; fumes, odors and dust from construction and maintenance equipment.

##### Physical:

FREQUENT walking, standing, sitting, downward flexion of neck, side-to-side turning of neck, lifting below and at waist level of tools weighing up to 50 lbs., including carrying of these tools up to 300 feet.

OCCASIONAL bending and stooping, squatting, reaching above and at shoulder height, kneeling, balancing above ground, pushing/pulling, twisting at waist, upward flexion of neck; lifting objects weighing 26-75 lbs. from below waist to

City Council Report  
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February 1, 2016

above shoulder level either with or without assistance and transporting for distances up to 25 feet; lifting of objects weighing over 75 lbs. and with assistance transporting for distances less than 10 feet; manual dexterity to operate computer keyboard, grasp writing materials; strength to grasp hand and power tools.

INFREQUENT crawling, climbing, lifting of objects weighing 26 lbs. to over 100 lbs. from below waist to chest level either with or without assistance and transporting for distances less than 10 feet.

**EXHIBIT C**

City of Clovis  
**Street Maintenance Manager**

**DESCRIPTION:**

**DEFINITION**

Under administrative direction supervises and participates in the maintenance and daily operation of the City's street system. Performs a variety of duties essential to the daily maintenance of the City's streets including organizing the maintenance and repair of public streets, street signs and markings, together with related equipment; to ensure the working order of street repair equipment; planning and coordinating work, supervision, scheduling and training of new personnel, budgeting, reviews proposed design documents and performs related work as required.

**CLASS CHARACTERISTICS**

Under the direction of an Assistant Public Utilities Director, this single position class is responsible for the management of the City's Street Maintenance activities and assigned staff. This incumbent acts with a high degree of independence of action in the assigned area of responsibility to attain objectives according to policy guidelines. Methods and procedures are expected to be developed to resolve problems encountered. Except where a deviation in policy is involved, most work is not reviewed; the review is directed towards final outcome and results. Work hours vary and include being subject to 24-hour emergency callback working holidays and weekends.

**EXAMPLES OF DUTIES:**

Duties may include but are not limited to the following: directs, schedules and supervises the daily activities of street maintenance personnel; organizes the City's street maintenance program; maintenance and repair of street signs, pavement markings, street pavement, curbs, gutters, sidewalks and other street related facilities; street light maintenance including basic electrical repair; reviews work in progress with Leadworkers; receives and responds to complaints from citizens; makes work assignments, sets priority for, trains and reviews the work of street maintenance personnel; conducts performance evaluations; recommends hiring and discipline of subordinate employees; establishes standards of performance for each position supervised; conducts staff meetings; distributes assigned work to subordinate personnel; instructs assigned staff in work methods; checks and corrects work in progress and upon completion; orders and keeps records of supplies and equipment; prepares and monitors the street section and related budgets, prepares various reports; makes presentations to the City Council on issues related to street maintenance; provides day-to-day leadership and works with assigned staff to ensure the proper, safe and efficient operation;

provides for the training of assigned personnel in proper and safe operating procedures and methods; assists in developing written manuals and instructions; instructs staff in new operating procedures and methods; assists in creating training instruction manuals in assigned areas of responsibilities; responds to emergency situations as required, including those occurrences after normal working hours; supports the City's safety program; ensures subordinates follow safety practices in work methods and procedures; enforces proper safety procedures; educates employees on rules, regulations, codes, safe work habits and potential hazards presented by their work; responds as needed to after-hour emergencies; coordinates barricades and other traffic control measures with the Police Department in response to special projects and programs; responds to Police calls for street clean-up; monitors traffic control devices; keeps logs and records; writes reports and letters; requisitions supplies and parts; monitor purchases and process invoices, operates City vehicles; keeps records, maintains files and assists in preparation of a variety of technical research and reports; and performs related work as required.

#### **TYPICAL QUALIFICATIONS:**

##### **LICENSE REQUIRED**

Possession of a valid Class C California Driver's License and a good driving record.

##### **QUALIFICATIONS**

Knowledge of:

- Equipment, materials and methods used in the construction, maintenance, cleaning and repair of streets, street signs, street markings, curbs, gutters, sidewalks and related facilities;
- Materials and labor costs in street and related public works construction work;
- Principles of organization, supervision and employee training;
- Appropriate safety precautions and procedures;
- State and local laws pertaining to the operation of motorized equipment on public rights-of-way;
- Basic math;
- Record-keeping;
- Proper methods, materials, tools and equipment used in the street maintenance and construction trade;
- General principles of supervision and training;
- Appropriate safety precautions and procedures;
- Basic street lighting maintenance.

Ability to:

- Plan, organize and direct a program for the maintenance of streets and related public works facilities, street lights, and traffic signs and markings;
- Develop and implement organizational and work procedures as necessary;

- Establish sound work priorities;
- Prepare accurate budget estimates and clear, concise reports;
- Read, understand and apply difficult materials;
- Establish and maintain computer-based record-keeping systems;
- Estimate and organize personnel, material and equipment requirements for street maintenance and construction projects;
- Perform and train others in the performance of skilled street maintenance duties and equipment operation;
- Prepare reports and correspondence;
- Read, write and perform mathematical calculations at the level required for successful job performances;
- Maintain records;
- Supervise the work of others;
- Operate a vehicle observing legal and defensive driving practices;
- Establish record-keeping systems;
- Formulate and administer budget;
- Formulate long range strategic plans for Streets Section;
- Ability to operate personal computer including word processing, spreadsheet, database, presentation and other associated Software;
- Administer contracts related to Street Section activities;
- Understand and carry out oral and written instructions;
- Establish and maintain effective relationships with those contacted in the course of work.

#### EDUCATION AND EXPERIENCE

Any combination of education and experience that would likely provide the required knowledge and abilities is qualifying. A typical way to obtain the knowledge and abilities would be:

Graduation with a Bachelor's Degree from an accredited college or university with major study in construction management, civil engineering, public or business administration or a related field and five years of experience in the maintenance of street facilities, with two years at a lead or supervisory level. No more than two additional years of experience may be substituted for education.

#### **SUPPLEMENTAL INFORMATION:**

##### PHYSICAL DEMANDS AND WORKING CONDITIONS

The conditions herein are representative of those that must be met by an employee to successfully perform the essential functions of this job

##### Environment:

May be required to work in inclement weather, including sun, cold and rain; wear protective apparel, including goggles, face protectors, noise insulator, apron and shoes; work around hazardous material and substances. Some assigned areas are exposed to extreme heat, humidity, and noise; explosive hazards of gasses;

traffic, mechanical and electrical hazards of machinery; fumes, odors and dust from construction and maintenance equipment.

**Physical:**

**FREQUENT** walking, standing, sitting, downward flexion of neck, side-to-side turning of neck, lifting below and at waist level of tools weighing up to 50 lbs., including carrying of these tools up to 300 feet.

**OCCASIONAL** bending and stooping, squatting, reaching above and at shoulder height, kneeling, balancing above ground, pushing/pulling, twisting at waist, upward flexion of neck; lifting objects weighing 26-75 lbs. from below waist to above shoulder level either with or without assistance and transporting for distances up to 25 feet; lifting of objects weighing over 75 lbs. and with assistance transporting for distances less than 10 feet; manual dexterity to operate computer keyboard, grasp writing materials; strength to grasp hand and power tools.

**INFREQUENT** crawling, climbing, lifting of objects weighing 26 lbs. to 100 lbs. from below waist to chest level either with or without assistance and transporting for distances less than 10 feet.





AGENDA ITEM NO: F-1

City Manager: [Signature]

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Department of Planning and Development Services

DATE: February 1, 2016

SUBJECT: Approval – Rejection of all bids for CIP 15-08 Winery Demolition.

ATTACHMENTS: (A) Vicinity Map

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

For the City Council to reject all bids for the project.

### **EXECUTIVE SUMMARY**

The work consists of the asbestos removal and subsequent demolition of deteriorating structures at the La Paloma Winery site, currently owned by the City of Clovis. This site is home to the Clovis Recreation Center and that building (and the tower building) would remain on the site after demolition.

The City received five bids for this project, all well above the budgeted amount, and the project cannot be completed within the current level of funding. Funding for this project is from the General Services Capital Facilities Fund in the amount of \$500,000. The lowest responsible bid from CVE Contracting Group, Inc. is \$1,179,000. Therefore, City staff is recommending the rejection of all bids, and will be reevaluating the project for

phased work and other delivery methods, which might be accomplished within the available funding.

## **BACKGROUND**

This project was released for bids on December 14, 2015. Five bids were received at the January 12, 2016, bid opening.

The following is a summary of the bid results:

<b>BIDDERS</b>	<b>BID</b>
1. CVE Contracting Group, Inc.	\$1,179,000.00
2. Bowen Engineering & Environmental	\$1,222,000.00
3. Caglia Demolition & Recycling	\$1,299,900.00
4. Unlimited Environmental, Inc.	\$1,340,000.00
5. American Wrecking, Inc.	\$2,130,000.00
<b>ENGINEER'S ESTIMATE</b>	<b>\$552,500.00</b>

All bids were examined and the bidder's submittals were found to be in order. Staff has validated the lowest bidder's contractor license and OSHA status.

## **FISCAL IMPACT**

This project was budgeted in the FY2015-2016 Community Investment Program through the General Services Capital Facilities. There were considerable unknowns associated with the demolition of the building structures and the underground infrastructure. The age of the facility and the lack of detailed information about the building foundations unfortunately put the contractors into a position to reflect this into their bids well above the engineers estimate. The asbestos containing materials, primarily the roof sections, are collapsing due to age and heavy weather. With the collapse of these roof sections the asbestos containing materials are becoming mixed with the roof structures requiring more cost to separate and dispose of. Budgeted funds are not available to proceed with award of the project at the apparent low bid amount.


## **REASON FOR RECOMMENDATION**

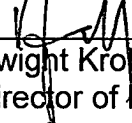
There are insufficient funds available to proceed with award of the project.

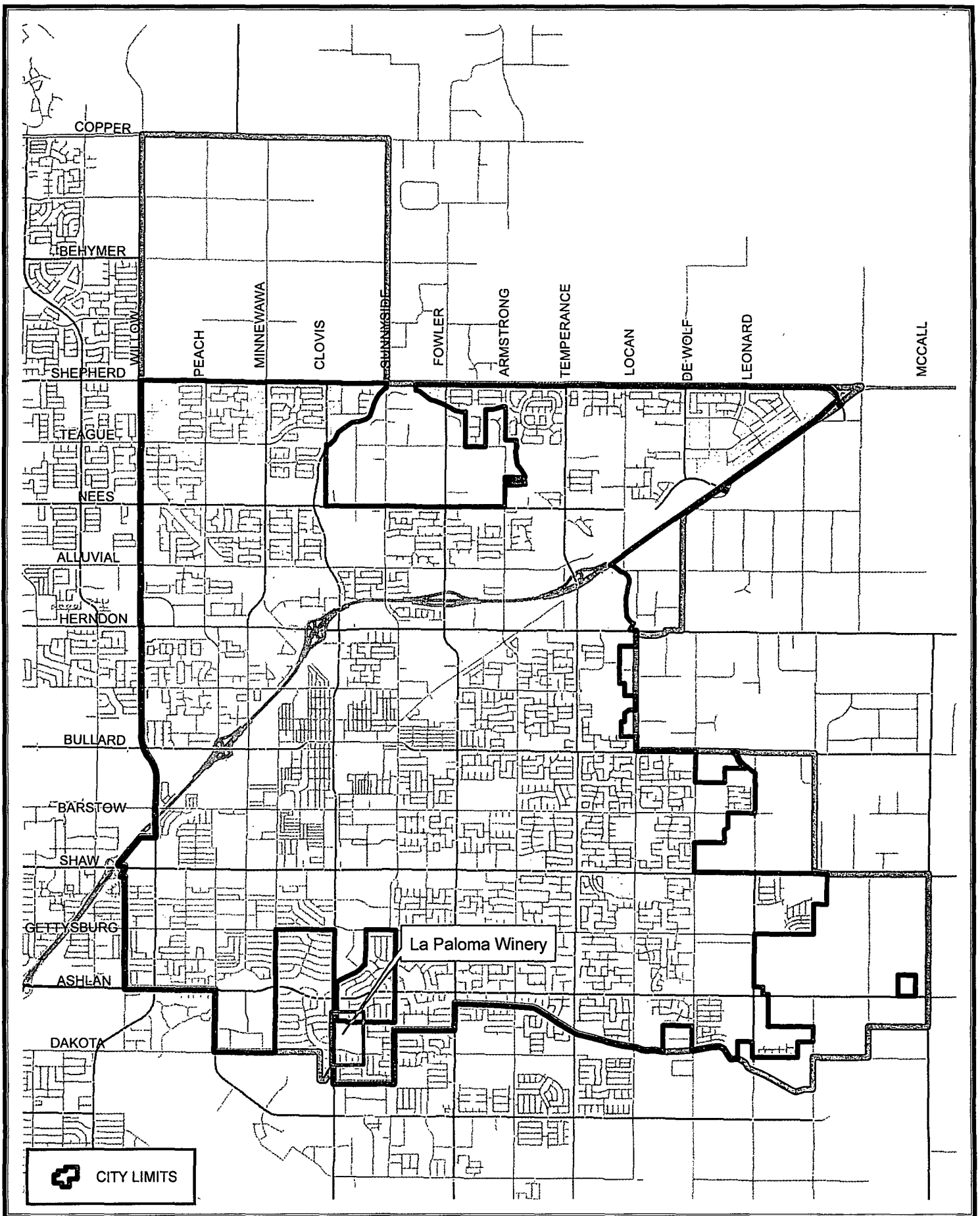
## **ACTIONS FOLLOWING APPROVAL**

1. All bids will be rejected.
2. Staff will re-scope the project to determine if costs can be reduced by phasing the project or exploring other delivery methods including separating out the removal and remediation of the asbestos containing materials.

3. Staff with work with the General Services department to add additional building security measures for enhancing site security. Site security cameras will also be installed to allow the police department to better monitor the site.

Submitted by:   
Steven White  
City Engineer

Recommended by:   
Dwight Kroll, AICP  
Director of Planning and  
Development Services





AGENDA ITEM NO: F-2

City Manager: AA

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Planning and Development Services Department

DATE: February 1, 2016

SUBJECT: Approval –Bid Award for CIP 14-22, Shaw Avenue Signal Interconnect – Willow to Temperance and, Authorize City Manager to Execute the Contract on Behalf of the City

ATTACHMENTS: (A) Vicinity map

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

1. For the City Council to authorize award of the subject project to Kertel Communication Inc., DBA Sebastian, in the amount of \$466,672.50, and;
2. For the City Council to authorize the City Manager to execute the contract on behalf of the City.

### **EXECUTIVE SUMMARY**

The work consists of trenching, conduit, pull boxes, concrete sidewalk, fiber optic cable, connections to traffic signals and communication cabinets, along Shaw Avenue from Willow Avenue to Temperance Avenue, and along Fowler and Bullard Avenues and Fifth Street to the Clovis Traffic Command Center. The subject project is intended to increase the efficiency of the travelling public through the project corridor by coordinating the timing of the signals. The physical connection of the signals to each other and to the Traffic Command Center allows for review and modifications to the timing without travelling into the field to visit each signal individually.

Staff has evaluated the project site and all design aspects within the scope of this project for compliance with the Americans with Disabilities Act (ADA) accessibility standards as of February 1, 2016. The project will be ADA compliant upon completion.

## BACKGROUND

On January 12, 2016, the City received bids for the subject project. The bids were conformed and validated as follows:

Bidders	Base Bid
Sebastian	\$466,672.50
MADCO Electric Inc.	\$680,305.00
<b>Engineer's Estimate</b>	<b>\$501,955.00</b>

All bids were examined and found to be in order with the exception of a minor arithmetic error which did not change the order of the bidders. Staff contacted the California State Contractor's Board and was informed that Sebastian is properly licensed and is in good standing with no record of complaints filed against them. Staff also contacted Cal OSHA and was informed that Sebastian has no record of complaints filed against them in the last three years.

## FISCAL IMPACT

This project is approved in the current year's fiscal budget in the Community Investment Program and City and CMAQ funding is available to proceed with construction. There are sufficient funds available for the anticipated cost of this project.

## REASON FOR RECOMMENDATION


Sebastian is the lowest responsible bidder.

## ACTIONS FOLLOWING APPROVAL

1. Staff will prepare the contract for execution.
2. Construction will begin approximately two (2) weeks after contract execution and be completed not more than sixty (60) working days thereafter.

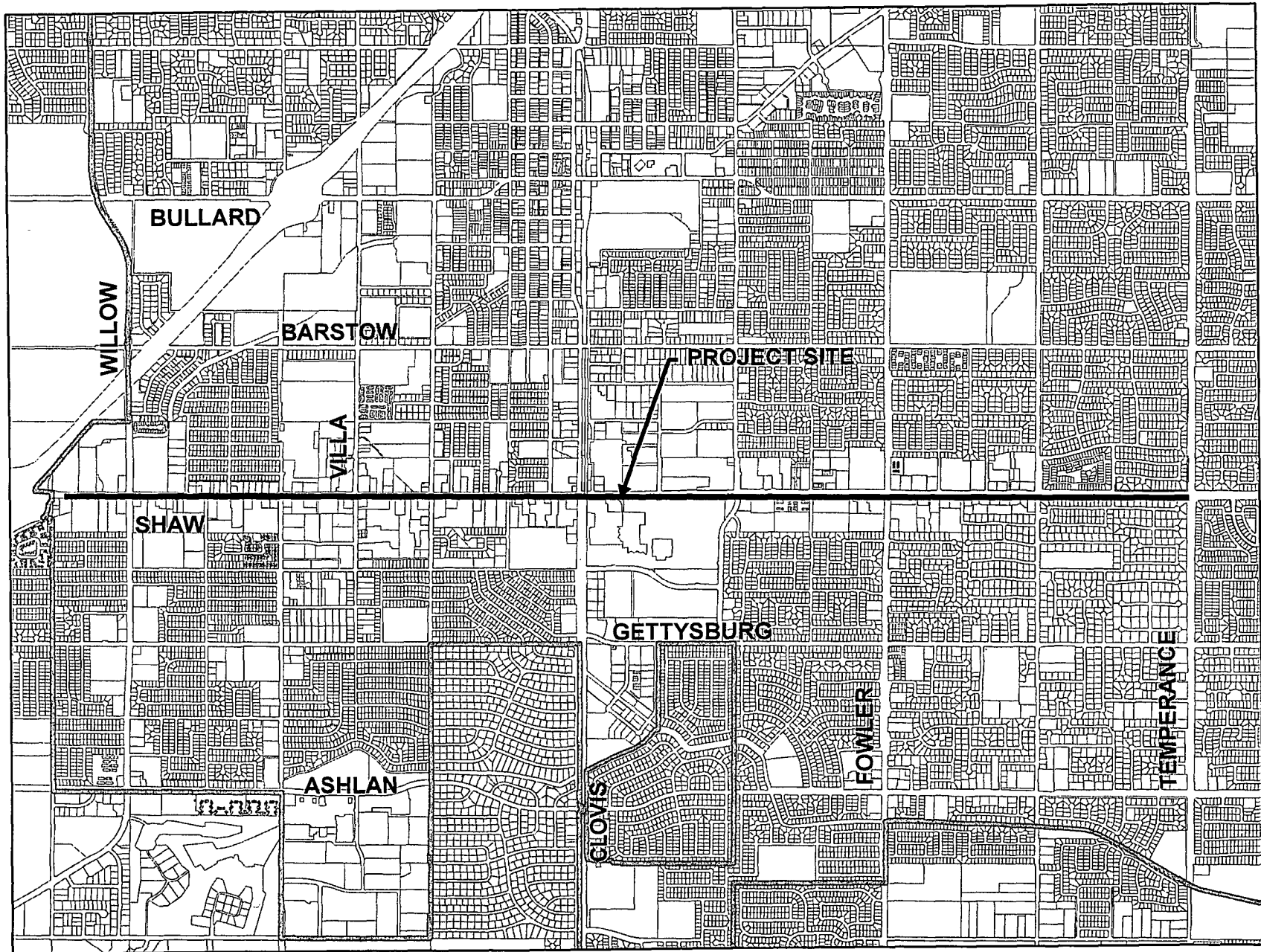
Prepared by: John Cross, Assistant Engineer

Submitted by:   
Steven E. White, PE  
City Engineer

Recommended by:   
Dwight Kroll, AICP  
Director of Planning and  
Development Services



ATTACHMENT A  
SHAW AVENUE SIGNAL INTERCONNECT - WILLOW TO TEMPERANCE  
VICINITY MAP





AGENDA ITEM NO: **CC-F-3**

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: February 1, 2016

SUBJECT: This item has been removed from the agenda.

Please direct questions to the City Manager's office at 559-324-2060.



AGENDA ITEM NO: F-4

City Manager: [Signature]

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: February 1, 2016

SUBJECT: Approval – Res. 16-\_\_\_\_, Annexation of Proposed Tract 5681, located at the northwest area of DeWolf and Ashlan Avenues, to the Landscape Maintenance District No. 1 Of The City Of Clovis (Sam Lucido)

ATTACHMENTS: Res. 16-\_\_\_\_\_

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

For the City Council to approve Res. 16-\_\_\_\_\_, that will annex proposed Tract 5681, which is located at the northwest area of DeWolf and Ashlan Avenues, to the Landscape Maintenance District No. 1 of the City of Clovis.

### **EXECUTIVE SUMMARY**

The owners, Sam Lucido, acting as the subdivider, have requested to be annexed to the Landscape Maintenance District No. 1 of the City of Clovis as set forth by the Conditions of Approval for Tract 5681.

### **BACKGROUND**

Sam Lucido, the developer of Tract 5681, has executed a covenant that this development be annexed to the City of Clovis LMD No. 1. An executed copy can be provided on request. Council formed the original District on July 15, 1985, for the purpose of funding the maintenance of landscaped areas and parks. Each annexation

to the District has a separate assessment so that the cost of landscape maintenance of this landscaped area will be borne entirely by the benefit area that includes this tract.

Under the provisions of the Landscaping and Lighting Act of 1972, and in accordance with Article XIII C and Article XIII D of Proposition 218, all the owners of property proposed for annexation have provided a written request and consent to annexation, and have executed a covenant (petition) indicating acceptance of the annual assessment.

### **FISCAL IMPACT**

This project will add landscaping to the Landscape Maintenance District No. 1 of the City of Clovis shown as follows:

	<u>Tract 5681</u>	<u>Year to Date</u>
LMD Landscaping added:	0.035 acres	10.385 acres
Resource needs added:	0.004 person	1.039 person

The resource needs estimate is based on 1 person per 10 acres of landscaped area.

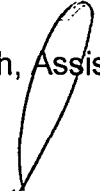
### **REASON FOR RECOMMENDATION**


The property owners for the subject tract have requested annexation into the City of Clovis LMD No. 1.

### **ACTIONS FOLLOWING APPROVAL**

Tract 6034 shall become a part of City of Clovis LMD No. 1 and will be assessed next year for maintenance costs.

Prepared by: Sean Smith, Assistant Engineer

Submitted by:   
Steven White  
City Engineer

Recommended by:   
Dwight Kroll, AICP  
Director of Planning  
And Development  
Services

**RESOLUTION 16-**

**A RESOLUTION OF THE COUNCIL OF THE CITY OF CLOVIS, CALIFORNIA,  
APPROVING ANNEXATION TO LANDSCAPING MAINTENANCE DISTRICT NO. 1  
OF THE CITY OF CLOVIS**

WHEREAS, City of Clovis Landscape Maintenance District No. 1 ("District") was formed by Resolution No. 85-78, adopted July 15, 1985, pursuant to Part 2 of Division 15 of the Streets and Highways Code (Landscape and Lighting Act of 1972), herein the "Act"; and

WHEREAS, all of the owners of property proposed to be annexed to the District consisting of proposed Tract No. 5681, as described in Exhibit "A" attached hereto and incorporated herein by reference, have consented to said annexation and such annexation may be ordered without notice and hearing or filing of engineer's report, or both.

NOW, THEREFORE, IT IS RESOLVED AND ORDERED, as follows:

1. That the public interest and convenience require that certain property described in Exhibit "A" attached hereto and by reference incorporated herein be annexed into Landscape Maintenance District No. 1 of the City of Clovis for the maintenance and servicing of landscaping facilities.

2. The City Clerk shall receive and file the maps showing the boundaries of the areas annexed as set forth in Exhibit "A" which boundaries shall be used for assessment proceedings until and unless a change of organization is approved pursuant to the Act.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**Exhibit "A"**

LOTS 1 THROUGH 9, INCLUSIVE, OF TRACT NO. 5681, RECORDED IN VOLUME \_\_\_\_ OF  
PLATS AT PAGES \_\_\_\_ THROUGH \_\_\_\_, FRESNO COUNTY RECORDS.



AGENDA ITEM NO: F-5

City Manager: AA

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: February 1, 2016

SUBJECT: Approval – Res. 16- , Final Map and Final Acceptance Tract 5681, located at the northwest area of DeWolf and Ashlan Avenues (Sam Lucido).

ATTACHMENTS: Res. 16-\_\_\_\_\_  
(A) Copy of Final Map

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

For the City Council to approve Res. 16-\_\_\_\_\_, which will:

1. Accept the offer of dedication of streets and public utility easements within Tract 5681, and;
2. Authorize recording of the final map.
3. Conditionally accept the public improvements for Tract 5681, with the final map recordation date as the official date of acceptance.
4. Upon notice of final map recordation by the developer, authorize recording of the Notice of Acceptance.
5. Authorize release of the Maintenance Surety upon the expiration of the one-year warranty period, which begins when the final map records, provided any defective work has been repaired to the City's satisfaction.

## **EXECUTIVE SUMMARY**

The owner, Sam Lucido, acting as the subdivider, has submitted a final map for Tract 5681. The subject tract is located on the northwest area of DeWolf and Ashlan Avenues. It contains 2.42 acres and consists of 9 lots, zoned R-1-7500 (Low Density Single Family Residential – 7,500 square foot minimum lot size).

The improvement plans for this tract have been approved by the City Engineer. The construction or installation of the public improvements is complete, with the exception of perimeter landscape and irrigation adjacent to DeWolf Avenue.

The owner has requested a full final acceptance with a deferment of the perimeter landscape and irrigation adjacent to DeWolf Avenue to the construction of the DeWolf Avenue street improvements by Woodside Homes. Staff is recommending approval of their request and have collected security for the work.

No performance or payment bond will be required with the approval of the final map, since all improvements have been completed per the conditions of the tentative tract map.

Acceptance cannot occur until the final map is recorded, because the streets are not dedicated to the City for public purposes until the map records. Therefore, Staff recommends acceptance of tract improvements, subject to recording the map with the Fresno County Recorder. The effective date of acceptance will then be the date of recordation, which will also be the start date of the one-year warranty period. As required by Municipal Code, the developer has furnished the required surety to guarantee the public improvements during this warranty period.

## **FISCAL IMPACT**

The costs for periodic routine maintenance, as well as repairs needed as the improvements deteriorate with age and usage, will be incorporated into the annual maintenance budget of the Public Utilities Department as these costs are identified.

## **REASON FOR RECOMMENDATION**

The subdivider has met all conditions of the tentative map. The development fees have been paid, except those that have been deferred as allowed by the Municipal Code. The Subdivision Map Act requires that once construction of the required improvements has been completed in compliance with all codes, plans and specifications, and all other required documents have been completed and submitted, final acceptance is required.

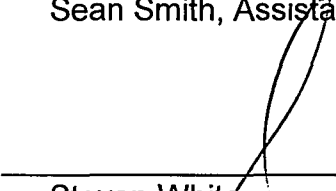


### ACTIONS FOLLOWING APPROVAL

1. The final map will be filed with the Fresno County Recorder's office for recording.
2. Once staff verifies that the map has been recorded, the Notice of Acceptance will be recorded with the Fresno County Recorder's office.
3. The surety will be released one year after the map recordation date.

Prepared by: Sean Smith, Assistant Engineer

Submitted by:

  
\_\_\_\_\_  
Steven White  
City Engineer

Recommended by:

  
\_\_\_\_\_  
Dwight Kroll  
Planning  
And Development  
Services Director

## **RESOLUTION 16-**

### **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING FINAL SUBDIVISION MAP FOR TRACT NO. 5681**

WHEREAS, a final map has been presented to the City Council of the City of Clovis for Tract 5681, by The City of Clovis, a Municipal Corporation, and

WHEREAS, said final tract conforms to the requirements of Chapter 2, Part 2, of Division 4 of the Business and Professions Code and to local ordinances;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Clovis as follows:

1. The final map of Tract 5681, consisting of two (2) sheets, a copy of which is on file with the City Clerk, be and the same is hereby approved.

2. Subdivision improvement plans for said tract, consisting of multiple sheets have been approved by City Engineer.

3. The preliminary Engineer's Cost Estimate of development cost of said tract, a copy of which is on file with the City Clerk, be and the same is hereby approved and adopted as the estimated cost of improvements for said subdivision in the sum of \$219,188.00.

4. The Subdivision Agreement between the City of Clovis and Subdivider, a copy of which is on file with the City Clerk, is hereby approved and adopted, and the City Engineer of the City of Clovis is directed to execute the same.

5. The offer and dedication for public use of the parcels, streets and easements specified on said map are accepted by the City of Clovis and the City Clerk is authorized and directed to execute said subdivision map.

6. This Council finds that the proposed subdivision, together with the provisions for its design and improvement, are consistent with applicable general and specific plans of the City of Clovis.

7. Subdivider shall furnish a security in the sum of \$21,900.00 being the amount determined by the City Council of the City as necessary for the guarantee and warranty of the work for a period of one year following the completion and acceptance of the tract against any defective work or labor done, or defective materials furnished. Said security shall be furnished prior to acceptance by the City Council.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**OWNER'S STATEMENT**

THE UNDERSIGNED, BEING ALL PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND WITHIN THIS SUBDIVISION, HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP AND OFFER FOR PUBLIC USE THE PARCELS AND EASEMENTS SPECIFIED ON SAID MAP AS INTENDED FOR PUBLIC USE FOR THE PURPOSES SPECIFIED THEREIN.

SAMUEL A. LUCIDO AND LINDA A. LUCIDO, AS TRUSTEES OF THE SAMUEL AND LINDA LUCIDO LIVING TRUST, UNDER DECLARATION OF TRUST DATED DECEMBER 5, 2008

BY:

SAMUEL A. LUCIDO, TRUSTEE

BY:

LINDA A. LUCIDO, TRUSTEE

# TRACT NO. 5681

CONSISTING OF TWO SHEETS  
SHEET ONE OF TWO SHEETS  
IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA  
SURVEYED AND PLATTED IN MAY 2014, BY GARY G. GIANNETTA

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF FRESNO, CITY OF CLOVIS, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP NO. 7457, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 52, PAGE 100 OF PARCEL MAPS, FRESNO COUNTY RECORDS, TOGETHER WITH THE WEST 100.00 FEET OF PARCEL 2 OF PARCEL MAP NO. 3137, RECORDED IN BOOK 20, PAGE 78 OF PARCEL MAPS, FRESNO COUNTY RECORDS.

EXCEPTING THEREFROM ALL THAT PROPERTY CONVEYED TO THE CITY OF CLOVIS, A MUNICIPAL CORPORATION, RECORDED APRIL 14, 2014, INSTRUMENT NO. 2014-0041525 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THE EAST 20.00 FEET OF PARCEL 1 OF PARCEL MAP NO. 7457, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 52 OF PARCEL MAPS AT PAGE 100, FRESNO COUNTY RECORDS, IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA.

**NOTARY ACKNOWLEDGMENT:**

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA  
COUNTY OF FRESNO

ON \_\_\_\_\_, BEFORE ME, \_\_\_\_\_ WHO  
PERSONALLY APPEARED \_\_\_\_\_ WHO  
PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S)  
WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED  
TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED  
CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE  
PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED  
THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF  
CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE \_\_\_\_\_

NAME \_\_\_\_\_

COUNTY OF \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

MY COMMISSION NUMBER \_\_\_\_\_

**THIS PROPERTY IS SUBJECT TO THE FOLLOWING:**

1. ANY SPECIAL TAX WHICH IS NOW A LIEN AND THAT MAY BE LEVIED WITHIN THE CITY OF CLOVIS BY COMMUNITY FACILITIES DISTRICT NO. 2004-1, ENTITLED AS AMENDED NOTICE OF SPECIAL TAX LIEN BY THE CITY OF CLOVIS, RECORDED SEPTEMBER 11, 2015 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2015-0117986.
2. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DEED AND COVENANT (SLOPE EASEMENT FOR TRACT 5681)" RECORDED JULY 20, 2015 AS DOCUMENT NO. 2015-0092300 OF OFFICIAL RECORDS, FRESNO COUNTY.

**ENGINEER'S STATEMENT:**

THE SURVEY FOR THIS MAP WAS MADE BY ME OR UNDER MY DIRECTION AND IS TRUE AND COMPLETE AS SHOWN.

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF SAMUEL A. LUCIDO ON MAY 1, 2014. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS ON OR BEFORE ONE YEAR OF THE DATE THIS MAP IS RECORDED, OR ANY TIME EXTENSION APPROVED BY THE CITY ENGINEER. THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENSURE THE SURVEY TO BE RETAINED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

GARY GIANNETTA, R.C.E. 26998 LIC. EXP. 3-31-17

DATE

**CITY ENGINEER'S STATEMENT**

I, STEVEN E. WHITE, CITY ENGINEER OF THE CITY OF CLOVIS, HEREBY STATE THAT I HAVE CAREFULLY EXAMINED THIS MAP, THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF, AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, HAVE BEEN COMPLIED WITH.

STEVEN E. WHITE R.C.E. 37402 EXP. 6/30/18  
CITY ENGINEER

DATE

**CITY SURVEYOR'S STATEMENT**

I, MICHAEL J. HARRISON, CITY SURVEYOR OF THE CITY OF CLOVIS, HEREBY STATE THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT, PURSUANT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT.

MICHAEL J. HARRISON P.L.S. 8088 EXP. 3/31/16  
CITY SURVEYOR

DATE

**CITY CLERK'S CERTIFICATE**

I, JOHN HOLT, DO HEREBY CERTIFY THAT THE COUNCIL OF THE CITY OF CLOVIS BY RESOLUTION ADOPTED ON \_\_\_\_\_, 2016 APPROVED THE WITHIN MAP AND ACCEPTED SUBJECT TO IMPROVEMENT ON BEHALF OF THE PUBLIC ANY REAL PROPERTY AND EASEMENTS OFFERED FOR DEDICATION FOR PUBLIC USE IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION.

DATE: \_\_\_\_\_ BY: JOHN HOLT, CITY CLERK

**RECORDER'S CERTIFICATE:**

DOCUMENT NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016, AT \_\_\_\_\_ M. IN VOLUME \_\_\_\_\_  
OF PLATS AT PAGES \_\_\_\_\_ AND \_\_\_\_\_ FRESNO COUNTY RECORDS, AT THE REQUEST  
OF GARY G. GIANNETTA

PAUL A. DICTOS, C.P.A., FRESNO COUNTY ASSESSOR-RECORDER

BY: \_\_\_\_\_  
DEPUTY

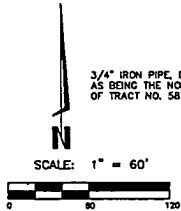
PREPARED BY:  
GARY GIANNETTA  
1118 "B" STREET  
FRESNO, CALIFORNIA 93721  
(509) 284-3280

# **BASIS OF BEARINGS**

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT Diablo BASE AND MERIDIAN TAKEN AS BEARING N 00°04'40" W AS PER TRACT MAP NO. 5871, RECORDED IN VOLUME 83, PAGES 52-54 OF PLATS, F.C.R.

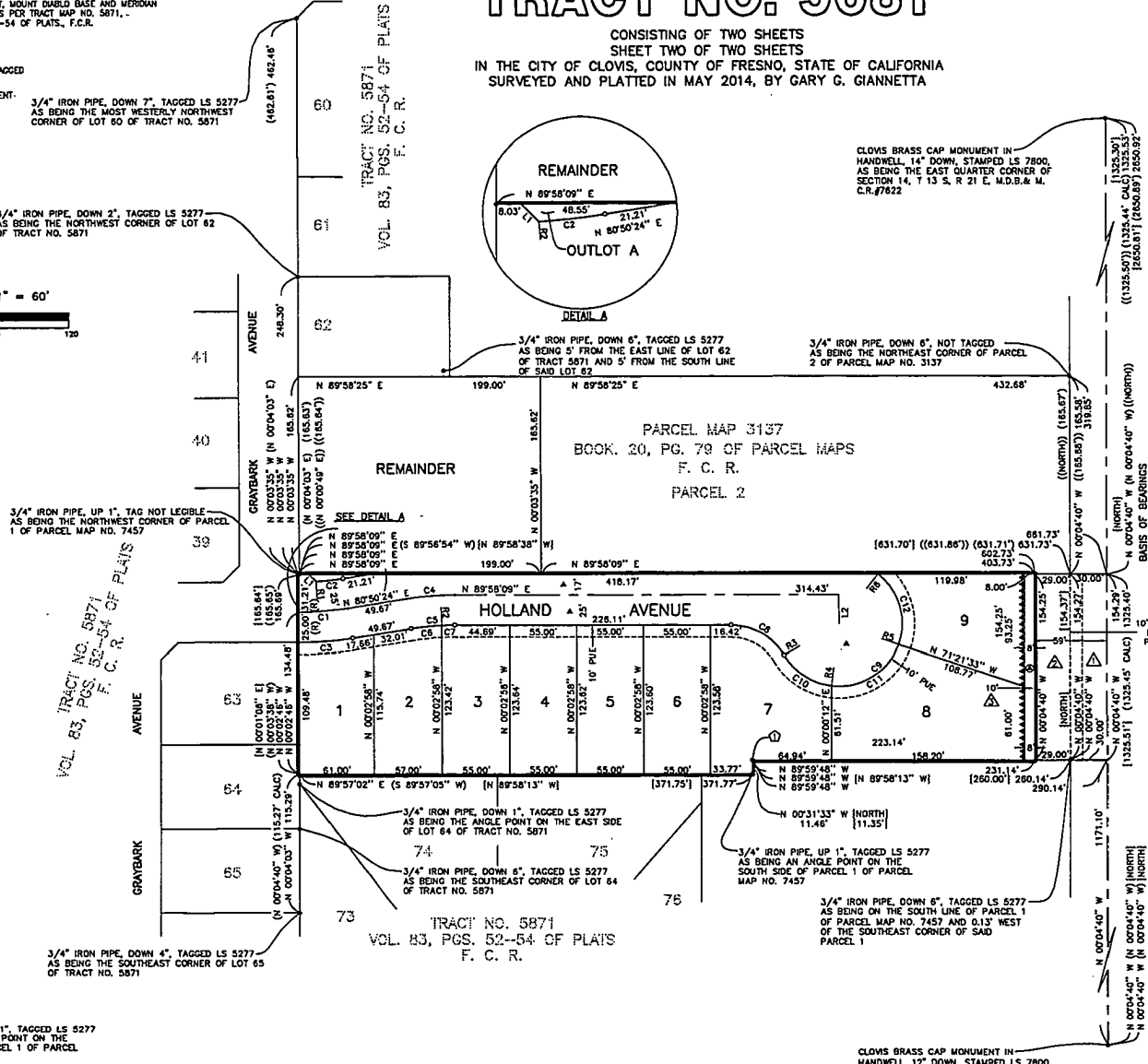
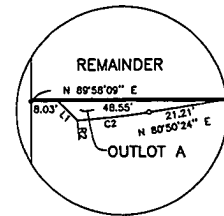
## **NOTE:**

1. SET 3/4" IRON PIPE, 6" DOWN, TAGGED RCE 26996 AT ALL LOT CORNERS.
2. OUTLOT A FOR FUTURE DEVELOPMENT.
3. 3/4" IRON PIPE, DOWN 7", TAGGED LS 5277 AS BEING THE MOST WESTERLY NORTHWEST CORNER OF LOT 50 OF TRACT NO. 5871



# **TRACT NO. 5681**

CONSISTING OF TWO SHEETS  
SHEET TWO OF TWO SHEETS  
IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA  
SURVEYED AND PLATTED IN MAY 2014, BY GARY G. GIANNETTA



## **LEGEND:**

- MONUMENT FOUND AND ACCEPTED AS NOTED
- SET 3/4" IRON PIPE, 30" LONG, 6" DOWN BELOW GROUND, TAGGED R.C.E. 26996
- ( ) RECORD DATA AS PER TRACT NO. 5871, RECORDED IN VOLUME 83, PAGES 52 THROUGH 54 OF PLATS, FRESNO COUNTY RECORDS
- | | RECORD DATA AS PER PARCEL MAP NO. 7457, RECORDED IN BOOK 32, PAGE 100 OF PARCEL MAPS, FRESNO COUNTY RECORDS
- (( )) RECORD DATA AS PER PARCEL MAP NO. 3137, RECORDED IN BOOK 20, PAGE 79 OF PARCEL MAPS, FRESNO COUNTY RECORDS
- AAAAA INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS
- CALC CALCULATED FROM RECORD DATA
- F.C.R. FRESNO COUNTY RECORDS
- (R) DENOTES RADIAL BEARING
- BLUE BORDER INDICATES THE LIMITS OF THIS SUBMISSION
- △ 20' ROAD EASEMENT PREVIOUSLY DEEDED TO THE COUNTY OF FRESNO FOR PUBLIC STREET PURPOSES PER DEED RECORDED APRIL 28, 1904 IN VOLUME 219, PAGE 374 OF DEEDS, F.C.R.
- △ 29' PREVIOUSLY GRANT DEEDED TO THE CITY OF CLOVIS FOR PUBLIC STREET PURPOSES PER DEED RECORDED APRIL 14, 2014 AS DOCUMENT NO. 2014-0041525, F.C.R.
- △ 10' PUBLIC UTILITY EASEMENT PREVIOUSLY GRANT DEEDED TO THE CITY OF CLOVIS PER DEED RECORDED APRIL 14, 2014 AS DOCUMENT NO. 2014-0041526, F.C.R.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES.

- A NOW OFFERED FOR DEDICATION FOR PUBLIC STREET PURPOSES
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED IN FEE FOR PUBLIC PURPOSES.

- ⊙ NOW OFFERED FOR DEDICATION

RADIAL	DIRECTION
R1	S 03°35'42" E
R2	N 02°39'28" W
R3	S 09°50'09" W
R4	S 06°40'20" W
R5	S 70°27'11" E
R6	N 37°55'38" E

LINE	DIRECTION	DISTANCE
L1	N 45°56'29" W	0.30'
L2	N 00°04'40" W	24.00'

CURVE	DELTA	TANGENT	RADIUS	LENGTH
C1	09°08'50"	19.93'	250.00'	39.77'
C2	05°32'54"	10.90'	225.00'	21.79'
C3	09°06'51"	21.82'	275.00'	43.74'
C4	09°07'45"	19.98'	250.00'	39.83'
C5	09°07'45"	17.95'	225.00'	35.85'
C6	08°30'08"	12.78'	225.00'	25.53'
C7	02°57'57"	5.16'	225.00'	10.32'
C8	66°00'00"	28.87'	50.00'	52.36'
C9	20°02'31"	10.13'	52.00'	183.37'
C10	53°17'49"	28.09'	52.00'	48.37'
C11	77°07'31"	41.45'	52.00'	70.00'
C12	71°37'11"	37.52'	52.00'	65.00'

## **MONUMENTS**

- ⊙ 3/4" IRON PIPE, UP 1", TAGGED LS 5277 AS BEING AN ANGLE POINT ON THE SOUTH SIDE OF PARCEL 1 OF PARCEL MAP NO. 7457

CLOVIS BRASS CAP MONUMENT IN HANDWELL, 12" DOWN, STAMPED LS 7800, AS BEING THE SOUTHEAST CORNER OF SECTION 14, T 13 S, R 21 E, M.D.B. & M. C.R.#7854



AGENDA ITEM NO: **CC-G-1**

City Manager: *[Signature]*

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council  
FROM: Police Department  
DATE: February 1, 2016  
SUBJECT: Approval - Waive the City's Standard Purchasing Procedure for Purchase of 15 body worn video cameras from TASER International.

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

Waive the City's standard purchasing procedure and approve the proposal of (15) TASER Axon model body worn cameras and associated hardware and software by TASER International for the proposal total price of \$26,134.41 for the first year, which also includes applicable hardware and storage costs through EVIDENCE.COM which is used by the TASER products.

### **BACKGROUND**

Included in the FY2015/2016 Police Department Budget are funds allocated for body camera purchase.

Staff is requesting to purchase and deploy 15 Body Worn Cameras to be used by 15 Police Department Patrol Officers. Funding for this expenditure is within the current Police Department budget for this fiscal year.

Between December 18, 2013 and approximately January of 2014, the Police Department field tested body cameras for its officers. The camera system selected for the test was the TASER brand AXON model cameras in both the body version and flex

versions. The body version is a single-unit on-officer camera about the size of a deck of cards. It mounts on the front of the Officer's uniform or vest carrier. It has an activation button on the front of the camera and retains a 30 second buffer to retain unexpected events. The flex version is a more compact point-of-view video system with flexible mounting options. The Flex can be worn in a number of different positions, including on an officer's eyewear, collar, epaulette, ball cap, helmet, and more. This version also includes a 30 second buffer.

These two cameras types are manufactured and sold by TASER and are clearly one of the most common B.W.C. (body worn camera) brands throughout California law enforcement agencies. The selection of this vendor and models of cameras was based on a variety of criteria such as: price, storage abilities, ease of use, evidence management protocols, durability, and data. A large component of our testing was the gathering of information and experiences from other law enforcement agencies currently using body cameras. It was clear that TASER is the industry leader in this area and offered superior cameras, mounting options and a more versatile and secure data storage through EVIDENCE.COM. Several agencies around California, including the larger agencies such as LAPD and San Diego PD, and across the U.S. have chosen and deployed TASER products for their body camera programs. Local agencies including Fresno PD have also chosen TASER and deployed them with success. The Fresno County District Attorney's office is also currently working with local agencies on using the cloud based evidence storage, EVIDENCE.COM used by TASER, to access necessary video evidence for prosecutions. They have expressed their strong desire that all local agencies use the TASER and EVIDENCE.COM systems for continuity, security, and ease of use. The Fresno County District Attorney's Office currently has the ability to access and view video data from TASER B.W.C.s utilized by Fresno Police.

The focus of our test period was to compare the cameras for ease of use, reliability, durability and storage/evidence capabilities. The Police Department did not collect statistical data (i.e. complaint clearances, use of force incidents, etc.) regarding the effectiveness of body worn cameras during this test period. There have been numerous studies that have shown that body worn cameras reduce complaints, lawsuits, and use of force incidents. This test period was to determine the TASER camera model that would best fit the operational needs of the Police Department if or when the time came that we needed to deploy them. Policy and procedures will not be finalized until a camera system is selected, purchased, and training requirements are established.

After the test period and significant information gathering from other agencies, it was determined that TASER and their camera products were superior than that provided by other vendors, and would be more consistent with what many agencies are using. TASER is a vendor well known to the Police Department as we currently use TASER brand ERD (electronic restraint device) products, and are familiar with their outstanding customer service. We have been a customer of TASER in this capacity for approximately 18 years.

City Council Report  
PD – Body Worn Cameras  
February 1, 2016

TASER International gave the following proposal cost for 15 AXON FLEX model cameras and its associated storage costs:

SALESPERSON	PHONE	EMAIL	DELIVERY METHOD	PAYMENT METHOD
Dan Hilderman		dhilderman@taser.com	Fedex - Ground	Net 30

\*Note this will vary based on the shipment date of the product.  
Due Net 30

QTY	ITEM #	DESCRIPTION	UNIT PRICE	TOTAL BEFORE DISCOUNT	DISCOUNT (\$)	NET TOTAL
2	70026	EVIDENCE.COM DOCK, AXON SIX BAY	USD 1,495.00	USD 2,990.00	USD 0.00	USD 2,990.00
15	85079	TASER ASSURANCE PLAN ETM/ EVIDENCE.COM DOCK ANNUAL PAYMENT	USD 36.00	USD 540.00	USD 0.00	USD 540.00
2	70033	WALL MOUNT BRACKET, ASSY, EVIDENCE.COM DOCK	USD 35.00	USD 70.00	USD 0.00	USD 70.00
15	85078	ULTIMATE EVIDENCE.COM ANNUAL PAYMENT	USD 660.00	USD 9,900.00	USD 0.00	USD 9,900.00
300	85110	EVIDENCE.COM INCLUDED STORAGE	USD 0.00	USD 0.00	USD 0.00	USD 0.00
1,200	85035	EVIDENCE.COM STORAGE	USD 1.50	USD 1,800.00	USD 0.00	USD 1,800.00
15	73096	CAMERA SYSTEM, AXON FLEX	USD 599.00	USD 8,985.00	USD 0.00	USD 8,985.00
15	73088	RATCHET COLLAR/VERSATILE/ CAPMOUNT, FLEX	USD 0.00	USD 0.00	USD 0.00	USD 0.00
15	73036	CONTROLLER, HOLSTER, BELT CLIPS, FLEX	USD 0.00	USD 0.00	USD 0.00	USD 0.00
						USD 1,849.41
						USD 26,134.41

## FISCAL IMPACT

Taser's proposed price for the first year to purchase the cameras and all associated hardware and digital storage is \$26,134.41. This is within the funds allocated for this project by the Chief of Police through grant funding. Subsequent years two thru five will require additional funding of \$13,098.70 each year to maintain the equipment and storage of the digital evidence for the 15 cameras.

## REASON FOR RECOMMENDATION

The Police Department recognizes the importance of body cameras in today's law enforcement environment. The utilization of body cameras provides for improvement in several areas including:

- reducing liability
- documenting vital criminal evidence
- increasing both officer and citizen accountability
- increased efficiency in case preparation

Our intention with this purchase is to start a body camera program to stay current with existing technology and future changes in the way we will be expected to police the city



and prosecute criminal cases. With the anticipated success of the initial start-up program, we would look forward to purchasing additional cameras and expanding the needed equipment and storage for digital media. This necessary expansion of the program will require additional funding in subsequent years.

Pursuant to the City's Purchasing Procedures, the City Manager must approve purchases of goods/services over \$25,000 up to \$45,000.

#### **ACTIONS FOLLOWING APPROVAL**

Staff will draft a purchase order for the City's Manager's approval to initiate the purchase of (15) Axon model body worn cameras and associated hardware and software by Taser International for the purchase price of \$26,134.41. Staff will initiate training and deployment of the cameras upon receipt.

Presented by: Dan Sullivan, Police Lieutenant

Submitted by:   
Matthew Basgall, Chief of Police

Approved by:   
Robert Woolley, City Manager



AGENDA ITEM NO: CC-H-1  
City Manager: [Signature]

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council  
FROM: Public Utilities Department  
DATE: February 1, 2016  
SUBJECT: Approval - Waive Formal Bidding Requirements and Authorize the Purchase of a Replacement Wheel Loader off the NJPA Contract from Quinn Company.

ATTACHMENTS: None.

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

For the City Council to waive the City's formal bidding requirements and authorize purchasing off of the National Joint Powers Alliance contract a replacement wheel loader from Quinn Company for \$489,474.51 including tax.

### **EXECUTIVE SUMMARY**

In this year's Fleet Capital budget are funds to replace a wheel loader in the Solid Waste Landfill section of the Public Utilities Department. The equipment being replaced is due for replacement based on age, and overall condition. The competitively bid contract price is \$489,474.51 including sales tax.

## **BACKGROUND**

The recommended vehicle is available through the National Joint Powers Alliance (NJPA) contracts, which are competitively bid on a nationwide basis. The City has used these contracts in the past as they are very competitive.

## **FISCAL IMPACT**

Funds were included in the 2015-16 Fleet Capital budget and the user department will have accumulated the necessary funds for the equipment replacement. The recommended vehicle is available through the NJPA contract, which is competitively bid on a nationwide basis.


## **REASON FOR RECOMMENDATION**

The vehicle to be replaced is a 1983 model that doesn't meet new emissions requirements. A replacement loader will be more dependable, will meet the new emissions requirements and will be covered by a warranty. The proposed method of purchasing the equipment is cost effective and funds are available.

## **ACTIONS FOLLOWING APPROVAL**

A purchase order will be prepared for the City Manager's approval and sent to the vendor.

Prepared by: Lisa Koehn, Assistant Public Utilities Director

Submitted by: Luke Serpa, Public Utilities Director 



AGENDA ITEM NO: **1-A-1&2**

City Manager: 

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: February 1, 2016

SUBJECT: Consider items associated with approximately 4.41 acres of property located near the northwest corner of Peach and Stuart Avenues. Akins Family Trust, Mid Valley Services, Inc; owners, Beal Development, LLC; applicant; Precision Civil Engineering, Inc, representative. These items were continued from the January 11, 2016 meeting.

- a. Consider Approval, Res. 16-\_\_\_\_, **CUP2015-07**, A request to approve a 27-lot single-family planned residential development with public streets, public sidewalks, reduced setbacks with a minimum lot size of 3,916 square feet and an average of 5,115 square feet.
- b. Consider Approval, Res. 16-\_\_\_\_, **TM6125**, A request to approve a 27-lot vesting tentative tract map.

### **ATTACHMENTS:**

Figure 1:	Location Map
Exhibit "A:"	Conditions of Approval
Attachment 1:	Draft Resolutions
Attachment 2:	Correspondence
Attachment 3:	Letters from Residents
Exhibit "B:"	Vesting Tentative Map TM6125
Exhibit "C:"	Previously approved TM4293
Exhibit "D:"	Previously Approved TM5789
Exhibit "E:"	Floor and Elevation Plans

### **CONFLICT OF INTEREST**

None

## RECOMMENDATION

Planning Commission and staff recommend that the City Council:

1. Approve CUP2015-07, subject to the conditions of approval attached as Exhibit "A", and
2. Approve a Vesting Tentative Tract Map TM6125 subject to the conditions of approval listed as Exhibit "A;" and
3. Make a finding of consistency that the dedication toward public right-of-way is proportionate to the development being requested.

## EXECUTIVE SUMMARY

The applicant is requesting to construct a 27-lot planned residential development located near the northwest corner of Peach and Stuart Avenues. The Project includes a Conditional Use Permit to allow for a 27-lot Planned Residential Development, and Vesting Tentative Tract Map. The project's density is consistent with the General Plan requirements.

## BACKGROUND

- General Plan Designation: Medium Density Residential (4.1 to 7 DU/AC)  
Medium High Residential (7.1 to 15 DU/AC)
- Specific Plan Designation: None
- Existing Zoning: R-1 (Single-Family Residential)  
R-2 (Low Density Multiple-Family Residential)
- Lot Size: Total of approximately 4.41
- Current Land Use: Vacant
- Adjacent Land Uses: North: Rural Residential/Vacant  
East: Single-Family Residential/ Church  
South: Rural Residential  
West: Multiple-Family Residential
- Previous Entitlements: R2015-12, R79-33, R91-09, CUP91-05, SPR89-22 & SPR91- 104, TM4293, TM5789



On July 1, 1991, Conditional Use Permit CUP91-05 was approved for the western 3.41 acres of the subject property permitting a 21-lot PUD inclusive of two-story single-family homes on reduced lot sizes with private streets (see Exhibit C). Tentative Map TM5789 was previously approved which included the eastern .69 acres of the Project area. TM5789 is a standard R-1 Zone District development including four lots on the south side of Escalon Avenue (see Exhibit D).

## **PROPOSAL AND ANALYSIS**

The applicant is requesting a conditional use permit for a 27-lot single-family planned residential development. The Development Code allows planned residential developments within any residential zone district subject to a conditional use permit to encourage innovative developments which are difficult under a standard zone district or are located on a challenging site due to location, size or shape. In this case, the site is an infill development inclusive of three parcels, two of which do not have access into as both are entirely enclosed by surrounding parcels.

The area is designated Medium High Residential requiring 7.1-15 units per acre which can be accomplished using a single or multiple family zoning and product. Due to the property's shape and size, the applicant is not able to meet the minimum density requirement of the General Plan. A reduction to the property standards using the Planned Residential Development Code is essential to develop this site as a single-family development.

### *Circulation and Lotting*

The project will be assessable from two entry points, one on Peach Avenue and the other on Stuart Avenue. The internal streets are public and meet the standards providing a width of 36 feet and parking on each side with the exception of Escalon Avenue. Escalon Avenue will be constructed as a two-thirds street with parking on the south side until future development to the north occurs.

There is an existing conditional use permit and tentative map on this property which includes a 21-lot Planned Residential Development with private streets. The street system approved in 1991, was recently re-evaluated using current standards. The street system approved with TM4293 does not meet the standards in respect to the depth of a street without a second point of access. The applicant is requesting approval of the proposed layout (TM6125) which provides a second point of access to Stuart Avenue.

### Development Standards

The Development Code requires the applicant to propose their own development standards. The applicant has provided a list of standards as follows:

Setbacks	Front(Garage)	Front(House)	Side	Side(Garage)	Corner	Street sides	Rear
Plan 1515	20'	15'	3'	5'	10'		20'
Plan 0847	20'	15'	3'	5'	10'		20'
Plan 0848	20'	15'	3'	5'	10'		20'

Maximum Lot Coverage:	60%
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size	3,916 square feet
Minimum Parcel Width:	40 feet
Minimum Curved Parcel Width:	31 feet
Minimum Parcel Depth:	80 feet
Minimum Corner Street Side Setback:	10 feet
Reverse Corner Street Side Setback:	15 feet
Garages:	20'x20' interior

### Models

The applicant is proposing three plans with two single-story Plans, Plan 1515 with one elevation and Plan 0847 with two elevation options, and one two-story Plan, Plan 0848 with two elevation options. All Plans include a minimum 2-car garage with a standard 20 foot deep driveway. Floor and elevation plans are included in Attachment 2.

### Perimeter Fence

The previous conditional use permit approved for a planned residential development included a condition requiring a masonry wall around the entire perimeter of the Project. Where a single-family project is proposed, the policy no longer requires a masonry wall adjacent to residential development. However, as an amenity for the Project, the developer is conditioned to construct a six-foot high masonry wall along the perimeter of the development where one does not already exist or where the existing wall does not meet the six-foot minimum height after final grading. The conditions also include a requirement that the developer notify and work with the adjacent property owners to assure that the construction does not disrupt their existing landscaping, protects pets and provides for a finished product on each side of the wall.

The topic of the masonry wall was discussed during the January 11, 2016, meeting. The cost of constructing a masonry wall for the entire perimeter verses a wood wall is approximately a \$100,000 difference. In past Planned Residential Development projects of this size, developers have provided anywhere from \$1000 to \$1500 per lot toward amenities.



Staff recommends amending condition #6 to require a wall along the west property line, the south property line adjacent to the home fronting Peach Avenue, and the street frontages at each entry (see figure below). The total wall area not already required by the development would be approximately 500 feet. A reduction equating to less than half of the wall originally conditioned. This would place a wall adjacent to existing development and a wood fence adjacent to properties that may develop some time in the future.



Figure

### Traffic Control

There was discussion to seek traffic control as part of the public amenity. The issue with conditioning this project to include traffic control is, if this project did not move forward, the traffic control would not occur. The issue of existing traffic problems should be addressed separately which staff is currently handling through grant funding and traffic safety protocol.

Subsequent to the January 11, 2016 meeting, Steve White (City Engineer) met with the residents to gain an understanding of the issues. During those discussions Mr. White committed to gathering additional field information specific to traffic volume and speed in the area.



Staff conducted speed surveys on Peach, Escalon and Stuart Avenues as well as traffic counts within the neighborhood. Staff will be coming back to the Council with a recommendation for traffic/pedestrian mitigation in the area which may include additional crosswalks, stops signs and sidewalks.

#### Vesting Tentative Tract Map

The applications include a Vesting Tentative Tract Map TM6125. The map is consistent with the requirements of the Subdivision Map Act.

#### Neighborhood Meeting

The applicant held a neighborhood meeting on December 01, 2015, at the Clovis Memorial Building. Approximately 11 residents were in attendance along with the project team and City Staff. Major concerns raised included traffic, water impacts, and wildlife.

Neighbors are concerned with the impact the project may have to the existing morning traffic volume when students are being dropped off at Cole Elementary School and normal morning commutes. Alone, the density of the proposed project is less than what is required for property with a designated General Plan Density of Medium High. The City's Engineering Division has no traffic concerns for the area.

Residents raised concerns of development while in a state of water shortage. The City's Engineering Division had the opportunity to review the project and had no concerns with the service of water to the proposed development.

A biological resources survey was conducted for the subject property by H.T. Harvey and Associates Ecological Consultants and no evidence of special-status species or nesting was found on the project site during the survey.

#### Public Comments

A public notice was sent to area residents within 600 feet of the property boundaries. Staff received two letters from the community expressing concerns of additional homes in the area and impacts to traffic (see Attachment 4).

#### Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, State Department of Fish and Game, and the County of Fresno.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

### Planning Commission

The Planning Commission considered the proposed project at their December 17, 2015, meeting. The main concern from those who spoke in opposition of the project is the existing high volume of traffic in the morning from students being dropped off at Cole Elementary School and the normal morning commutes. Neighbors are concerned of the added impact the new development may have on the morning traffic. Commissioner Hinkle had concerns regarding the traffic accidents in the area involving the lack of visibility of oncoming traffic when exiting the neighborhood from Helm Avenue on to Bullard Avenue.

City of Clovis Engineering staff is currently assessing the traffic related accidents in the area as well as the adequacy of traffic signs around the area. Findings will be reported to the concerned neighbors and Commissioner Hinkle.

### California Environmental Quality Act (CEQA)

The Project Item is exempt from CEQA pursuant to a Class 32 categorical exemption. Class 32 exemptions consist of in-fill development less than 5 acres in size meeting the conditions described in California Government Code Section 15332(a), (b), (c), (d) and (e). A Notice of Exemption has been completed during the preliminary review and is kept for public review with the project file during the processing of the project application. Staff will file the notice with the County Clerk if the project is approved.

The City published notice of this public hearing in The Business Journal on Wednesday, December 30, 2015.

### **FISCAL IMPACT**

None

### **REASONS FOR RECOMMENDATION**

The proposal for a conditional use permit and vesting tentative tract map are consistent with the goals and policies for the General Plan and Development Code. Staff and the Planning Commission therefore recommends that the City Council approve CUP2015-07, and TM6125 subject to the conditions of approval attached as Exhibit "A".

The findings to consider when making a decision on a conditional use permit application include:

1. The Planned Development Permit would:



- a. Be allowed within the subject base zoning district;
  - b. Be consistent with the purpose, intent, goals, policies, actions, and land use designations of the General Plan and any applicable specific plan;
  - c. Be generally in compliance with all of the applicable provisions of this Development Code relating to both on and off-site improvements that are necessary to accommodate flexibility in site planning and property development and to carry out the purpose, intent, and requirements of this Division and the subject base zoning district, including prescribed development standards and applicable design guidelines; and
  - d. Ensure compatibility of property uses within the zoning district and general neighborhood of the proposed development.
2. The proposed project would produce a comprehensive development of superior quality (e.g., appropriate variety of structure placement and orientation opportunities, appropriate mix of structure sizes, high quality architectural design, increased amounts of landscaping and open space, improved solutions to the design and placement of parking facilities, incorporation of a program of enhanced amenities, etc.) than which might otherwise occur from more traditional development applications;
  3. Proper standards and conditions have been imposed to ensure the protection of the public health, safety, and welfare;
  4. Proper on-site traffic circulation and control is designed into the development to ensure protection for fire suppression and police surveillance equal to or better than what would normally be created by compliance with the minimum setback and parcel width standards identified in Article 2 (Zoning Districts, Allowable Land Uses, and Zone Specific Standards);
  5. The subject parcel is adequate in terms of size, shape, topography, and circumstances to accommodate the proposed development; and
  6. The design, location, operating characteristics, and size of the proposed development would be compatible with the existing and future land uses in the vicinity, in terms of aesthetic values, character, scale, and view protection.

The findings to consider when making a decision on a tentative subdivision map application are as follows:

1. The proposed map is consistent with applicable general and specific plans;
2. The design or improvement of the proposed subdivision is consistent with applicable general and specific plans;
3. The site is physically suitable for the type of development;
4. The site is physically suitable for the proposed density of development;
5. The design of the subdivision or the type of improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
6. The design of the subdivision or the type of improvements is not likely to cause serious public health problems; and

7. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through the use of property within the proposed subdivision.
8. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board;
9. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities; and
10. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

In light of court decisions, it is appropriate for the City to make findings of consistency between the required dedications and the proposed development. Every dedication condition needs to be evaluated to confirm that there is a rough proportionality, or that a required degree of connection exists between the dedication imposed and the proposed development. The City of Clovis has made a finding that the dedication of property for this rezone satisfies the development's proportionate contribution to the City's circulation system. The circulation system directly benefits the subject property by providing access and transportation routes that service the site. Further, the circulation system also enhances the property's value.

#### **ACTIONS FOLLOWING APPROVAL**

None


#### **NOTICE OF HEARING**

Property Owners within 600 feet notified:	123
Interested individuals notified:	10

Prepared by: Bryan Araki, City Planner

Submitted by:

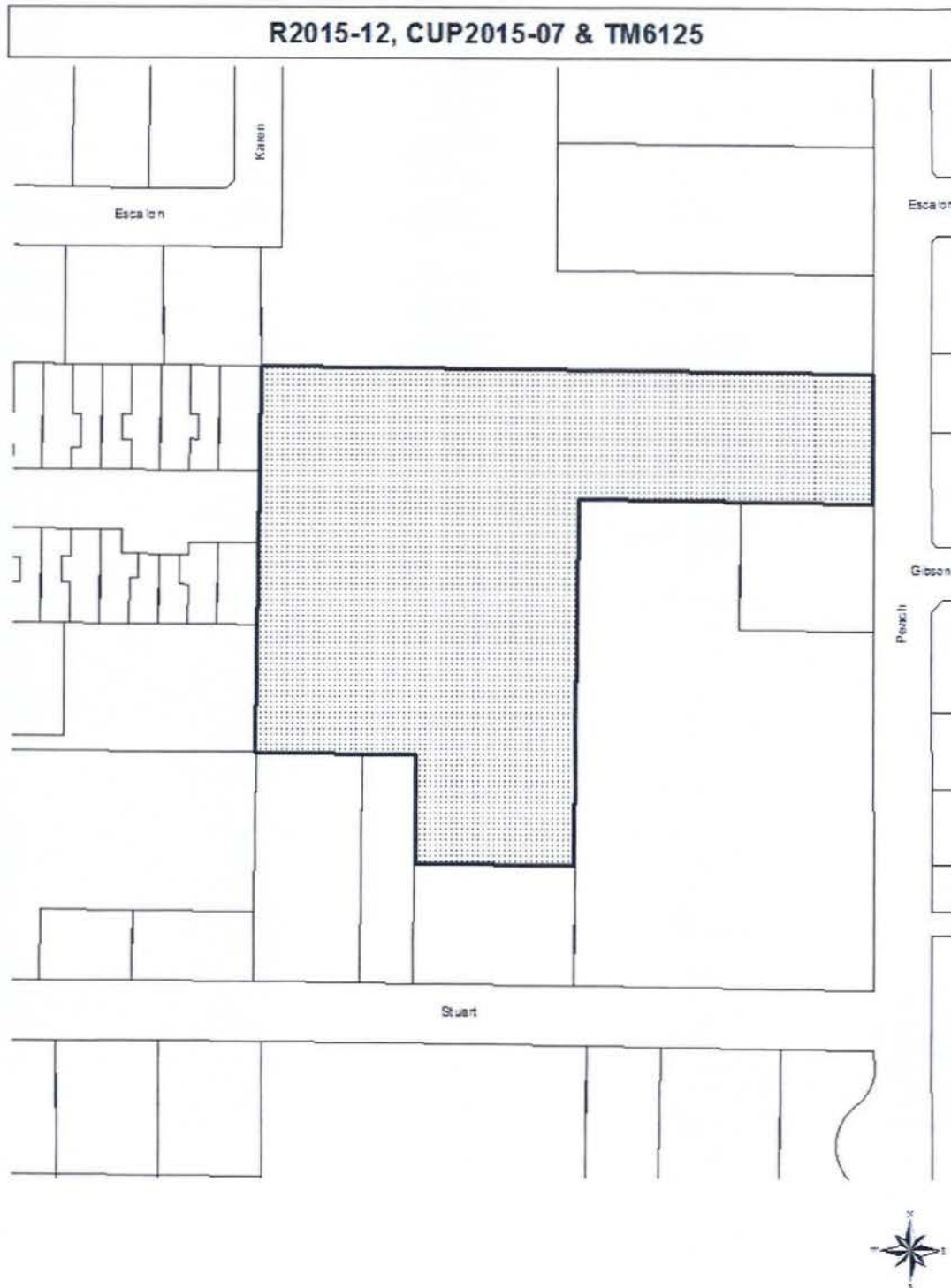
  
Bryan Araki  
City Planner

  
Dwight Kroll, AICP  
Director of PDS

J:\Planning Projects\Rezone\R 2015\R2015-12 (Beal TM6125)\Documents\PDS - CC Staff Report R2015-12, TM6125 (ba).doc



**FIGURE 1  
PROJECT LOCATION MAP**



**EXHIBIT "A"**  
**Conditions of Approval – CUP2015-07 & TM6125**

**Planning Division Conditions**

(Lily Cha, Division Representative – (559) 324-2335)

1. This Project requires the submittal and approval of a residential site plan review. Specific color and materials of the models, walls, fencing will be evaluated.
2. All development shall be per the provided Planned Residential Development standards as follows:

Setbacks	Front(Garage)	Front(House)	Side	Side(Garage)	Corner Street sides	Rear
Plan 1515	20'	15'	3'	5'	10'	20'
Plan 0847	20'	15'	3'	5'	10'	20'
Plan 0848	20'	15'	3'	5'	10'	20'

Maximum Lot Coverage:	60%
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size	3,916 square feet
Minimum Parcel Width:	40 feet
Minimum Curved Parcel Width:	31 feet
Minimum Parcel Depth:	80 feet
Minimum Corner Street Side Setback:	10 feet
Reverse Corner Street Side Setback:	15 feet
Garages:	20'x20' interior

3. Reverse corner lots shall have a minimum 15 feet street side setback.
4. Garages shall have a 20' x20' clear area. Any reduction in garages sizes would require a variance.
5. The developer shall be responsible for the upkeep of the 2,128 square feet of designated land remainder.
6. A 6 foot tall masonry wall shall be provided along the perimeter of the project **as approved with figure in the staff report**. The developer shall notify all adjacent property owners and coordinate the construction to assure that landscaping is not disrupted, pets are protected, and the finish of the wall is adequate on both sides.
7. The developer shall enter into a Covenant Agreement regarding a "right to farm," for adjacent property owners. Such agreement shall be disclosed to all future home buyers.



8. Upon final recordation of this tentative tract map, it shall be the applicant's responsibility to furnish to the Planning Department a minimum of two scale copies of the original map obtained from the Fresno County Recorder's Office.
9. The applicant shall obtain City approval in advance of temporary and permanent subdivision signs through separate sign review, consistent with the development criteria of the Clovis Municipal Code Sign Ordinance.
10. The applicant shall record a Notice of Nonconformance dealing with any structure used for model homes where the garage is converted for the use as a sales office.
11. The applicant shall relay all conditions of approval for Tentative Tract Map TM6125 to all subsequent purchasers of individual lots, if applicable, and/or to subsequent purchasers of this entire tract map development.
12. This tentative map is approved per the attached Exhibit "B" of this report.
13. Landscaping shall comply with the City's most recent Water Efficient Landscape Requirements.
14. No more than two of the same unit type (floor layout and exterior materials package) shall be repeated side by side. When two of the same units are repeated side by side, they shall be different colors. These identical provisions may be waived by the City Planner on a specific lot basis within the project when the size or configuration of a lot would otherwise prevent compliance with the above requirements of any other siting or setback/yard requirements established under this application. If such a waiver is requested, the developer and City Planner shall work together to ensure that any sitings of units not in compliance with the above requirements shall be of different materials and elevations in order to minimize any adverse visual impacts that may result.

**POLICE DEPARTMENT CONDITIONS**

**(John Willow, Department Representative - 324-2400)**

15. Construction work shall be limited to the hours set forth in the Clovis Municipal Code. (CMC § 5.18.15.)
16. It shall be the responsibility of the property owner to maintain the structures and adjoining fences to the project free of graffiti. All forms of graffiti shall be removed within 72 hours. (CMC §§ 5.18.02(r), 5.18.06 (b).)
17. Emergency phone numbers for responsible parties shall be kept current during the building phase of the project.

18. All construction materials shall be located within a secured area or monitored by security staff during non-construction hours.
19. Fire apparatus access width shall be determined by measuring from "base of curb" to "base of curb" for roadways that have curbs. When roadways do not have curbs, the measurements shall be from the edge of the roadway surface (approved all weather surface).

**FIRE DEPARTMENT CONDITIONS**

**(Gary Sawhill, Department Representative - 324-2224)**

20. Minimum Access Road Width of 36 feet for Single Family Residences. Roads 36 feet or wider allow for Parking on both sides of street.
21. All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45')
22. The applicant shall provide all weather access to the site during all phases of construction to the satisfaction of the approved Clovis Fire Department Standard #1.2 or #1.3.
23. Any development to this parcel will require a minimum of two (2) points of access to be reviewed and approved by the Clovis Fire Department. All required access drives shall remain accessible during all phases of construction which includes paving, concrete work, underground work, landscaping, perimeter walls.
24. The applicant shall install three (3) 4 ½" x 2 ½" approved Residential Type fire hydrant(s) and "Blue Dot" hydrant locators, paint fire hydrant(s) yellow with blue top and caps, and paint the curb red as specified by the adopted Clovis Fire Department Standard #1.4. Plans shall be submitted to the Clovis Fire Department for review and approval prior to installation. The hydrant(s) shall be charged and in operation prior to any framing or combustible material being brought onto the site.
25. The applicant shall install approved looped water main capable of the necessary flow of water for adequate fire protection and approved by the Clovis Fire Department.

**CLOVIS UNIFIED SCHOOL DISTRICT CONDITIONS**

**(Michael Johnston, CUSD Representative – 559-327-9000)**

26. The development of this project is subject to the Clovis Unified School District impact fee. See the attached letter.



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT CONDITIONS**  
**(Michael Maxwell, FMFCD Representative - 456-3292)**

27. The Applicant shall refer to the attached FMFCD requirements. If the list is not attached, please contact the District for the list of requirements.

**FRESNO IRRIGATION DISTRICT CONDITIONS**  
**(Laurence Kimura, FID Representative – 233-7161)**

28. The Applicant shall refer to the attached FID correspondence. If the list is not attached, please contact the District for the list of requirements.

**COUNTY OF FRESNO DEPARTMENT OF PUBLIC HEALTH COMMENTS**  
**(Kevin Tsuda, County of Fresno Representative – 600-3271)**

29. The Applicant shall refer to attached County of Fresno Department of Public Health recommended conditions of approval. See the attached letter.

**DEPARTMENT OF TRANSPORTATION – CAL TRANS**  
**(Michael Navarro, Cal Trans Representative - 445-5868)**

30. The Applicant shall refer to attached Department of Transportation conditions of approval. See attached letter.

**ENGINEERING / UTILITIES / SOLID WASTE DIVISION CONDITIONS**  
**(Mike Harrison, Engineering Division Representative – 324-2365)**  
**(Lisa Koehn, Department Representative – 324-2607)**  
**(Luke Serpa, Solid Waste Division Representative – 324-2614)**

**Maps and Plans**

31. The applicant shall have a final tract map prepared, in the form prescribed by the Subdivision Map Act and City of Clovis Municipal Code. The final tract map shall be submitted to the City of Clovis Engineering Division, and should include, but not be limited to, final tract map, the current filing fee, closure calculations, current preliminary title report, legal descriptions and drawings of required dedications.
32. The applicant shall submit to the City of Clovis Engineering Division, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements. These plans shall be prepared by a registered civil engineer, and shall include a site grading and drainage plan and an overall site utility plan showing locations and sizes of sewer, water, irrigation, and storm drain mains, laterals, manholes, meters, valves, hydrants, other facilities, etc.



Plan check and inspection fees per City of Clovis Resolution No. 03-152 shall be paid with the first submittal of said plans. All plans shall be approved by the City and all other involved agencies prior to the release of any development permits.

33. Prior to the initial submittal of the improvement plans, the applicant shall contact Mike Harrison at (559) 324-2365 to setup a coordination meeting (Pre-submittal Meeting).
34. Upon approval of improvement plans, the applicant shall provide the City with the appropriate number of copies. After all improvements have been constructed and accepted by the City, the applicant shall submit to the City of Clovis Engineering Division one bond copy of the approved set of construction plans revised to accurately reflect all field conditions and revisions and marked "AS-BUILT" for review and approval. Upon approval of the AS-BUILTs by the City the applicant shall provide (1) reproducible and (3) copies of the AS-BUILTs to the City.

#### General

35. Applicant shall pay all applicable development fees at the rate in effect at the time of payment and prior to final map approval by Council or have the fees payable directly to the City through a separate escrow account at the time of recordation of the map.
36. For any sewer or water main, or undergrounding of utilities, or major street to be installed by the applicant and eligible for reimbursement from future developments, the applicant shall submit to the City of Clovis, all reimbursement requests in accordance with the current version of the "Developer Reimbursement Procedures"; a copy can be obtained at the City Engineer's Office.
37. The applicant shall submit a soils report or a waiver of soils report to the City of Clovis Engineering Division for approval by the City Engineer.
38. The applicant shall address all the requirements of the local utility, telephone, and cable companies. It shall be the responsibility of the applicant to notify the local utility, telephone, and cable companies for the removal or relocation of utility poles where necessary. The City shall not accept first submittals without proof that the applicant has provided the improvement plans and documents showing all proposed work to the utility, telephone, and cable companies. All utility vaults in which lids cannot be sloped to match proposed finished grading, local utilities have 5% max slope, shall be located in sidewalk areas with pedestrian lids so the lid slope matches sidewalk cross slope.
39. The applicant shall contact and address all requirements of the United States Postal Service - Clovis Office for the location and type of mailboxes to be



installed. The location of the facilities shall be approved by the City Engineer prior to approval of improvement plans or any construction.

40. The applicant shall contact and address Caltrans requirements.
41. The applicant shall address all conditions, and be responsible for obtaining encroachment permits from the City of Clovis for all work performed within the City's right-of-way and easements.
42. The applicant shall install all improvements within public right-of-way and easements in accordance with the City of Clovis standards, specifications, master plans, and record drawings in effect at the time of improvement plan approval.
43. The applicant shall provide and pay for any compaction tests in recompacted areas as a result of failure to pass an original compaction test. Original compaction tests shall be provided and paid for by the City and their locations designated by the City Engineer.
44. All existing overhead and new utility facilities located on-site, within alleys, or within the street right-of-way along the streets adjacent to this tract shall be undergrounded unless otherwise approved by the City Engineer.

#### Dedications and Street Improvements

45. The applicant shall provide right-of-way acquisition or dedicate free and clear of all encumbrances and/or improve the following streets to City standards. The street improvements shall be in accordance with the City's specific plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the type, location, and grades of existing improvements.
46. Escalon Avenue - provide right-of-way acquisition for 25' (exist 0') south and 16' (exist 0') north of the centerline and improve with curb, gutter, sidewalk, drive approaches, curb return ramps, street lights, 28' (16+12) of permanent paving, 3' paved swale, and all transitional paving as required.
47. Karen Avenue - between the south property line and Stuart Avenue, provide right-of-way acquisition for 25' (exist varies) east and 16' (exist varies) west of the centerline and improve with curb, gutter, sidewalk, curb return ramps, street lights, 28' (16+12) of permanent paving, 3' paved swale, and all transitional paving as required.
48. Interior streets dedicate to provide for 54' right-of-way and improve with curb, gutter, sidewalk, drive approaches, curb return ramps, streetlights, 36' permanent paving except in cul de sac, and all transitional paving as needed.

49. If the applicant chooses the Narrower Residential Street Policy, the applicant shall dedicate to provide for 50' right-of-way and improve with curb, gutter, sidewalk, drive approaches, curb return ramps, streetlights, 32' permanent paving except in cul de sac, and all transitional paving as needed. The maximum distance for a narrow 50' wide street is 1000' to 54' wide or wider street.
50. Applicant shall provide a dedication for a 10' public utility easement, where applicable, along all frontages or alternate widths approved by the utilities companies.
51. Applicant shall provide preliminary title report, legal description and drawings for all dedications required which are not on the site. All contact with owners, appraisers, etc. of the adjacent properties where dedication is needed shall be made only by the City. The City will prepare an estimate of acquisition costs including but not limited to appraised value, appraisal costs, legal costs, negotiation costs, and administrative costs. The applicant shall pay such estimated costs as soon as they are determined by the City.
52. The sideyard side of all corner lots shall have full width sidewalk except where planter strips or meandering sidewalk is proposed.
53. The applicant shall obtain "R Value" tests in quantity sufficient to represent all street areas, and have street structural sections designed by a registered civil engineer based on these "R Value" tests.
54. The applicant shall, at the ends of any permanent pavement abutting undeveloped property, install 2" x 6" redwood header boards that shall be placed prior to the street surfacing.
55. Standard barricades with reflectors shall be installed at ends of streets abutting undeveloped property and any other locations to be specified by the City Engineer.

#### Sewer

56. The applicant shall identify and abandon all septic systems to City standards.
57. The applicant shall install sanitary sewer mains of the size and in the locations indicated below, prior to occupancy. The sewer improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.



- Interior streets - install 8" mains.

58. The applicant shall install one (1) 4" sewer service house branch to each lot within the tentative tract.

#### Water

59. The applicant shall identify and abandon all water wells to City standards.

60. The applicant shall install water mains of the sizes and in the locations indicated below, and provide an adequately looped water system prior to occupancy. The water improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains will require approval of the City Engineer and must be supported by appropriate calculations.

- Interior streets - install 8" mains.

61. The applicant shall install a City standard water service to each lot of the proposed subdivision. Water services shall be grouped at property lines to accommodate automatic meter reading system, including installation of connecting conduit.

62. Prior to recording a final map of any phase, the applicant shall demonstrate to the satisfaction of the City Fire Chief and City Engineer that there is adequate water pressure to serve the units to be constructed. The applicant shall work with the City Engineer to determine the adequacy of water supply/pressure for the proposed development.

#### Grading and Drainage

63. The applicant shall contact the Fresno Metropolitan Flood Control District (FMFCD) and address all requirements, pay all applicable fees required, obtain any required NPDES permit, and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution. Plans for these requirements shall be included in the previously required set of construction plans, and shall be submitted to and approved by FMFCD prior to the release of any development permits.

64. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Clovis Standard Drawing No. M-4 as modified by the City Council. Any retaining walls required on-site or in public right of way shall be masonry construction. All retaining walls shall be designed by a registered civil engineer.



Irrigation and Landscaping Facilities

65. The owner shall request annexation to and provide a covenant for the Landscape Maintenance District. The property owner acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election will be required for the establishment of the initial assessment. The assessment for each lot must be obtained from the City for the tax year following the recordation of the final map. The estimated annual assessment per average sized lot is \$20.15, which is subject to change prior to issuance of building permit or final tract map approval and is subject to an annual change in the range of the assessment in the amount of the Consumer Price Index, U.S. City Average, All Urban Consumers (CPI Index), plus two percent (2%). The owner/developer shall notify all potential lot buyers before they actually purchase a lot that this tract is a part of a Landscape Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The owner/developer shall supply all pertinent materials for the Landscape Maintenance District.
66. The applicant shall comply with the City of Clovis Water Efficient Landscape Requirements Ordinance.
67. The applicant shall contact and address all requirements of the Fresno Irrigation District (FID). This may include dedicating easements, piping or relocating any existing FID canals and ditches, replacing any existing irrigation piping, concrete lining or improving any existing canals, construction or reconstruction of any canals, culverts, and bridge crossings. Plans for these requirements and improvements shall be included as in the previously required set of construction plans, and shall be submitted to and approved by FID prior to the release of any development permits or recording of the final tract map. If a FID or private irrigation line is to be abandoned, the applicant shall provide waivers from all downstream users.
68. The applicant shall indicate on construction drawings the depth, location and type of material of any existing Fresno Irrigation District's irrigation line along the proposed or existing street rights-of-way or onsite. Any existing canals shall be piped. The material of the existing pipe shall be upgraded to the proper class of rubber gasket pipe at all locations unless otherwise approved by the City Engineer.
69. The applicant shall apply to the Fresno Irrigation District (FID) for transfer of irrigation water rights to the City of Clovis, if the property has not already been removed from FID and transferred to the City. The applicant shall execute a "Request for Change of Relative Value" that can be obtained and processed through FID. The applicant shall provide a copy of the completed form to the City.



70. All existing agricultural irrigation systems either on-site or in public right of way, whether FID or privately owned, shall be identified prior to any construction activity on the site. Service to all downstream users of irrigation water shall be maintained at all times through preservation of existing facilities or, if the existing facilities are required to be relocated, the relocation and replacement of the existing facilities. It is the intent that downstream users not bear any burden as a result of development of the site. Therefore, the applicant shall pay all costs related to modification, relocation, or repair of any existing irrigation facilities resulting from or necessitated by the development of the site. The applicant shall identify on site plans and construction plans, all existing irrigation systems and their disposition (abandonment, repair, relocation, and/or piping). The applicant shall consult with the Fresno Irrigation District for any additional requirements for lines to be abandoned, relocated, or piped. The applicant shall provide waivers from all users **in order to abandon or modify any irrigation pipelines or for any service interruptions resulting from development activities.**
71. The applicant shall provide a perimeter wall perpetual maintenance covenant on all properties that have a perimeter wall that is installed on private property. A recordable covenant must be submitted to and approved by the City of Clovis City Engineer prior to final map approval.

#### Miscellaneous

72. The applicant shall install street lights on metal poles to local utility provider's standards at the locations designated by the City Engineer. Street light locations shall be shown on the utility plans submitted with the final map for approval. Street lights shall be owned and maintained by local utility providers. Proof of local utility provider's approval shall be provided.
73. The applicant shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City Standard ST-32 prior to final acceptance of the project. Monumentation shall include all section corners, all street centerline intersection points, angle points and beginning and end of curves (E.C.'s & B.C.'s). The applicant/contractor shall furnish brass caps. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Brass caps required for installation of new monuments or replacement of existing monuments shall be provided by the contractor/applicant and approved by City prior to installation. Within five days after the final setting of all monuments has been completed, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the

applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.

74. A deferment, modification, or waiver of any engineering conditions will require the express written approval of the City Engineer.
75. The conditions given herein are for the entire development. Additional requirements for individual phases may be necessary pending review by the City Engineer.



## **DRAFT RESOLUTIONS**

**DRAFT  
RESOLUTION 16-\_\_**

**A RESOLUTION OF THE CITY COUNCIL APPROVING TM6125 , CONSISTING OF 27-LOTS  
TO BE LOCATED NEAR THE NORTHWEST CORNER OF PEACH AND WEST STUART  
AVENUES**

The City Council of the City of Clovis resolves as follows:

**WHEREAS**, Beal Developments, LLC, 1175 Shaw Avenue #104, Clovis CA 93612, has applied for a Tentative Tract Map TM6125; and

**WHEREAS**, Vesting Tentative Tract Map TM6125 was filed on August 17, 2015, and was presented to the Clovis Planning Commission for approval in accordance with the Subdivision Map Act of the Government of the State of California and Title 9, Chapter 2, of the Municipal Code and the City of Clovis; and

**WHEREAS**, the Planning Commission has considered said map on December 17, 2015, and adopted its Resolution No. 15-69, approving said tentative map; and

**WHEREAS**, a duly noticed hearing was held on February 1, 2016; and

**WHEREAS**, this Council finds and determines that approval of said map should be conditioned on all conditions recommended by the City staff, as set forth in Exhibit "A," which is on file with the City Clerk's office.

**NOW, THEREFORE, BE IT RESOLVED** as follows:

1. The vesting tentative map of Subdivision Tract No. 6125, is hereby approved, subject to the following conditions:
  - (a) Compliance of subdivider with the Subdivision Map Act of the State of California;
  - (b) Compliance with applicable provisions of Chapter 2 of Title 9 of the Clovis Municipal Code and all conditions of rezoning;
  - (c) Compliance with all conditions set forth in Exhibit "A," which is on file with the City Clerk's office.
2. This Council determines that discharge of waste from the proposed subdivision would not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board.
3. This Council further finds that the proposed subdivision, together with the provisions for its design and improvement, are consistent with applicable General Plan of the City.
4. The dedication toward public right-of-way for said tract map is proportionate to the development being requested.

5. A copy of the vesting tentative map of said subdivision, Exhibit "B" is on file in the Planning Division.
6. That TM6125 is exempt from CEQA pursuant to Class 32 categorical exemption.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED: February 1, 2016

---

Mayor

---

City Clerk

**DRAFT  
RESOLUTION 16-\_\_\_\_\_**

**A RESOLUTION OF THE CITY COUNCIL FOR APPROVAL OF CONDITIONAL USE PERMIT FOR A  
27-LOT PLANNED RESIDENTIAL DEVELOPMENT ON 4.41 ACRES OF PROPERTY LOCATED  
NEAR THE NORHTWEST CORNER OF PEACH AND WEST STUART AVENUES**

The City Council of the City of Clovis resolves as follows:

**WHEREAS**, Beal Development, LLC, 1175 Shaw Avenue #104, Clovis, CA 93612, has applied for a conditional use permit CUP2015-07; and

**WHEREAS**, this is a request to approve a conditional use permit to allow an 27-lot Planned Residential Development on 4.41 acres of property located near the northwest corner of Peach and West Stuart Avenues, in the City of Clovis, County of Fresno; and

**WHEREAS**, a public notice was sent out to area residents within 600 feet of said property boundaries ten days prior to said hearing; and

**WHEREAS**, on February 1, 2016, after hearing evidence gathered by itself and on its behalf and after making the following findings, namely:

1. That the site for the proposed use is adequate in size and shape to properly accommodate such use.
2. That the street plan in the neighborhood is adequate to handle the traffic generated by the proposed use.
3. That the proposed use will have no adverse effect on abutting properties and the permitted use thereon.
4. That the conditions of approval stated in this resolution are deemed necessary to protect the public health, safety, and general welfare.
5. That CUP2015-07 is exempt from CEQA pursuant to Class 32 categorical exemption.

**WHEREAS**, on February 1, 2016, Council considered said application and after hearing and receipt of testimony relative thereto and consideration thereof finds and determines that said conditional use permit should be approved on the conditions hereafter provided.

**NOW, THEREFORE, BE IT RESOLVED:**

1. Conditional Use Permit application CUP2015-07, is hereby approved.
2. Said approval and conditional use permit are conditioned on the compliance by the applicant with each and all of the conditions set forth in Exhibit "A," which is on file with the City Clerk's office.
3. City Council makes a finding of consistency that the dedication toward public right-of-way is proportionate to the development being requested.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on February 1, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED: February 1, 2016

---

Mayor

---

City Clerk

## **CORRESPONDENCE**





# County of Fresno

**DEPARTMENT OF PUBLIC HEALTH**  
**DAVID POMAVILLE, DIRECTOR**

October 16, 2015

Lily Cha, Planning Assistant  
City of Clovis  
Planning and Development Services Dept.  
1033 Fifth St., Clovis, CA 93612

LU0018226  
2604

Dear Ms. Cha:

PROJECT NUMBER: R2015-12, CUP2015-07 & TM6125

**A request to rezone the subject property from R-1 (Single-Family Residential) and R-2 (Low Density Multiple-Family Residential) Zone Districts to R-1-PRD (Single-Family Planned Residential Development). Request to approve conditional use permit to allow for a 27-lot Single-Family planned residential development with public streets, public sidewalks, reduced setbacks and a minimum lot size of 3,916 sq. ft. with an average of 5,115 sq. ft. for property located north of West Stuart Avenue and West of Peach Avenue. Request to approve a 27-lot vesting tentative tract map for property located north of West Stuart Avenue and west of Peach Avenue.**

**APN: 410-062-10, 11 & 12      PROPOSED ZONING: R-1-RPD      ADDRESS: North of W Stuart & west of Peach Avenues**

**Recommended Conditions of Approval:**

- Construction permits for development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the development should be subject to assurance that the City of Clovis community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- The proposed construction project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to

***Promotion, preservation and protection of the community's health***

1221 Fulton Mall / P.O. Box 11867 / Fresno, California 93775 / Phone (559) 600-3271 / FAX (559) 455-4646

Email: [EnvironmentalHealth@co.fresno.ca.us](mailto:EnvironmentalHealth@co.fresno.ca.us) ♦ [www.co.fresno.ca.us](http://www.co.fresno.ca.us) ♦ [www.fcdph.org](http://www.fcdph.org)

Equal Employment Opportunity ♦ Affirmative Action ♦ Disabled Employer

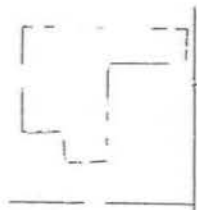




October 14, 2015

Lily Cha, Planning Assistant  
Planning and Development Services Dept.  
1033 Fifth St.  
Clovis, CA 93612

SUBJECT: TM6125  
North of West Stuart and west of Peach



ar Ms. Cha:

The purpose of this letter is to provide school district information relative to the above-referenced subdivision and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the subdivider/owner and the State Department of Real Estate.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Cole Elementary*  
Address: *615 W Stuart Ave Clovis CA 93612-0799*  
Telephone: *(559) 327-6200*  
Capacity: *720*  
Enrollment: *758(CBEDS enrollment 2015-16 school year)*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

**Governing Board**

Sandra A. Bengel  
Christopher Casado  
Brian D. Heryford  
Ginny L. Hovsepian  
Richard Lake, C.P.A.  
Elizabeth J. Sandoval  
Jim Van Volkinburg, D.D.S.

**Administration**

Janet L. Young, Ed.D.  
*Superintendent*  
Carlo Prandini, Ph.D.  
*Deputy Superintendent*  
Norm Anderson  
*Associate Superintendent*  
Barry S. Jager, Jr.  
*Associate Superintendent*  
Michael Johnston  
*Associate Superintendent*

**DEPARTMENT OF TRANSPORTATION****DISTRICT 6**

1352 WEST OLIVE AVENUE

P.O. BOX 12616

FRESNO, CA 93778-2616

PHONE (559) 445-5868

FAX (559) 445-5875

TTY 711

www.dot.ca.gov

*Serious drought.  
Help save water!*

October 26, 2015

6-FRE-168-R5.643+/-  
TM6125, R2015-12, CUP2015-07  
BEAL DEVELOPMENT, LLCMs. Lily Cha  
Planning Assistant  
City of Clovis  
1033 Fifth Street  
Clovis, California 93612

Dear Ms. Cha:

We have completed our review of the site plan, tract map, and conditional use permit for a proposed subdivision improvement. The project site is located on the northwest side of State Route (SR) 168 and Bullard Avenue intersection, on the northwest corner of the W. Stuart Avenue and Peach Avenue intersection in the City of Clovis. The site plan shows the development proposes 27 single family residences on about 4.8 acres of land. Caltrans has the following comments:

Given the site's location, trips generated by the proposed development will impact the SR 168 interchange at Bullard Avenue. In order to accommodate projected demand, a previous traffic study identified the need for an additional turn lane for the eastbound off-ramp from SR 168 to Bullard Avenue. The cost estimate for this improvement is \$268,000, with a cost-per-trip of \$770. Based on the ITE Trip Generation Manual 9<sup>th</sup> Edition, Single-Family detached housing 210, it is estimated the proposed project would generate approximately 27 trips during the PM peak travel period. It is further estimated that 10 of these trips would impact the eastbound SR 168 off-ramp to Bullard Avenue during the evening peak travel period. Thus, the project's calculated fair share for the improvement is \$7,700 (10 trips X \$770).

Upon the above-calculated amount being made a condition of approval for the project, the applicant will need to enter into a "Traffic Mitigation Agreement" with Caltrans. Should the applicant or lead agency not agree with our mitigation estimate, then it is recommended that the services of a qualified traffic consultant be obtained to prepare an independent traffic analysis.

If you have any further questions, please contact Jennifer Bryan-Sanchez of my staff at (559) 488-7307.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Navarro".

MICHAEL NAVARRO, Chief  
Planning North Branch



FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

File No. 210.433

Page 1 of 4

**PUBLIC AGENCY**

LILY CHA  
DEPARTMENT OF PLANNING AND  
DEVELOPMENT SERVICES  
CITY OF CLOVIS  
1033 FIFTH STREET  
CLOVIS, CA 93612

**DEVELOPER**

GEORGE BEAL, BEAL DEVELOPMENT, LLC  
1175 SHAW AVE., SUITE 104  
CLOVIS, CA 93612

PROJECT NO: 2015-007

ADDRESS: NWC PEACH AND STUART AVE.

APN: 410-062-10, 11, 12

SENT: 11/17/15

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
CL	\$17,720.00	NOR Review *	\$190.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review *	\$530.00	Amount to be submitted with first grading plan submittal.
Total Drainage Fee: \$17,720.00		Total Service Charge: \$720.00		

\* The Development Review Service Charge shown above is associated with CL TRACT 6125 and is currently proposed to develop in conjunction with this permit. Payment for this entitlement shall satisfy the amount due on the associated permits.

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/29/16 based on the site plan submitted to the District on 10/13/15. Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

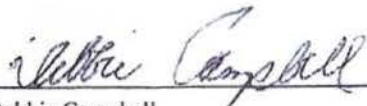
CL CUP No. 2015-007

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 3 of 4

CL CUP No. 2015-007

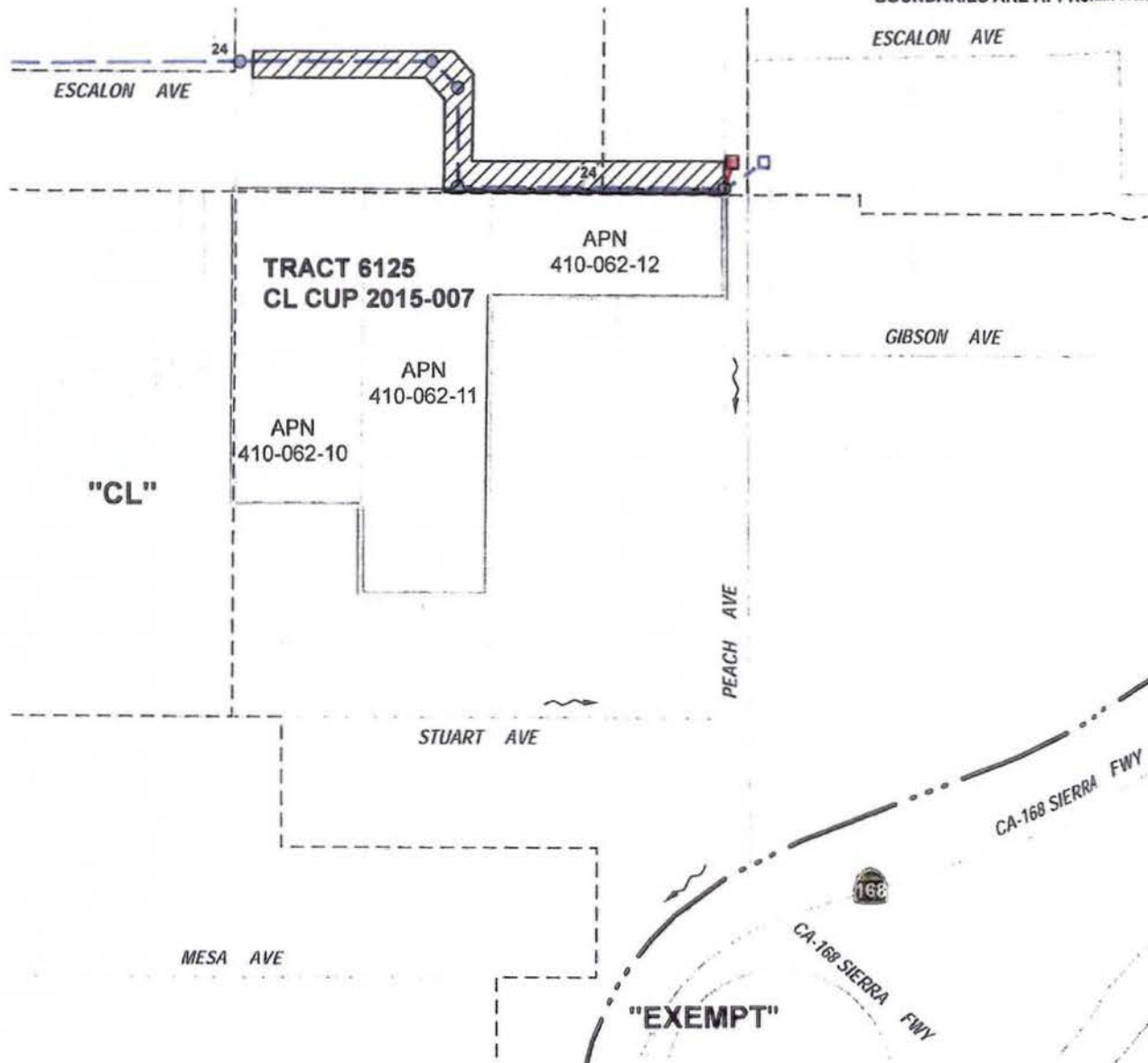
7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.   X   See Exhibit No. 2 for additional comments, recommendations and requirements.

  
Debbie Campbell  
Design Engineer

  
Michael Maxwell  
Project Engineer



NOTE: THIS MAP IS SCHEMATIC.  
DISTANCES, AMOUNT OF CREDITABLE  
FACILITIES, AND LOCATION OF INLET  
BOUNDARIES ARE APPROXIMATE.



## LEGEND

-  Existing 25' Wide FMFCD Easement
-  Direction of Drainage
-  Existing Master Plan Facilities
-  Future Master Plan Facilities
-  Inlet Boundary



1" = 200'

**TRACT 6125**  
**CL CUP 2015-007**  
**DRAINAGE AREA "CL"**

EXHIBIT NO. 1



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**

Prepared by: rickh  
Date: 10/30/2015  
Path: K:\Autocad\DWGS\EXHIBIT\TRACTS\6125.mxd

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

File No. 210.45

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**PUBLIC AGENCY**

LILY CHA  
DEPARTMENT OF PLANNING AND  
DEVELOPMENT SERVICES  
CITY OF CLOVIS  
1033 FIFTH STREET  
CLOVIS, CA 93612

**DEVELOPER**

GEORGE BEAL, BEAL DEVELOPMENT, LLC  
1175 SHAW AVE., SUITE 104  
CLOVIS, CA 93612

PROJECT NO: 6125

ADDRESS: NWC PEACH AND STUART AVE.

APN: 410-062-10, 11, 12

SENT: 11/17/15

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
CL	\$17,720.00	NOR Review *	\$190.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review *	\$530.00	Amount to be submitted with first grading plan submittal.
Total Drainage Fee: \$17,720.00		Total Service Charge: \$720.00		

\* The Development Review Service Charge shown above is associated with CL CUP 2015-007 and is currently proposed to develop in conjunction with this permit. Payment for this entitlement shall satisfy the amount due on the associated permits.

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/29/16 based on the site plan submitted to the District on 10/13/15 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- Fees related to undeveloped or phased portions of the project may be deferrable.
- Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

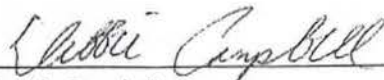
CL TRACT No. 6125

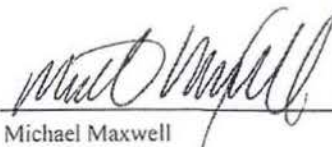
FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

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CL TRACT No. 6125

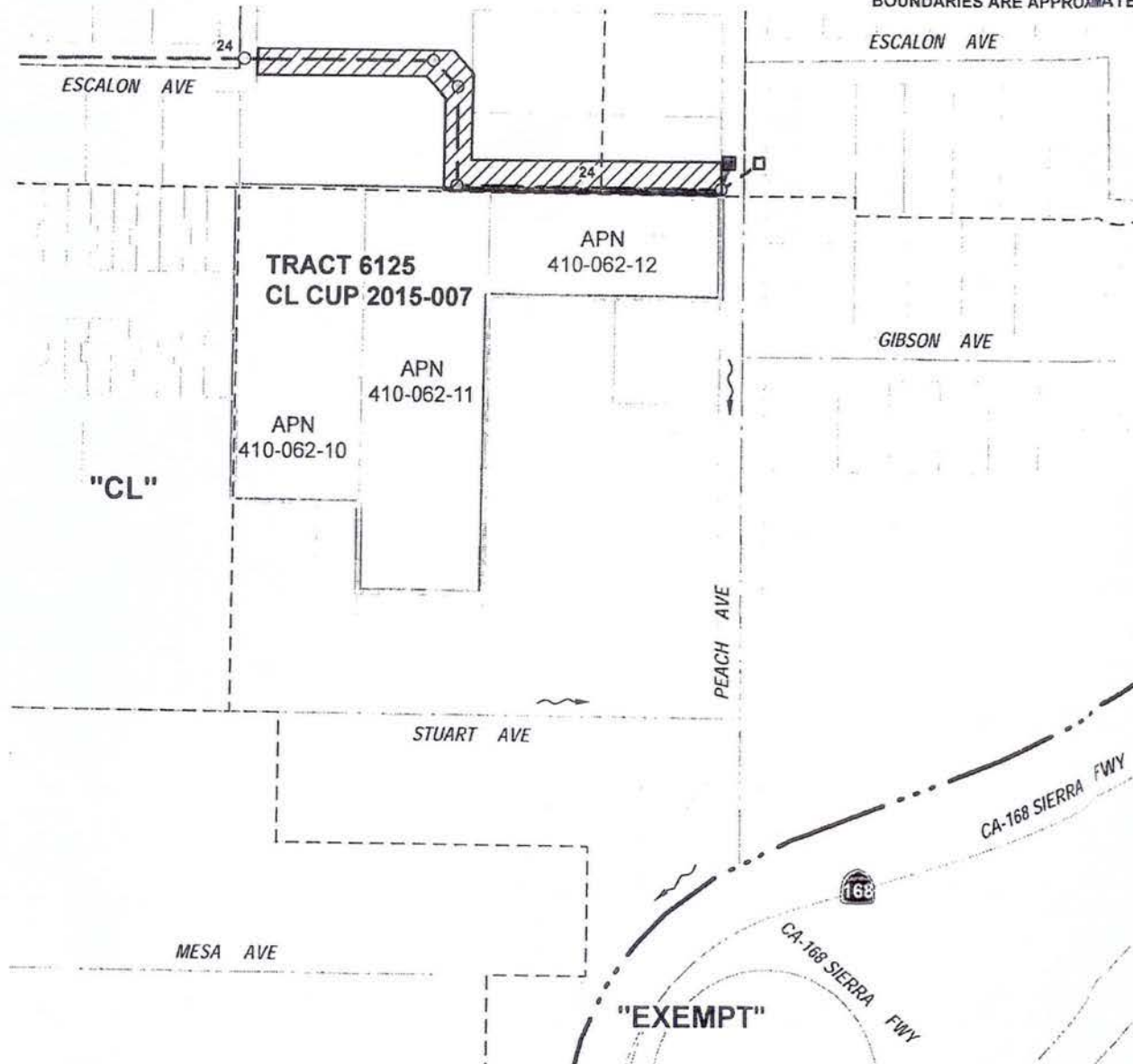
7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.   X   See Exhibit No. 2 for additional comments, recommendations and requirements.

  
Debbie Campbell  
Design Engineer

  
Michael Maxwell  
Project Engineer



NOTE: THIS MAP IS SCHEMATIC.  
DISTANCES, AMOUNT OF CREDITABLE  
FACILITIES, AND LOCATION OF INLET  
BOUNDARIES ARE APPROXIMATE.



## LEGEND

-  Existing 25' Wide FMFCD Easement
-  Direction of Drainage
-  Existing Master Plan Facilities
-  Future Master Plan Facilities
-  Inlet Boundary



1" = 200'

**TRACT 6125**  
**CL CUP 2015-007**  
**DRAINAGE AREA "CL"**



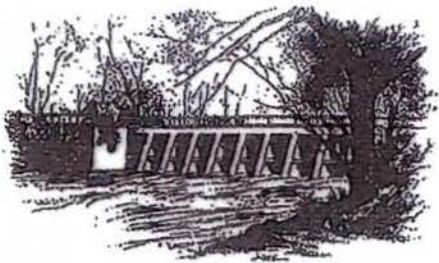
EXHIBIT NO. 1

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**

Prepared by: richh

Date: 10/30/2015

Path: K:\Autocad\DWGS\EXHIBIT\TRACTS\6125.mxd



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO  
IRRIGATION DISTRICT**

TELEPHONE (559) 233-7181  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93726-2208

October 21, 2015

Ms. Lily Cha  
City of Clovis  
Planning and Development Services Department  
1033 Fifth Street  
Clovis, CA 93612

RE: Tract Map No. 6125, Rezone Application No. 2015-12 and  
Conditional Use Permit 2015-07  
S/W Sierra and Peach avenues  
FID's Helm Colonial – S. Br. No. 116

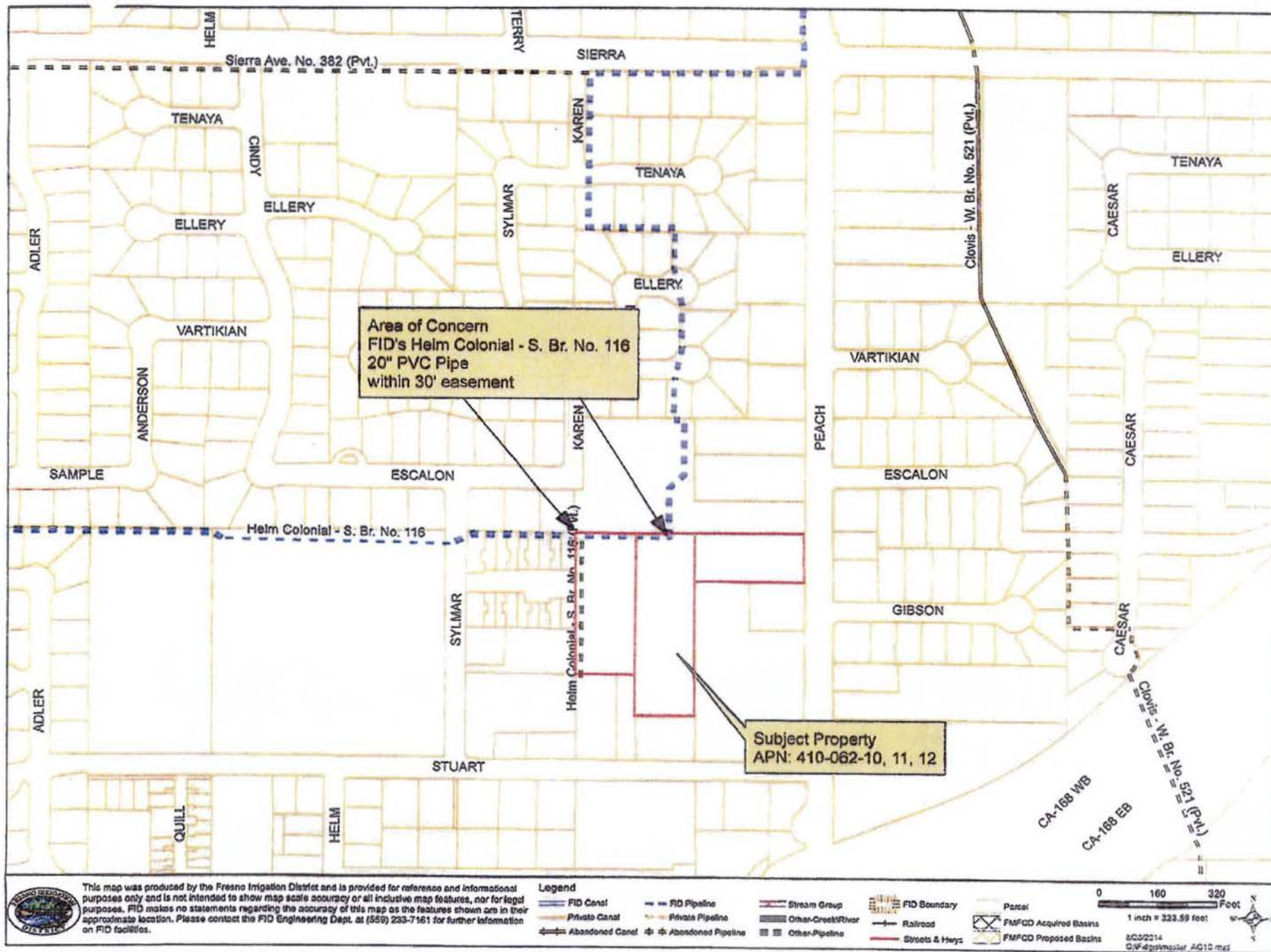
Dear Ms. Cha:

The Fresno Irrigation District (FID) has reviewed Tract Map No. 6125, Rezone Application No. R2015-12, and Conditional Use Permit No. 2015-07. The applicant request approval to rezone the subject property from R-1 (Single-Family Residential) and R-2 (Low Density Multiple Family Residential) Zone Districts to R-1-PRD (Single-Family Planned Residential Development) and to allow for a 27-lot single-family planned residential development with public streets, public sidewalks, reduced setbacks and a minimum lot size of 3,916 sq. ft. with an average of 5,115 sq. ft. for property located north of West Stuart Avenue and west of Peach Avenue. The APNs are 410-062-10, 11, and 12. FID has the following comments:

1. FID's Helm Colonial – S. Br. Canal No. 116 runs westerly and traverses through the northern portion of the subject property as shown on the attached FID exhibit map. FID owns the following:
  - a. FID owns a 30 feet wide combined easement recorded on December 12, 1989, as document numbers 89136817 and 89136818, Official Records of Fresno County.
  - b. The attached plans for the Helm Colonial – S. Br. Canal No. 116 Pipeline indicates this section of the pipeline was installed in 1989 (26 years old) as a 20-inch diameter PVC pipe which does not meet FID's standards for developed (residential, industrial, commercial) parcels or urban areas. FID requires the applicant to replace the existing canal across the subject parcels with new 24-inch diameter ASTM C-361 Rubber Gasket Reinforced Concrete Pipe (RGRCP) in accordance with FID standards and that the applicant enter into an agreement with FID for that purpose.

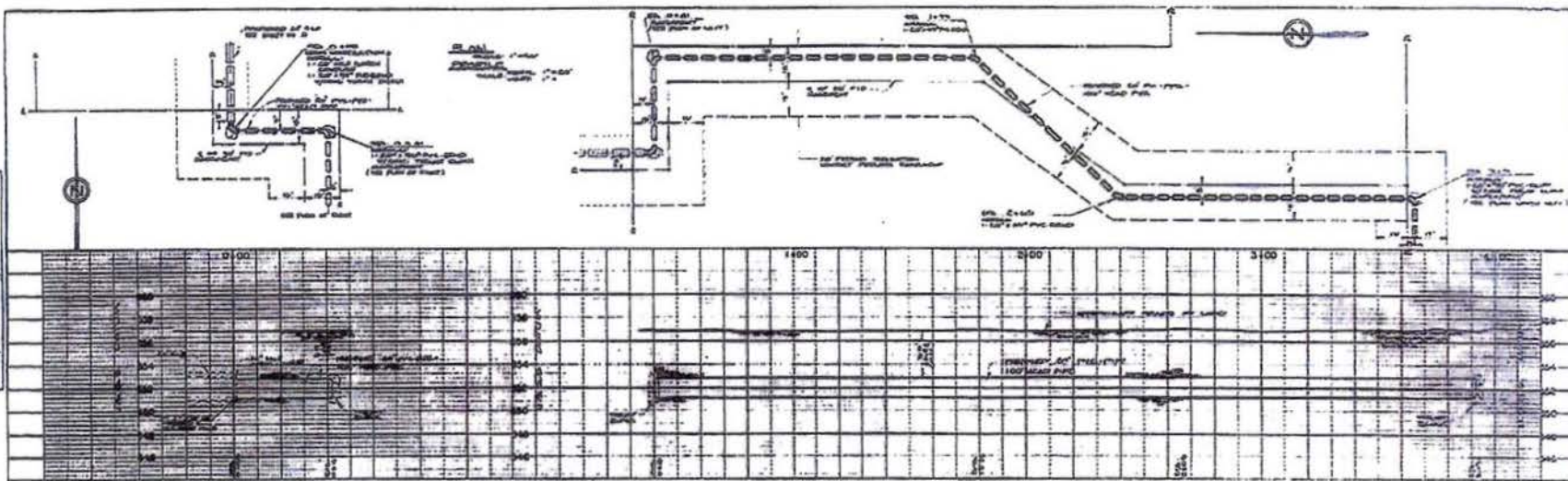


2. In recent years, the most significant issue with pipelines has been caused by tree root intrusion into pipe joints. The roots enter through the rubber gasketed joint, thus creating a non-water tight joint causing leaks. If the roots continue to grow, the roots will eventually clog the pipe and reduce the flow capacity of the pipeline. This problem causes disruption to FID's customers and increases the risk of flooding in upstream open channel sections. Subsequent pipeline repairs can be very disruptive to public infrastructure, as well as to FID's operations. The leaking pipelines and pipeline repairs also increase the liability of all parties involved. FID may require external wrap be installed at all pipeline joints within the subject property or any areas where root intrusion may be a future concern based on the proposed improvement at the time of review. This method involves using mastic material that can be externally applied to pipe joints to provide a permanent seal against root intrusion. The product that has been approved is known as MacWrap from Mar Mac. FID is open to other products, but they would need to be reviewed and approved by FID.
3. FID recommends the Developer consider contacting the property owners to the north so that FID's pipe alignment works well for the development of all parties. Additionally, the pipeline should not be located within residential backyards if possible. To the extent they are, the prospective home owners should be made aware of the easement, its restrictions, and that their use within the easement will be very limited.
4. FID requires it review, approve and be made a party to signing all improvement plans which affect its property/easements and canal/pipeline facilities including but not limited to Sewer and Water, FMFCD, Street, Landscaping, Dry Utilities, and all other utilities.
5. FID requires the Developer to submit for FID's approval a grading and drainage plan which shows that the proposed development will not endanger the structural integrity of the pipeline, or result in drainage patterns that could adversely affect FID.
6. FID does not typically allow private facilities to encroach into its easement. If any facility is proposed within FID's easement, FID will require its review and approval. If FID allows the encroachments, the Private party will be required to enter into the appropriate agreement which will be determined by FID. FID requires all block walls and fences to be located outside of the easement. Buildings will not be allowed within the easement or over the pipeline.
7. FID requires its easements be shown on all maps with proper recording information, and that FID be made a party to signing the final map.
8. FID requires the Developer and or the Developer's engineer contact FID at their earliest convenience to discuss specific requirements.
9. For informational purpose, a privately owned canal that diverts water off FID's Helm Colonial - S. Br. Canal No. 116 traverse the subject property at the northwest corner of APNs 410-062-10, 11 and 12, as shown on the attached FID exhibit map. FID does not own, operate or maintain this private canal. FID's records indicate that the canal is

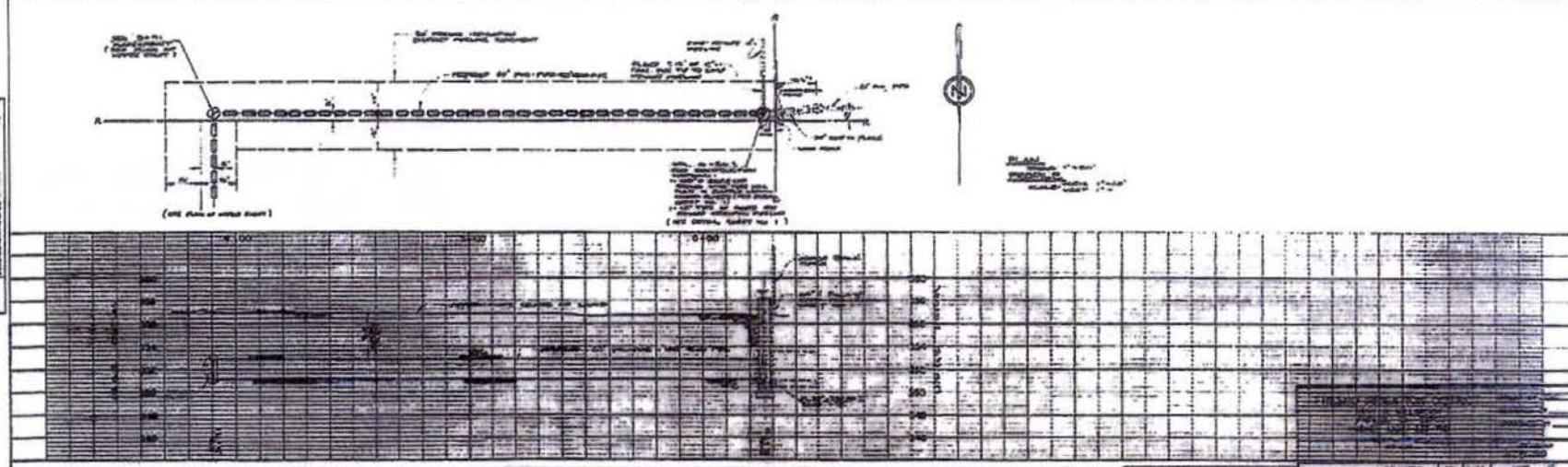




PLAN  
Scale: 1" = 100'  
North Arrow  
Elevation in Feet  
Contour Interval 10'



PLAN  
Scale: 1" = 100'  
North Arrow  
Elevation in Feet  
Contour Interval 10'





## **LETTERS FROM RESIDENTS**

January 11, 2016,

Dear City of Clovis Planning Division,

We have some concerns with the proposed rezoning and development of the 4.41 acres of property located near the northwest corner of Peach and West Stuart Avenues. We own a house on Vartikian just east of Peach Avenue. Our main concern is with the amount of traffic increase these proposed changes will cause. It is our understanding that each resident is estimated to increase the number of comings and goings by 10. This equates to a minimum increase of 270 trips on Peach Avenue each day. It is likely that each residence would have multiple drivers, and therefore increase the amount of traffic on peach considerably more. Peach (between Sierra and Stuart Avenues) already has a lot of traffic during the day (particularly in the morning and afternoon/evening when parents are dropping off and pickup up their children from Cole Elementary which resides on Stuart between Peach and Adler). In addition, quite often the traffic that currently travels on Peach between Sierra and Stuart Avenues is travelling at speeds above the speed limit. An increase in the amount of traffic on peach would escalate this problem further. The increased amount of traffic this development will cause poses a threat to my children as they walk along peach between Sierra and Stuart Avenues to get to school at Cole Elementary.

In addition, having no sidewalk access along the west and east sides of peach between Vartikian and Sierra avenues poses an additional threat to those who have a need to walk along Peach in this area with the amount of traffic that will increase due to the proposed development.

We oppose the rezoning and development of this land.

Regards,

Doug and Jill Smith



386 W Vartikian  
Clovis, CA 93612  
559-298-3079

Ref: Legal Notice – R2015-12, CUP2015-07 & TM6125

**From:** John Duran [mailto:yccboss@yahoo.com]  
**Sent:** Sunday, January 03, 2016 12:15 PM  
**To:** Bryan Araki  
**Cc:** John Duran  
**Subject:** R2015-12, CUP2015-07 & TM6125

My name is John Duran and I live at 176 Peach Ave, just north of the proposed project. My concerns are 2.

First the impact the development of additional housing will have on the existing elementary school (Cole Elementary). As a retired educator in Clovis Unified I am aware that all current facilities are impacted by population. Since Cole Elementary is one of our older school sites it is not prepared to facilitate a massive influx of students.

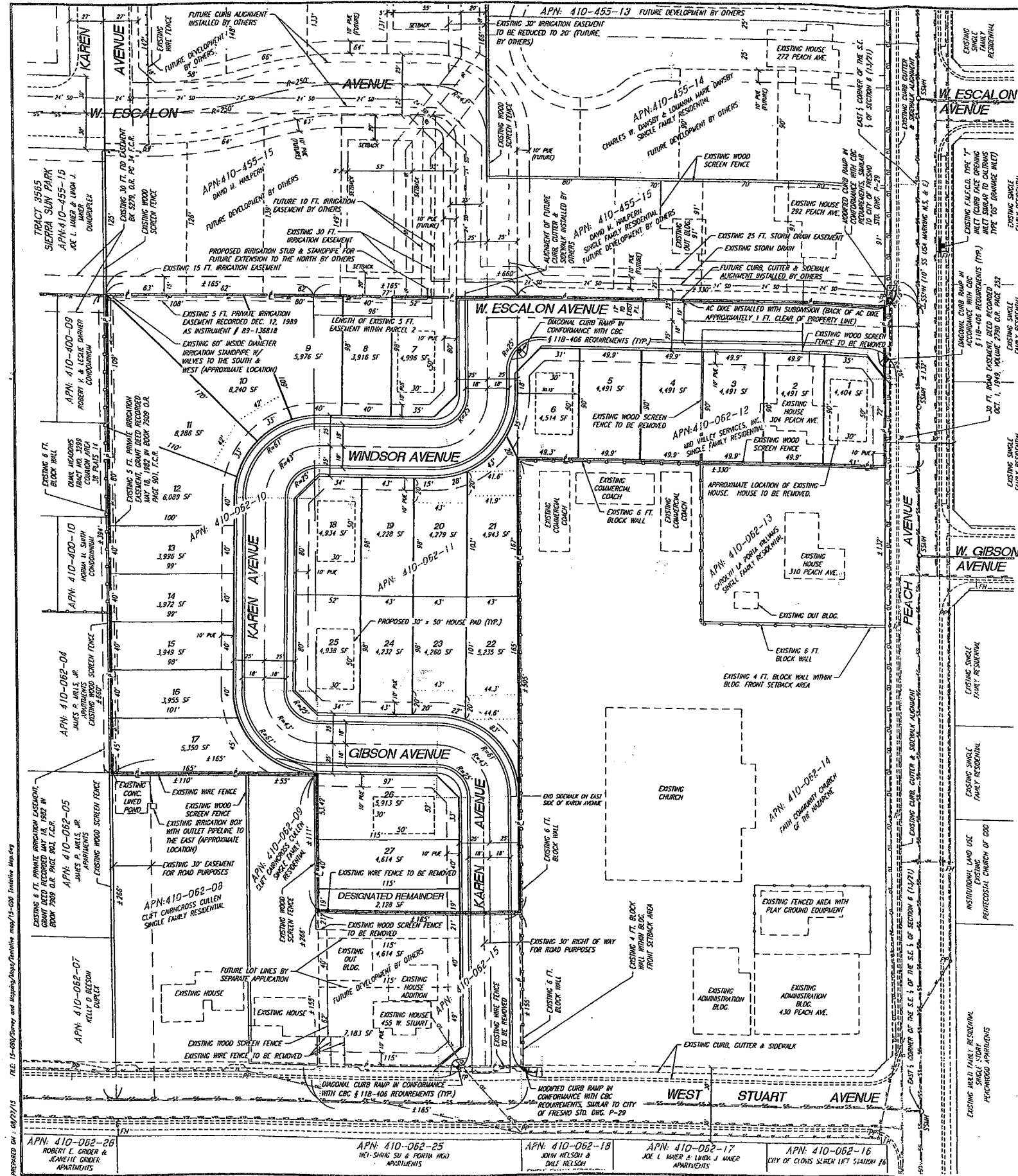
Second, the traffic pattern on Stewart Ave is poorly designed. Access to Bullard Ave off Helm Ave is a danger to cross traffic and traffic attempting to access Bullard from Helm. Lighting at night is poor and vision is often blocked on East and West views of Bullard by cars parked on street access.

With current residences, access to Sierra and Villa from Peach Ave, Stewart Ave, Escalon Ave, Vartikian Ave, and Gibson Ave is impacted between the hours of 7am to 9am, and again from 2pm to about 3:30pm daily due to parent pickup at Cole Elementary. Currently all vehicle mobility surrounding the school is impacted and high risk for pedestrians.

Access from Peach ave to Sierra is a 4 way stop. Access to north & south Villa from east bound Escalon is one stop sign.

I hope you will present my concerns to the developers. At this time I oppose the development until an impact report can be presented with solutions to my concerns.

Sincerely, John Duran



# TRACT NO. 6125 TENTATIVE MAP FOR "PEACH AND ESCALON SUBDIVISION"

PORTION OF SECTION 6, T. 13 S., R. 21 E., M.D.B. & M.  
IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA  
BY PRECISION CIVIL ENGINEERING, INC.  
SHEET ONE OF ONE

SCALE: 1" = 60'

LEGEND

AC	ACRE
APN	ASSESSOR'S PARCEL NUMBER
CBC	CALIFORNIA BUILDING CODE (2013 EDITION)
E	EAST
F.C.R.	FRESNO COUNTY RECORDS
FH	FIRE HYDRANT (EXISTING)
F.I.D.	FRESNO IRRIGATION DISTRICT
F.M.F.C.D.	FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
INC.	INCORPORATED
IR	IRRIGATION LINE (EXISTING)
L.L.C.	LIMITED LIABILITY COMPANY
MAX	MAXIMUM
M.D.B. & M.	MOUNT Diablo BASE AND MERIDIAN
MIN	MINIMUM
N	NORTH
O.R.	OVERHEAD ELECTRIC LINE (EXISTING) (APPROXIMATE LOCATION)
OT	OVERHEAD TELEPHONE / COMMUNICATION (CABLE TV) (APPROXIMATE LOCATION)
PP	POWER POLE (EXISTING) (APPROXIMATE LOCATION)
S	SECTION
SF	SQUARE FEET
SL	STREET LIGHT
SS	SANITARY SEWER MAIN (EXISTING)
SSMH	SANITARY SEWER MANHOLE (EXISTING)
STD.	STANDARD
TP	TELEPHONE POLE (EXISTING) (APPROXIMATE LOCATION)
USA	UNDERGROUND SERVICE ALERT
WTR	WATER MAIN (EXISTING)

NOTES

- PARCEL DESIGNATION
- SUBDIVISION
- ALL PROPOSED LOTS ARE INTENDED FOR RESIDENTIAL USE
- SITE ACREAGE
- LOT SIZE RANGE
- CURRENT GENERAL PLAN LAND USE DESIGNATION AND ZONE DISTRICT
- PROPOSED DENSITY
- THE SUBDIVIDER HEREBY INFORMS THE ADVISORY AGENCY OF THE LOCAL AGENCY OF THE SUBDIVIDER'S INTENTION TO FILE MULTIPLE FINAL MAPS ON THIS TENTATIVE MAP, IN ACCORDANCE WITH SUBDIVISION MAP ACT § 66456.1.
- ALL STRUCTURES SHOWN HEREON WERE LOCATED BY UN-ORTHORECTIFIED AERIAL PHOTOGRAPHY. EXISTING LOCATIONS SHALL BE FIELD SURVEYED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR FILING OF ANY FINAL MAPS.

VICINITY MAP

NOT TO SCALE

LEGAL DESCRIPTION

PARCEL 1:

THE WEST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 13 SOUTH, RANGE 21 EAST, M.D.B. & M., IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS, APPROVED BY THE SURVEYOR GENERAL ON JULY 15, 1854, EXCEPTING THEREFROM THE SOUTH 266 FEET THEREOF, EXCEPTING THEREFROM THE SOUTH 266 FEET THEREOF.

APN : 410-062-10  
AREA : 1.49 ACRES (MORE OR LESS)  
OWNER : AKINS FAMILY TRUST, ET AL.

PARCEL 2:

THE NORTH 505 FEET OF THE EAST HALF, OF THE WEST HALF, OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 13 SOUTH, RANGE 21 EAST, M.D.B. & M., ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS, APPROVED BY THE SURVEYOR GENERAL ON JULY 15, 1854.

APN : 410-062-11  
AREA : 1.92 ACRES (MORE OR LESS)  
OWNER : AKINS FAMILY TRUST, ET AL.

PARCEL 3:

THE NORTH ONE ACRE OF THE NORTH HALF OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 13 SOUTH, RANGE 21 EAST, M.D.B. & M., ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS, APPROVED BY THE SURVEYOR GENERAL ON JULY 15, 1854.

APN : 410-062-12  
AREA : 1 ACRE (MORE OR LESS)  
OWNER : MID VALLEY SERVICES, INC.

POTENTIAL DEVELOPMENT PARCEL 4: (NOT A PART OF SUBDIVISION, SHOWN FOR FUTURE DEVELOPMENT PURPOSES ONLY)

THE EAST HALF, OF THE WEST HALF, OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 13 SOUTH, RANGE 21 EAST, M.D.B. & M., ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS, APPROVED BY THE SURVEYOR GENERAL ON JULY 15, 1854, EXCEPTING THEREFROM THE NORTH 505 FEET, AND THE SOUTH 30 FEET THEREOF.

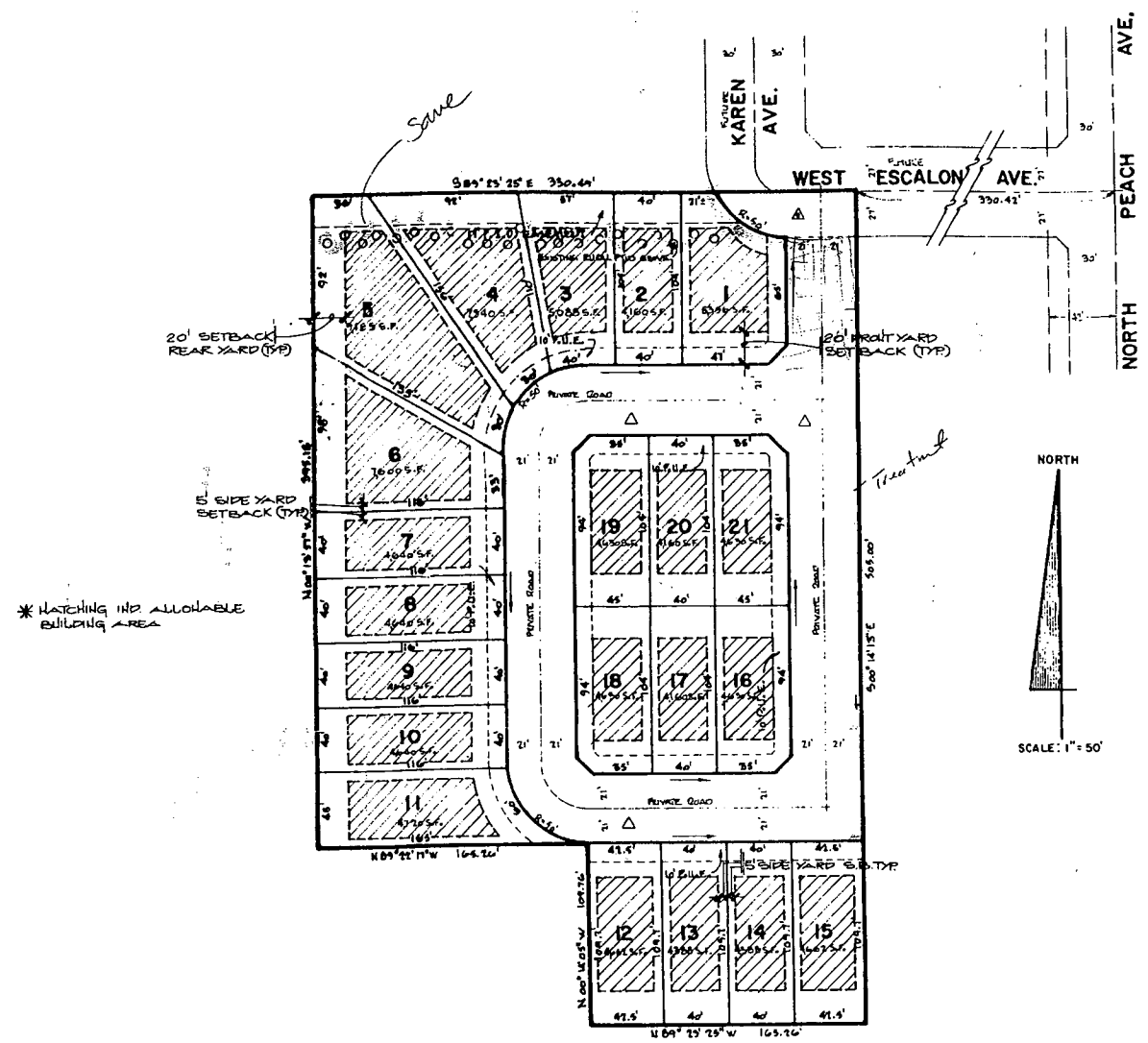
APN : 410-062-15  
AREA : 0.47 ACRES (MORE OR LESS)  
OWNER : CLIFT CAIRNCROSS CULLEN

PREPARED BY:  
**PRECISION CIVIL ENGINEERING, INC.**  
1334 "O" STREET  
FRESNO, CA 93721  
PH(559)449-4500 FAX(559)449-4515



VESTING  
TENTATIVE SUBDIVISION MAP  
OF  
**TRACT NO. 4293**  
IN THE CITY OF CLOVIS  
FRESNO COUNTY, CALIFORNIA

LEGAL DESCRIPTION  
THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 13 SOUTH, RANGE 11 EAST, MOUNT DIABLO BASE AND MERIDIAN, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS;  
EXCEPTING THEREFROM THE SOUTH 266.00 FEET;  
TOGETHER WITH THE NORTH 505.00 FEET OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 13 SOUTH, RANGE 11 EAST, M. D. B. M., ACCORDING TO THE UNITED STATES GOVERNMENT PLATS.



\* HATCHING IND. ALLOWABLE BUILDING AREA

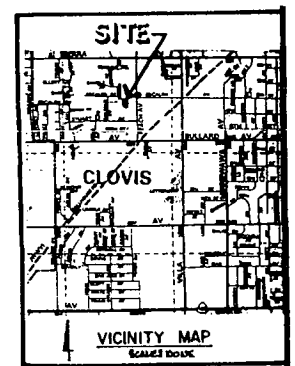
NOTES

1. THERE ARE NO EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDINGS, WATER TOWERS, POWER LINES, TOWERS, ETC., WITHIN THE PROPOSED SUBDIVISION. (EXCEPT IF SHOWN)
2. THIS AREA IS NOT SUBJECT TO FLOOD INUNDATION.
3. THERE ARE NO EXISTING UNDERGROUND FEATURES SUCH AS WELLS, CESSPOOLS, SEWERS, CULVERTS, STORM DRAINS, DRAIN SYSTEMS AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION. (EXCEPT IF SHOWN)
4. DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT PRACTICABLE, FOR TYPICAL PARKING OR NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NON-RENEWABLE ENERGY RESOURCES AS PROVIDED IN THE SUBDIVISION MAP ACT.

LEGEND

- △ PREVIOUSLY DESIGNATED FOR PUBLIC STREET PURPOSES
- △ PRIVATE STREETS
- DIRECTION OF SURFACE DRAINAGE
- PUBLIC UTILITY EASEMENT
- F.T.O. FLOOD INUNDATION DISTRICT

- EXISTING TREES  
AS SHOWN
- EXISTING BUILDINGS  
NONE
- EXISTING USE  
VACANT
- EXISTING ZONING  
R-2-A
- PROPOSED USE  
R-2-UNIT PLANNED DEV.
- PROPOSED ZONING  
R-2-A
- SOURCE OF WATER  
CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL  
CITY OF CLOVIS
- SOURCE OF ELECTRICITY  
P.G. & E.
- SOURCE OF GAS  
P.G. & E.
- SOURCE OF CABLE T.V.  
CONTINENTAL CABLEVISION
- SOURCE OF TELEPHONE  
PAC. TEL.
- ASSESSOR'S PARCEL No.  
410-001-07105
- SITE AREA  
3.4 AC.



TENTATIVE SUBDIVISION MAP	
W.D. DEVELOPMENT 1500 W. SHAW AVE. SUITE 105 FRESNO, CA. 93711	
HANNA & HANNA, INC. ENGINEERS, SURVEYORS & PLANNERS 1107 N. Fresno Street Fresno, CA 93703 708 445 0211	DATE 9/21/90 SCALE 8.5" X 11" DR. BY P.D.L. REVISIONS DATE 10/10/90 BY P.D.L. REVISION 2/15/91 REVISION 3/15/91 DRAWING NO. 6-2644 W.D. 90-009

**R.L. Davidson Inc.**  
ARCHITECTURE & PLANNING  
2350 W. SHAW AVE. #137  
FRESNO, CA 93711  
808 • 435-3303

Job no. \_\_\_\_\_  
date \_\_\_\_\_  
sheet \_\_\_\_\_

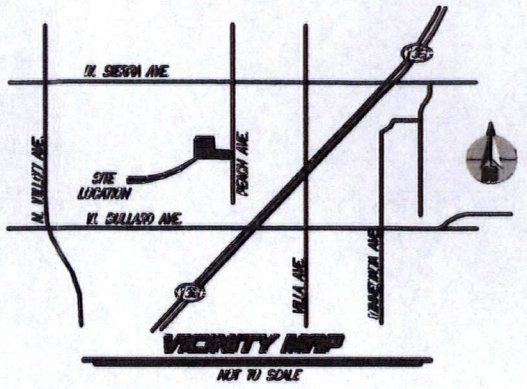
calif. 8883  
nevada 1891

EXHIBIT C



# TENTATIVE TRACT MAP NO. 5789

IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA  
BY PRECISION CIVIL ENGINEERING, INC.  
SHEET ONE OF ONE



## LEGAL DESCRIPTION

**PARCEL 1:**  
THE SOUTH 100 FEET OF THE EAST 300 FEET OF THE SOUTH HALF OF THE  
SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST  
QUARTER OF SECTION 3, TOWNSHIP 13 SOUTH, RANGE 21 EAST, 02S, 02E, 13S, 21E,  
IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA,  
ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS,  
APPROVED BY THE SURVEYOR GENERAL ON JULY 13, 1934.

**PARCEL 2:**  
THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER  
OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 13 SOUTH, RANGE  
21 EAST, 02S, 02E, 13S, 21E, IN THE CITY OF CLOVIS, COUNTY OF FRESNO,  
STATE OF CALIFORNIA, ACCORDING TO THE UNITED STATES GOVERNMENT  
TOWNSHIP PLATS, APPROVED BY THE SURVEYOR GENERAL, JULY 13, 1934.

EXCEPTING THEREFROM THE EAST 300 FEET THEREOF.

**APN 410-033-13**  
THE NORTH ONE ACRE OF THE NORTH HALF OF THE EAST HALF OF THE  
EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF  
SECTION 3, TOWNSHIP 13 SOUTH, RANGE 21 EAST, 02S, 02E, 13S, 21E, IN THE CITY OF  
CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE  
UNITED STATES GOVERNMENT TOWNSHIP PLATS.

**APN 410-032-12**

## NOTES

1. RECORD OWNER:  
COWNE DEVELOPMENT  
1075 12 AVENUE  
FRESNO, CA 93711  
(509) 331-6263
2. SUBMITTER:  
303 CONSTRUCTION  
303 CONSTRUCTION  
1075 12 AVENUE  
FRESNO, CA 93711  
(509) 331-6263
3. RESIDENTIAL USE INTENDED ON ALL  
PROPOSED LOTS
4. SITE ACRES:  
NET: 3.87 ACRES  
GROSS: 4.13 ACRES
5. LOT SIZE:  
13 LOTS @ 0.292 SF AVERAGE  
MINIMUM: 0.294 SF
6. CURRENT ZONING: R-1-7000



SCALE 1" = 30'



PREPARED BY:  
**PRECISION**  
CIVIL ENGINEERING, INC.

7850 N. PALM AVE. STE. 104  
FRESNO, CA 93710  
PH(555)445-4500 FAX(555)445-4515

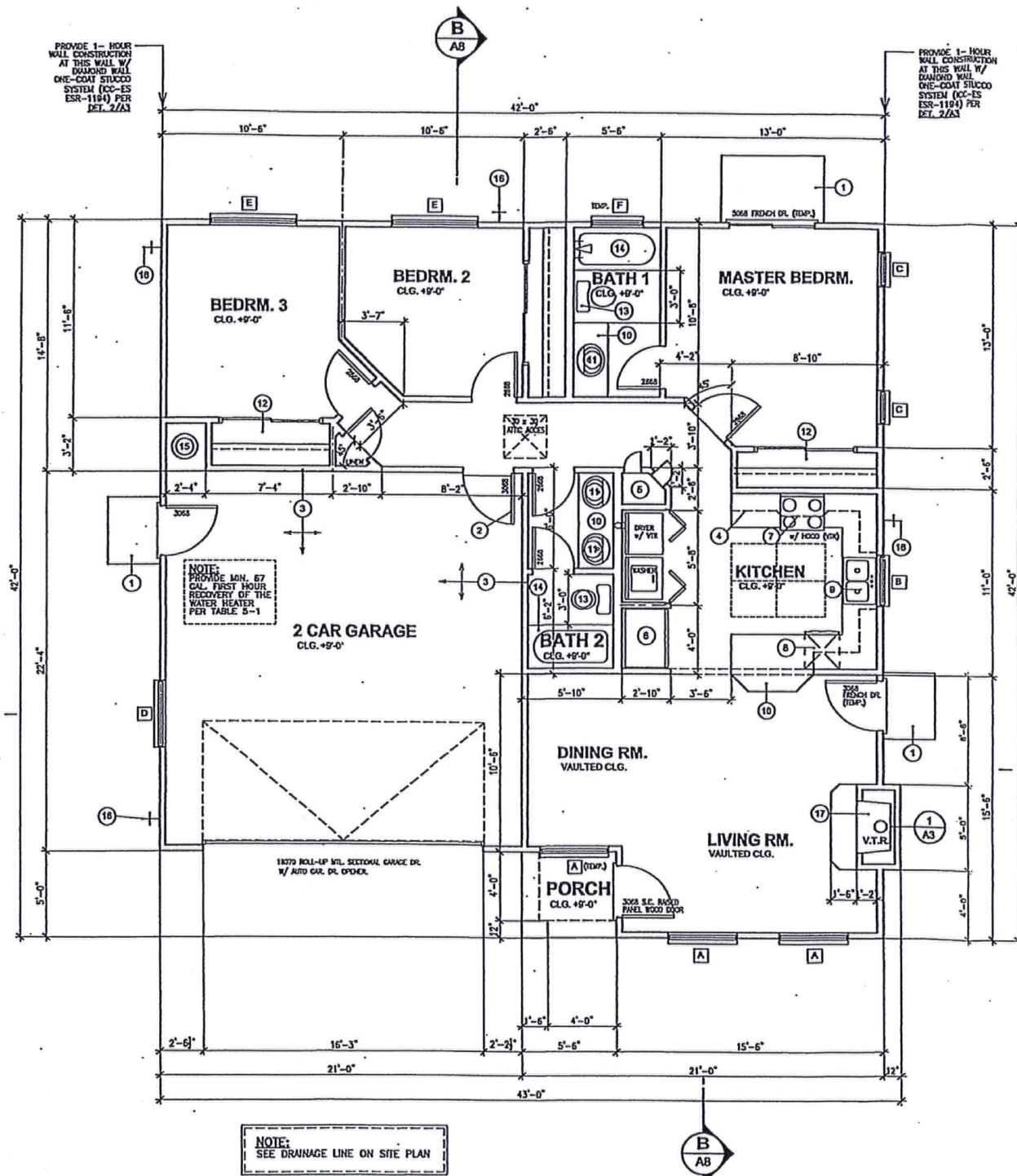
PREPARED ON: 03/20/07  
FILE: 06-034/04/06-034 7702.DWG

## EXHIBIT D



## **FLOOR PLANS AND ELEVATIONS**



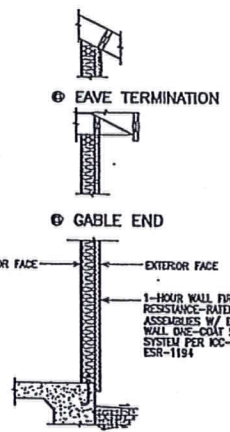
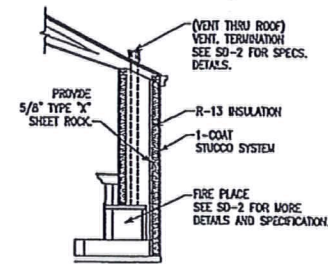


# FLOOR PLAN 1156 Sq. Ft.

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	ELEV. A			ELEV. B	
	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
A	4'-0"	4'-0"	SL.	4'-0"	5'-0"
B	3'-0"	3'-0"	SL.	3'-0"	3'-0"
C	2'-0"	4'-0"	S.H.	2'-0"	4'-0"
D	4'-0"	4'-0"	SL.	4'-0"	4'-0"
E	5'-0"	4'-0"	SL.	5'-0"	4'-0"
F	3'-0"	2'-0"	SL.	3'-0"	2'-0"

- ADDITIONAL NOTE:**
- THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.



- 1-HOUR WALL DETAIL**
- ALL EXTERIOR WALLS OF THE RESIDENCE THAT ARE LESS THAN 5', BUT MORE THAN 3' FROM THE PROPERTY LINE



BY INITIALING THE BLOCKS BELOW YOU ARE CONFIRMING THAT THE INFORMATION CONTAINED ON THIS PAGE HAS BEEN REVIEWED AND APPROVED.

APPROVED	DATE
----------	------

## GENERAL NOTES

- ALL WINDOWS SHALL BE DUAL PANE GLASS, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DOORS LEADING INTO HOUSE SHALL HAVE ALUMINUM THRESHOLD & BE FULLY WEATHERSTRIPPED AS REQUIRED.
- ALL ROOMS W/ FIXED GLASS WINDOWS SHALL HAVE A MIN. 5 AIR CHANGES PER HOUR.
- ALL EXHAUST SHALL HAVE DAMPERS.
- LABELED SAFETY GLAZING SHALL BE PROVIDED @ ALL WINDOWS WITHIN A 24" RADIUS OF ANY DOOR, & @ ALL GLASS WITHIN 18" OF FINISH FLOOR.
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- PROVIDE PEEP HOLE OR VISION PANEL @ ENTRY DOOR W/ STEEL PLATE @ DEAD BOLT STRIKER, FASTENED W/ 1/8" X 2" LONG SCREWS, 1" THROW @ DEAD BOLT.
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- A 6 inch FRESH AIR INTAKE IS REQUIRED AT THE GAS APPLIANCE FIREPLACE.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASHES OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.- 2007 CBC 2509
- ALL SHOWER AND TUB/SHOWER VALVE MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.- 2007 CFC 414.5 & 418.0
- THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS.- 2007 CBC 1016.3

## KEY NOTES

- STOOP- 3 1/2" THK. (WUL) CONC. STOOP W/ SLOPE FOR DRAINAGE, & BROOM FINISH. SEE FOUND. PLAN.
- PROVIDE 1 3/8" THICK SOLID CORE DOOR, OR 20 MINUTE RATED GLASS DOOR. STEEL DOOR. PROVIDE 3 RINGS OUT OF WHICH 2 MIN. ARE SEC. 1909.
- PROVIDE 5/8" TYPE "X" SHI ROCK @ THE ENTIRE CEILING & @ ALL WALLS SUPPORTING THE CEILING, PROVIDING A COMPLETE ENVELOPE. FINISH AS REQUIRED.
- CABINET- DASHED LINE DENOTES UPPER CABINET. (VERIFY)
- PANTRY- PROV. MIN. (5) 12" WIDE SHELVES (VERIFY)
- REFRIGERATOR SPACE- PROVIDE OUTLET. PROVIDE STUB OUT FOR AUTOMATIC ICE MAKER. (VERIFY)
- COOKTOP/RANGE- PROVIDE MIN. 18" CLEARANCE FROM BURNERS TO COMBUSTIBLE SURFACES, AND FROM THE DECK SURFACE TO TOP OF CABINETS. (INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS)
- DISHWASHER SPACE- INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ELECTRICAL PLAN.
- SINK- DBL BASH KITCHEN SINK W/ GARBAGE DISPOSAL. (VERIFY)
- COUNTER TOP- FOR FINISHING VERIFY WITH OWNER
- LAVATORY- TYP. LAVATORY W/ CABINET. (VERIFY)
- CLOTHES CLOSET- TYP. CLOTHES CLOSET W/ SHLF & POLE
- WATER CLOSET- TYP. LOW FLOW 1.6 GAL. WATER CLOSET.
- TUB/SHOWER- TYP. PRE-FAB TUB/SHOWER W/ SURROUND A MIN. 4" ABOVE FINISH FLOOR. PROV. WATER PROOF SHI. RK. AS REQ'D. (LABELED SAFETY GLASS)
- WATER HEATER-PROVIDE MIN. 24"x18" PEDISTAL. PROVIDE STRAP @ UPPER 1/3, & LOWER 1/3 OF THE W.H. W/ THE LOWER STRAP A MIN. 4" ABOVE THE CONTROLS.
- HOSE BIB- PROVIDE HOSE BIB W/ 1" T" WHERE SHOWN. PROVIDE BACKFLOW PREVENTION DEVICE.
- FIREPLACE- GAS BURNING HEAT-N-CLO MODEL 8000TRC SEE SHI, SD- 2 FOR STANDARD DETAILS. FOR HEARTH, PROVIDE OPTIONAL RAISED OR FLUSH HEARTH.

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PROJECT 0847

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**STANFORD PLACE**  
SHAW AVENUE, CLOVIS, CALIFORNIA

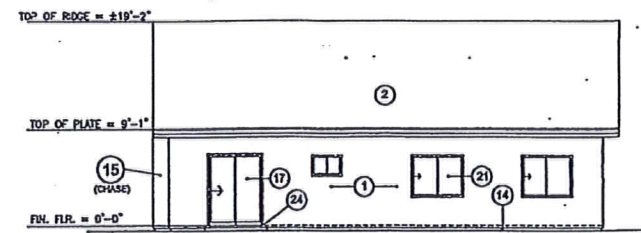
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**A-3**  
OF 18 SHEETS



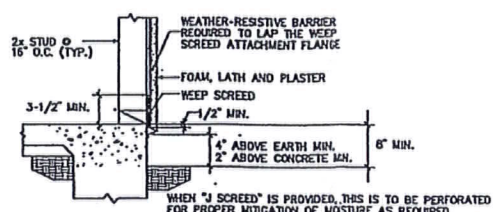
# KEY NOTES

1. EXTERIOR FINISH  
1-COAT OMEGA DIAMOND WALL  
STUCCO SYSTEM (CC-ES ESR-1194)  
O/F FALCON FOAM (ES-1992) OR  
EQUAL O/F BUILDING PAPER W/  
WEEP SCREED.
2. ROOF COVERING  
USE CONCRETE MONER TILE  
30 # ROOFING FELT PAPER  
OVER ROOF SHEATHING.  
ICBO # ER-2655
3. ROOF SADDLE  
PROVIDE 2X GUNGE SHIT, METAL  
O/F 1/2" EXT. GRADE PLYMD. TO SUIT  
SLOPE. PROVIDE FLASHING AS REQ'D  
SEE ROOF FRAMING PLAN.
4. METAL FLASHING  
PROVIDE FLASHING AND COUNTER-  
FLASHING OF CHIMNEYS, PARAPETS,  
AND ROOF TO WALL CONNECTIONS.
5. SKYLIGHT  
TYP. SKYLIGHT FOR SPECS. AND  
DETAIL. REFER TO ROOF FRAMING  
PLAN & BUILDING SECTIONS.
6. GUTTER/DOWNSPOUT  
PROVIDE CONTINUOUS ALUMINUM  
GUTTER & DOWNSPOUT WHERE SHOWN  
SHOWN.
7. FASCIA  
2X CONTINUOUS WOOD FASCIA AS
8. ARCH. SHAPES  
EXT. DESIGN SHAPES APPLIED ON  
BROWN COAT W/ FINISH COAT  
STUCCO OVER (FOAM MASTERS,  
HAYWARD, CA. 1-800-743-3626)  
EQUAL MAY BE USED.
9. ARCH. FURRING  
PROVIDE FURRING TO DEPTH SHOWN  
(POLYSTRENE O/ BROWN COAT,  
STUCCO OVER (FOAM MASTERS  
OR EQUAL).
10. ARCH. COLUMN  
FOR SPECIFICATIONS REFER TO  
STANDARD DETAILS. FOR FOAM  
COLUMNS REFER TO FOAM MASTERS.

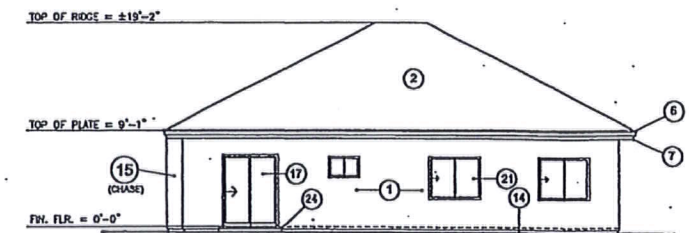
11. FURRED COLUMN  
TYP. COLUMN/ POST FURRED AS  
SHOWN W/ 2X4 AT 16" O.C. W/  
STUCCO O/ PAPER BACKED WRE.
12. FURRED WALL  
PROVIDE FOAM FURRING AS SHOWN W/  
2X4 AT 16" O.C. W/  
STUCCO O/ PAPER BACKED WRE.
13. COLUMN BASE  
FOAM FURRING (BOX FR.)  
W/ PAPER BACKED WRE. W/  
STUCCO FINISH.
14. WEEP SCREED  
PROVIDE WEEP SCREED AT ALL  
LOCATIONS BUILDING PORON AND  
PATIO PER DETAIL 1/A2.
15. FLUE CHASE  
2X CONTINUOUS STUDS @ 16" O.C.  
1-1/2" X 16 GAUGE @ THE PLATE  
HEIGHT. SEE STANDARD DETAILS.
16. LOUVER  
TYP. LOUVER IF ACTIVE LOUVER  
SEE ROOF FRAMING PLAN, VENT.  
CALCULATION FOR NET FREE AREA.
17. FRENCH DOOR  
TYP. FRENCH DOOR FOR DOOR  
SIZES. REFER TO FLOOR PLAN  
FOR FENESTRATION, REFER TO  
ENERGY COMPLIANCE FORMS.
18. MAIN DOOR  
TYPICAL MAIN DOOR W/  
PEEP HOLE OR VISION PANEL.  
SEE FLOOR PLAN FOR SIZE.
19. GARAGE DOOR  
SECTIONAL ROLL UP GARAGE DOOR.  
SEE FLOOR PLAN FOR SIZES.
20. WATER HEATER DOOR  
REFER TO GENERAL NOTES AND  
KEY NOTES AT FLOOR PLAN.
21. WINDOW  
TYP. WINDOW FOR SIZES & SPECS.  
SEE FLOOR PLAN FOR FENESTRATION,  
SEE ENERGY COMPLIANCE FORMS.
22. WINDOW TRIM  
PROVIDE FOAM FURRING AS SHOWN W/  
STUCCO O/ PAPER BACKED WRE.
23. PORCH/PATIO  
3-1/2" THICK (MIN.) CONC. SLAB.  
REFER TO FOUNDATION PLAN FOR  
DETAILS & SPECIFICATIONS.
24. CONCRETE STOOP  
3-1/2" THICK (MIN.) CONCRETE STOOP W/  
SHOVEL FIG. 9 PERIMETER. REFER TO  
FOUNDATION PLAN FOR DETAILS &  
SPECIFICATIONS.
25. ROCK VENEER  
STUCCO ROCK BY CORONADO  
ICBO #1842 OR EQUAL.
26. PRE CAST MOULDINGS  
TYP. PRE CAST MOULDINGS & SILL  
DESIGNS BY CORONADO OR EQUAL.
27. FLUE CHASE  
USE TYPE "B" VENT. INSTALL  
PER MANUFACTURER  
INSTRUCTION INSTALLATION.



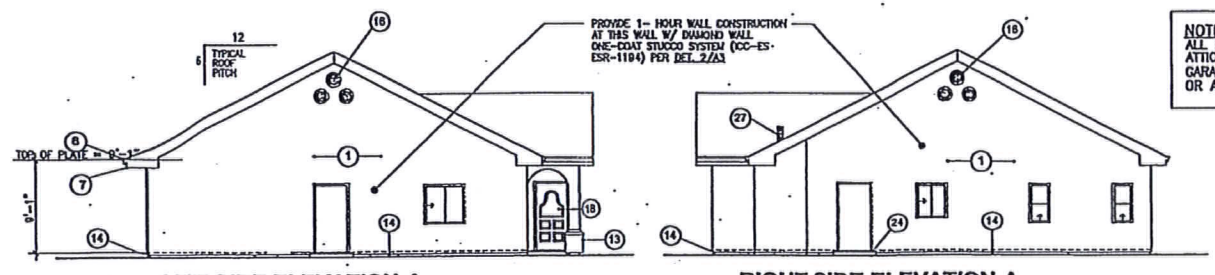
REAR ELEVATION-A  
SCALE: 1/8" = 1'-0"



1 WEEP SCREED DETAIL  
A2 N.T.S.

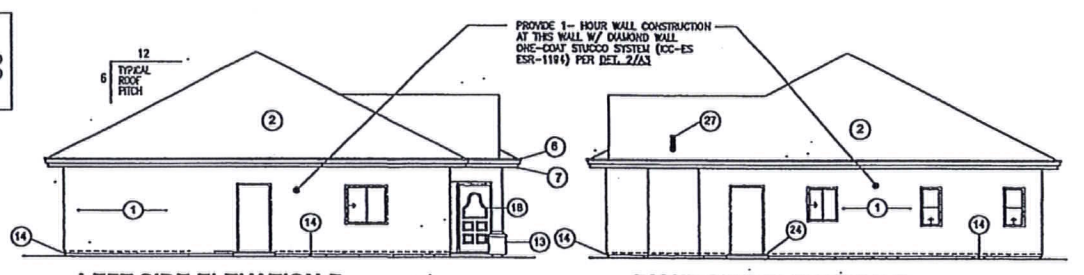


REAR ELEVATION-B  
SCALE: 1/8" = 1'-0"



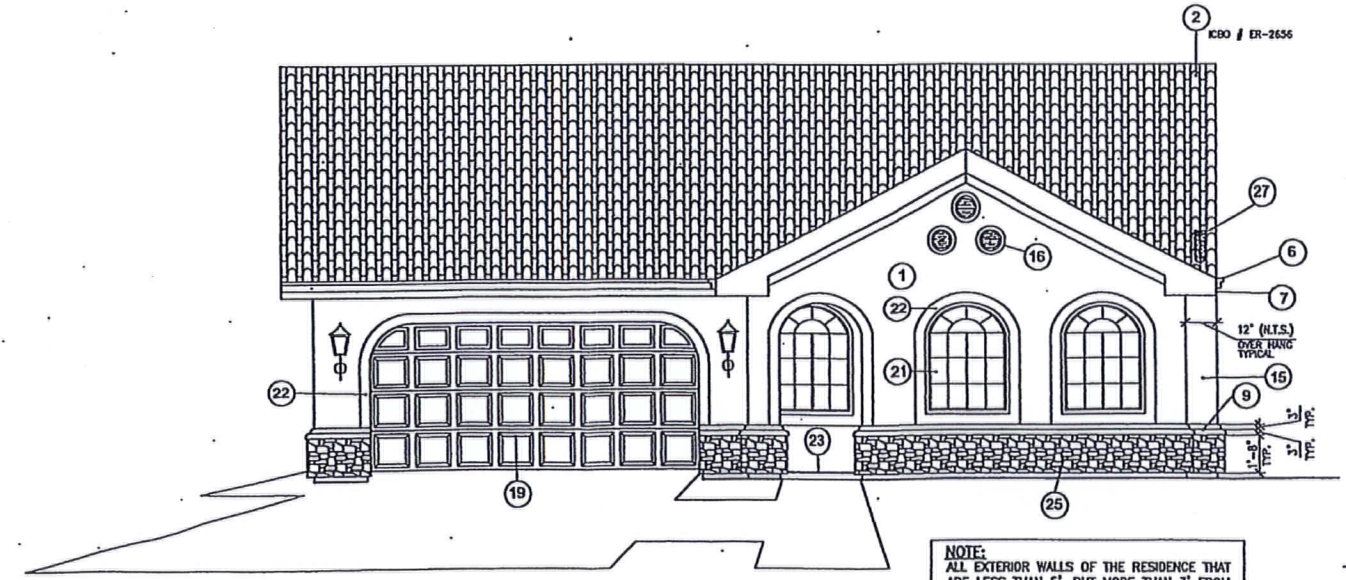
LEFT SIDE ELEVATION-A  
SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION-A  
SCALE: 1/8" = 1'-0"



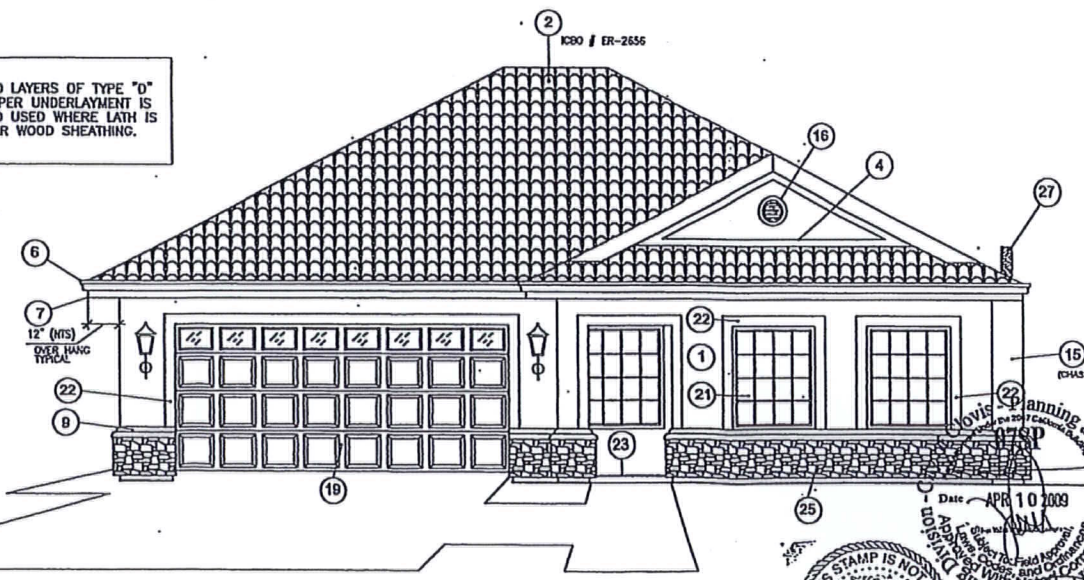
LEFT SIDE ELEVATION-B  
SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION-B  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION A  
SCALE: 1/4" = 1'-0"

NOTE:  
PROVIDE TWO LAYERS OF TYPE "D"  
BUILDING PAPER UNDERLAMENT IS  
REQUIRED TO USED WHERE LATH IS  
APPLIED OVER WOOD SHEATHING.



FRONT ELEVATION B  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL EXTERIOR WALLS OF THE RESIDENCE THAT  
ARE LESS THAN 5', BUT MORE THAN 3' FROM  
THE PROPERTY LINE ARE REQUIRED TO BE  
1- HOUR CONSTRUCTION PER DET. 2/A3

## EXTERIOR ELEVATIONS

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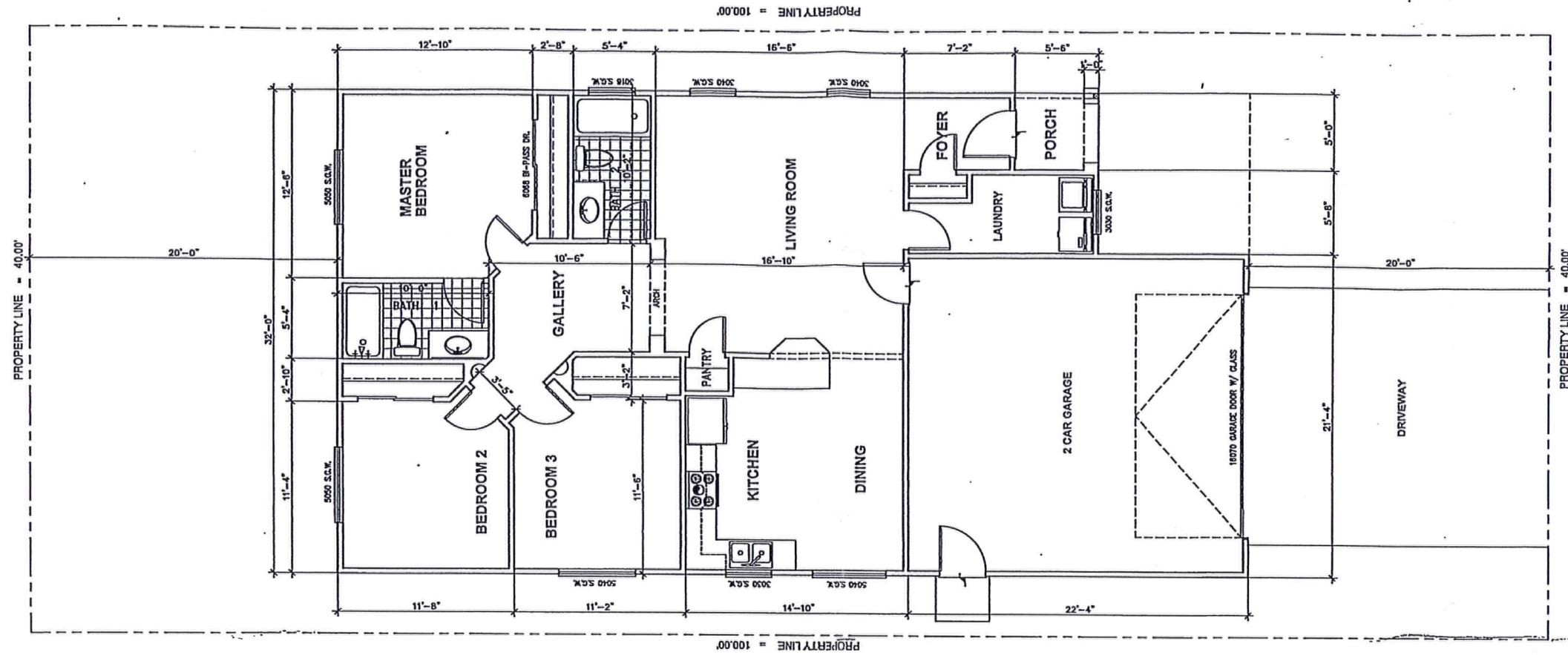
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STANFORD PLACE  
SHAW / STANFORD, CLOVIS, CALIFORNIA

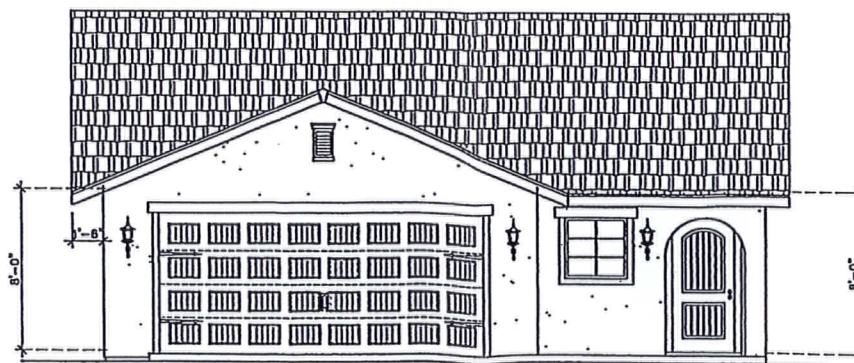
SHEET NO. A-2  
OF 18 SHEETS





**FLOOR PLAN - 1313 SF**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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DATE

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PROJECT: **PROPOSED RESIDENCE**  
PEACH AND ESCALON  
BEAL DEVELOPMENT, LLC  
BUILDER: **GEORGE BEAL** PH # 559 288 0211

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CONTENTS: **FLOOR PLAN / ELEVATION**

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JOB #: **1515**

SHEET NO.  
**A1**  
OF SHEETS



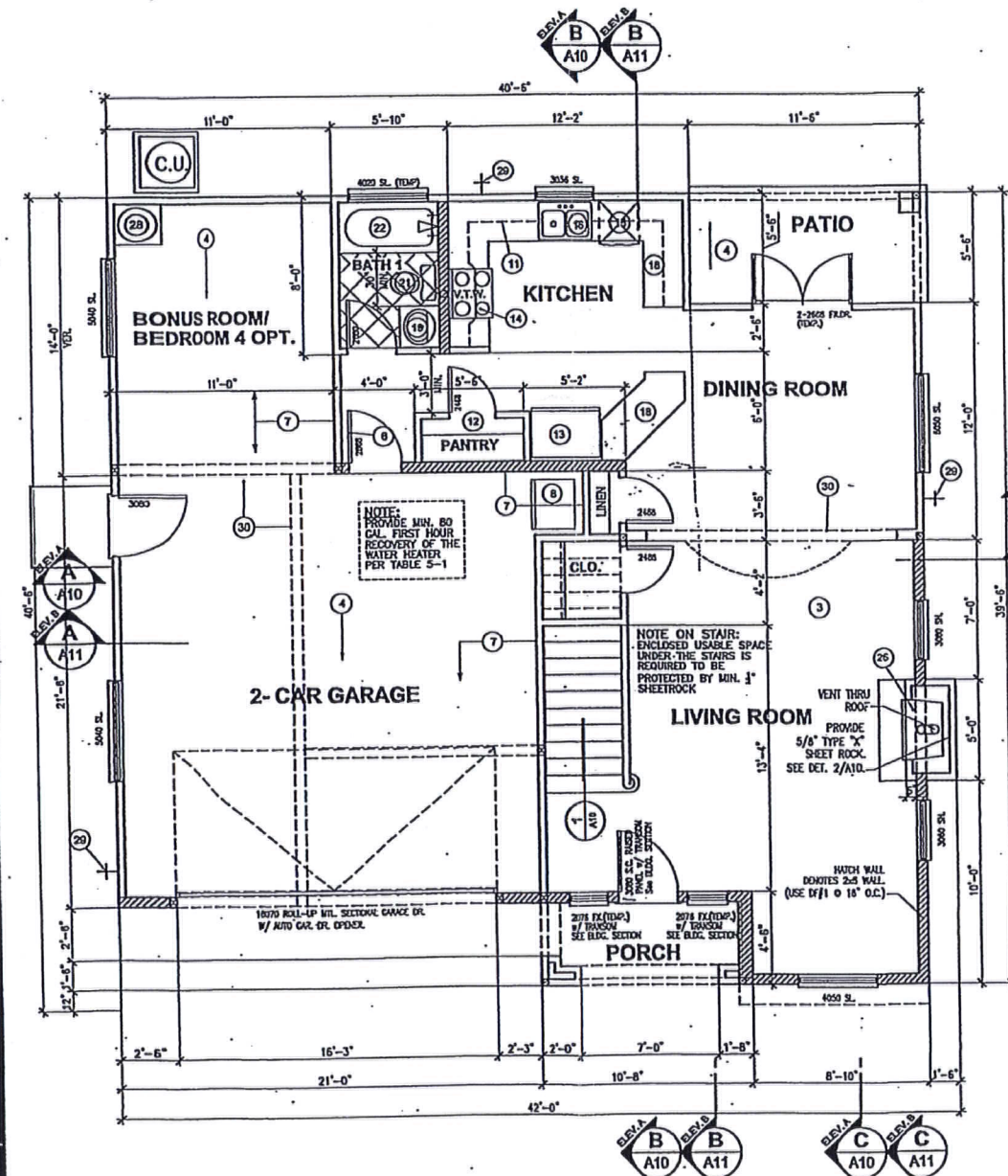
## GENERAL NOTES

- ALL WINDOWS SHALL BE DOUBLE PANE GLASS, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DOORS LEADING INTO HOUSE SHALL HAVE ALUMINUM THRESHOLD & BE FULLY WEATHERSTRIPPED AS REQUIRED.
- ALL ROOMS W/ FIXED GLASS WINDOWS SHALL HAVE A MIN. 5 AIR CHANGES PER HOUR.
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- PROVIDE 1" UNDERCUT FOR EXTERIOR DOORS HOUSING L.P.G. FIRED WATER HEATERS, OR FURNACES.

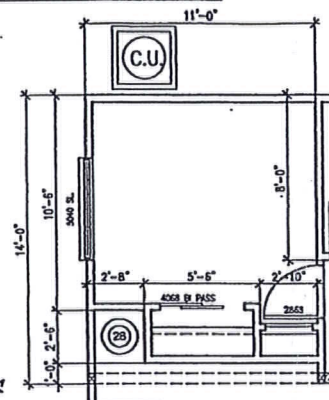
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- THE T AND P RELIEF VALVE HAVING A FULL SIZED DRAIN OF CALV. STEEL OF HARD DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF PIPE NOT MORE THAN 2" OR LESS THAN 8" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- A 6 INCH FRESH AIR INTAKE IS REQUIRED AT THE GAS APPLIANCE FIREPLACE.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.- 2007 CBC 2509
- ALL SHOWER AND TUB/SHOWER VALVE MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.- 2007 CPC 414.5 & 418.0
- THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS.- 2007 CBC 1026.3

## KEY NOTES

- PHANTOM LINE DENOTES ROOF. SEE ROOF FRAMING FOR MORE DETAILS
- DENOTES TYPICAL STUDWALL. SEE STUDWALL SCHEDULE. FOR PLATE HEIGHT REFER TO BUILDING SECTIONS.
- SLAB- 3 1/2" THK. (MIN.) CONC. SLAB WITH 2" SAND OVER VAPOR BARRIER. SEE SCHEDULE ON FOUNDATION PLAN.
- PORCH/PATIO/GARAGE SLAB- 3 1/2" THK. (MIN.) CONC. SLAB W/ SLOPE FOR DRAINAGE. SEE FOUNDATION PLAN.
- STOOP- 3 1/2" THK. (MIN.) CONC. STOOP W/ SLOPE FOR DRAINAGE, & BROOM FINISH. SEE FOUND. PLAN.
- PROVIDE 1 3/8" THK. SOLID CORE DOOR, OR 20 MINUTE RATED (LABELED) STEEL DOOR. PROVIDE 3 HINGES OUT OF WHICH 2 MIN. ARE SELF CLOSING.
- PROVIDE 5/8" TYPE "X" SHIT-ROCK @ THE ENTIRE CEILING & @ ALL WALLS SUPPORTING THE CEILING INCLUDING POST AND BEAMS PROVIDING A COMPLETE ENVELOPE. TAPE & FINISH AS REQUIRED.
- STACKABLE DRYER & WASHER SPACE- SEE ELECTRICAL & MECHANICAL PLANS
- WASHER SPACE- SEE ELECTRICAL & MECHANICAL PLANS
- LAUNDRY SINK- VERIFY WITH OWNER OR CONTRACTOR.
- CABINET- DASHED LINE DENOTES UPPER CABINET. (VERIFY)
- PANTRY- PROV. MIN. (5) 16" WIDE SHELVES (VERIFY)
- REFRIGERATOR SPACE- PROVIDE OUTLET, PROVIDE STUB OUT FOR AUTOMATIC ICE MAKER. (VERIFY)
- COOKTOP/RANGE- PROVIDE MIN. 18" CLEARANCE FROM BURNERS TO ALL COMBUSTIBLE SURFACES, AND FROM THE DECK SURFACE TO ALL UPPER CABINETS. (INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.)
- DISHWASHER SPACE- INSTALL PER MANUFACTURER'S SPECIFICATIONS SEE ELECTRICAL PLAN.
- SINK- DBL. BASIN KITCHEN SINK W/ GARBAGE DISPOSAL. (VERIFY)
- SINK- SINGLE BASIN KITCHEN SINK
- COUNTER TOP- FOR FINISHING VERIFY WITH OWNER
- LAVATORY- TYP. LAVATORY W/ CABINET. (VERIFY)
- CLOTHES CLOSET- TYP. CLOTHES CLOSET W/ SHELF & POLE.
- WATER CLOSET- TYP. LOW FLOW 1.6 GAL. WATER CLOSET.
- TUB/SHOWER- TYP. PRE-FAB TUB/SHOWER W/ SURROUND A MIN. 6"-0" ABOVE FINISH FLOOR. PROVIDE WATER PROOF SHIT. RC. AS REQ'D. TEMPERED GLASS DOORS (LABELED SAFETY GLASS)
- BATH TUB W/ CERAMIC TILE AND BRASS FURRELS OR EQUAL. VERIFY OWNER
- SHOWER- CUSTOM SHOWER W/ CERAMIC TILE MIN. 70" UP FROM FIN. FLOOR. SEE SHEET SD-1 FOR MORE DETAILS.
- ATTIC ACCESS- MIN. 30"x30" ATTIC ACCESS. SEE ROOF, & MECHANICAL PLANS.
- FIREPLACE- GAS BURNING HEAT-N-GLO MODEL 8000 TRC. SEE SHIT. SD-2 FOR STANDARD DETAILS. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR INSPECTION PURPOSES.
- HEARTH- PROVIDE OPTIONAL RAISED OR FLUSH HEARTH. SEE SHEET SD-2 FOR MORE DETAILS, & REQ'D "K" VALUE. (MIN. 1/2" SHI. ROCK)
- WATER HEATER- PROVIDE MIN. 24"x18" PEDESTAL. PROVIDE STRAP @ UPPER 1/3, & LOWER 1/3 OF THE WH. W/ THE LOWER STRAP A MIN. 4" ABOVE THE CONTROLS.
- HOSE BIBB- PROVIDE HOSE BIBB W/ 1" T" WHERE SHOWN. PROVIDE BACKFLOW PREVENTION DEVICE.
- BEAM/HEADER OUTLINE- SEE ROOF/FLOOR FRAMING PLAN FOR MORE DETAILS AND SPECIFICATIONS.



NOTE:  
SEE DRAINAGE LINE ON SHEET A1

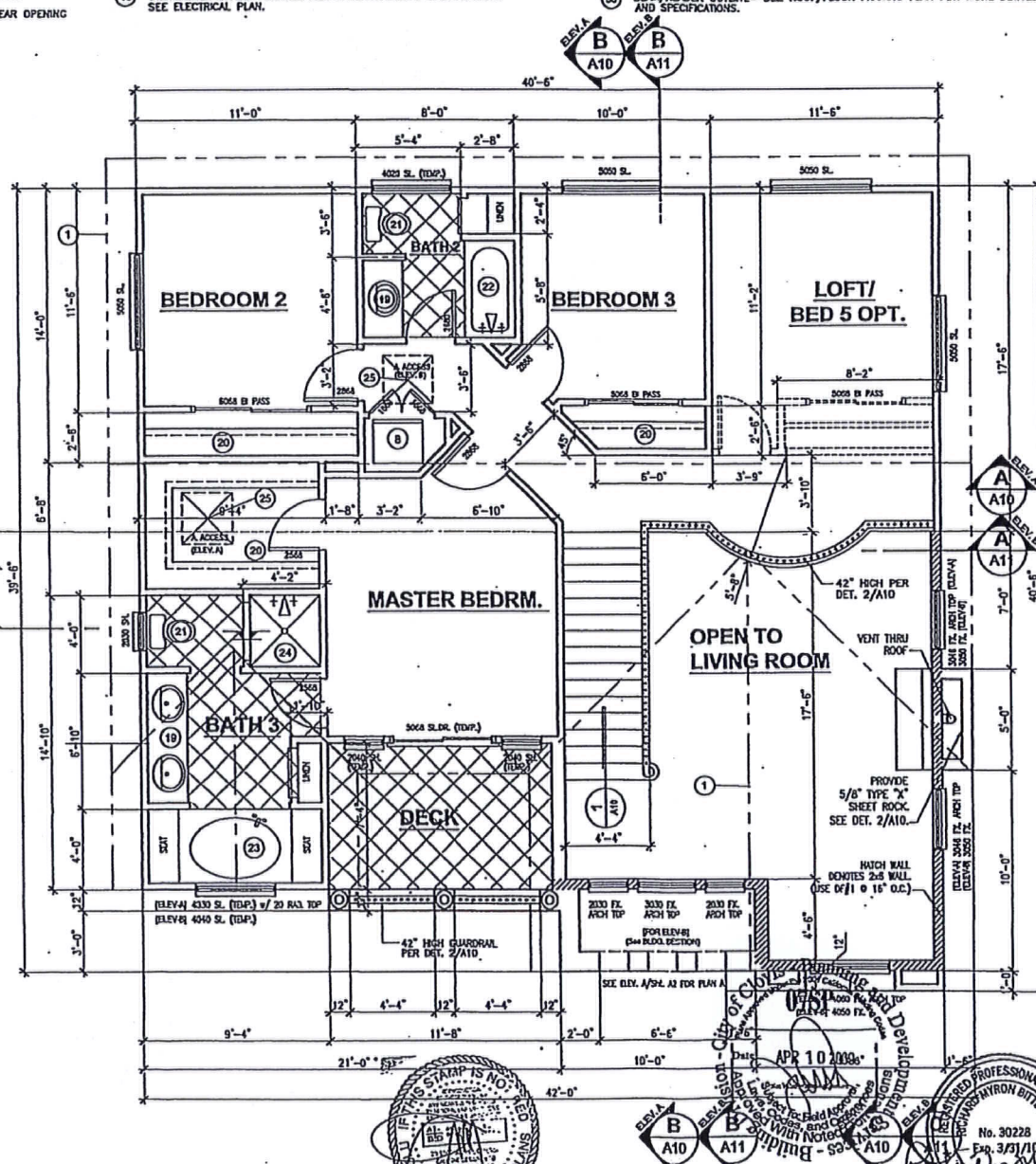


ADDITIONAL NOTE:

- THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
- THE RADIANT BARRIER IS REQUIRED TO BE INSTALLED AT ALL VERTICAL SURFACES IN THE ATTIC AS WELL AS ON THE ROOF.
- FOR HEADERS, USE 4x12 DF #1 U.M.O.

NOTE ON THE UPPER FLOOR PLAN:  
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISH GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR MUST BE PROTECTED BY A GUARD OR, HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" ON DIAMETER CAN PASS THROUGH.

NOTE:  
ALL EXTERIOR WALLS OF THE RESIDENCE THAT ARE LESS THAN 5", BUT MORE THAN 3" FROM THE PROPERTY LINE ARE REQUIRED TO BE 1-HOUR CONSTRUCTION PER DET. 1/A11



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PROJECT: 0848

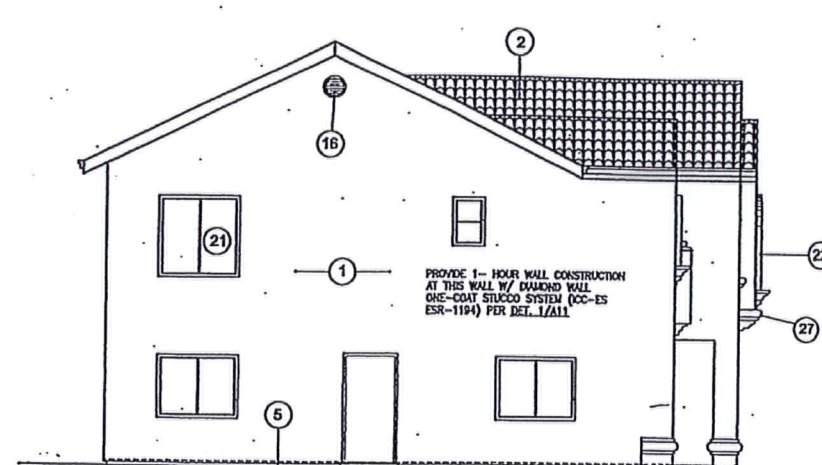
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PROGRESSIONS  
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FRESNO CA 93710 PH: (559) 435-5445

BEAL DEVELOPMENTS, L.L.C.  
1175 SHAW AVE. #104 PMB 372, CLOVIS, CA 93612  
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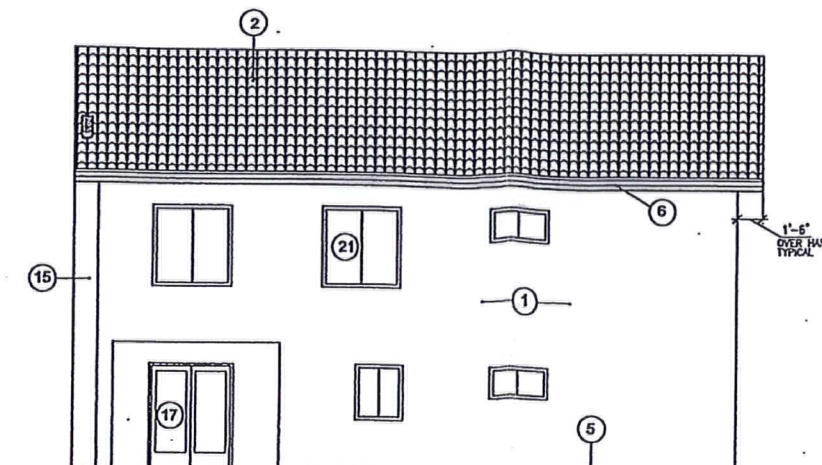
STANFORD PLACE  
SHAW / STANFORD, CLOVIS, CALIFORNIA

SHEET NO.  
A-4  
OF 19 SHEETS

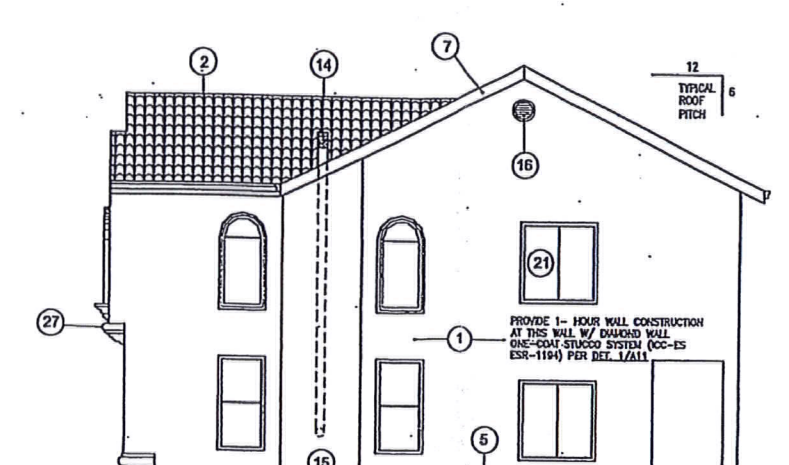




**LEFT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

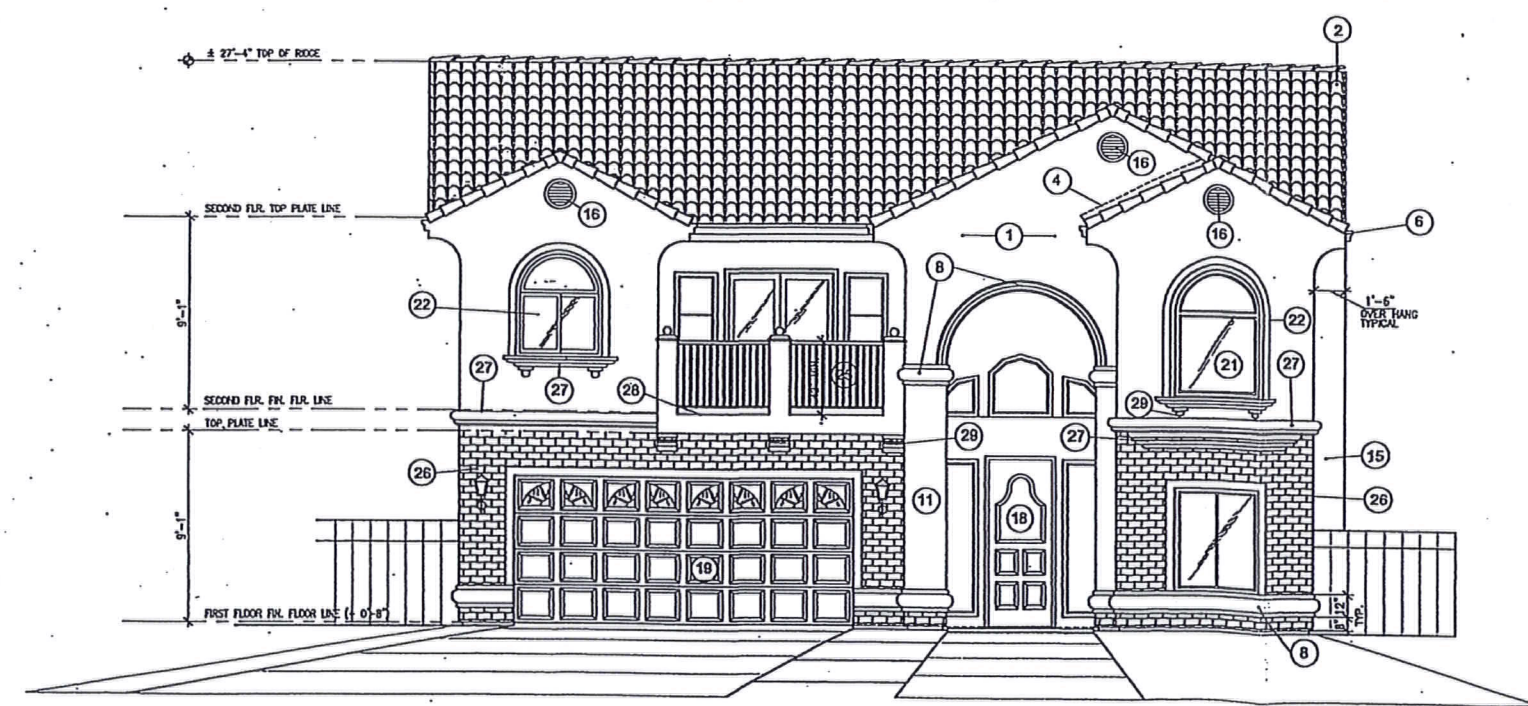


**RIGHT SIDE ELEVATION**  
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**NOTE:**  
PROVIDE TWO LAYERS OF TYPE "D" BUILDING PAPER UNDERLAMENT IS REQUIRED TO USED WHERE LATH IS APPLIED OVER WOOD SHEATHING.

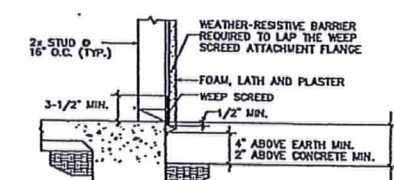
**NOTE:**  
ALL EXPOSED FOAM TO BE PROTECTED IN THE ATTIC AND GABLE END CONDITION AND UNFINISHED GARAGES W/ 1/2" SHEETROCK OR 1/4" PLYWOOD OR ANY APPROVED BACKING MATERIALS.



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

# EXTERIOR ELEVATIONS A

- KEY NOTES**
- 1. EXTERIOR FINISH  
1-COAT OMEGA DIAMOND WALL STUCCO SYSTEM (OCC-ES ESR-1194) OR EQUAL O/ BUILDING PAPER W/ WEEP SCREED.
  - 2. ROOF COVERING  
USE CONCRETE MONIER TILE 30 # ROOFING FELT PAPER OVER ROOF SHEATHING 1C80 # - ER-2656.
  - 3. ROOF SADDLE  
PROVIDE 26 GAUGE SMT. METAL O/ 1/2" EXT. GRADE PLYWD. TO SUIT SLOPE. PROVIDE FLASHING AS REQD SEE ROOF FRAMING PLAN.
  - 4. METAL FLASHING  
PROVIDE FLASHING AND COUNTER-FLASHING OF CHIMNEYS, PARAPETS, AND ROOF TO WALL CONNECTIONS.
  - 5. WEEP SCREED  
PROVIDE WEEP SCREED AT ALL LOCATIONS INCLUDING PORCH AND PATIO PER DETAIL 1/A2.
  - 6. GUTTER/DOWNSPOUT  
PROVIDE CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT WHERE SHOWN SIGNAL.
  - 7. FASCIA  
2X CONTINUOUS WOOD FASCIA AS SHOWN.
  - 8. ARCH. SHAPES  
EXT. DESIGN SHAPES APPLIED ON BROKEN COAT W/ FURST COAT STUCCO OVER (FOAM MASTERS, HAYWARD, CA. 1-800-743-3626) EQUAL MAY BE USED.
  - 9. ARCH. FURRING  
PROVIDE FURRING TO DEPTH SHOWN (POLYSTYRENE O/ BROWN COAT, STUCCO OVER (FOAM MASTERS OR EQUAL).
  - 10. ARCH. COLUMN  
FOR SPECIFICATIONS REFER TO STANDARD DETAILS. FOR FOAM COLUMNS REFER TO FOAM MASTERS.
  - 11. FURRED COLUMN  
TYP. COLUMN/ POST FURRED AS SHOWN W/ 2X4 AT 16" O.C. W/ STUCCO O/ PAPER BACKED WIRE.
  - 12. FURRED WALL  
PROVIDE FOAM FURRING AS SHOWN W/ 2X4 AT 16" O.C. W/ STUCCO O/ PAPER BACKED WIRE.
  - 13. COLUMN BASE  
FOAM FURRING (BOX FR) W/ PAPER BACKED WIRE, W/ STUCCO FINISH.
  - 14. FLUE VENT  
USE TYPE "B" VENT. INSTALL PER MANUFACTURER INSTRUCTIONS.
  - 15. FLUE CHASE  
2X CONTINUOUS STUDS @ 16" O.C. 1-1/2" X 16 GAUGE @ THE PLATE HEIGHT. SEE STANDARD DETAILS.
  - 16. LOUVER  
TYP. LOUVER. SEE ROOF FRAMING PLAN FOR VENT CALCULATION.
  - 17. FRENCH DOOR  
TYP. FRENCH DOOR FOR DOOR SIZES. REFER TO FLOOR PLAN FOR PENETRATION. REFER TO ENERGY COMPLIANCE FORMS.
  - 18. MAIN DOOR  
TYPICAL MAIN DOOR W/ PEEP HOLE OR VISION PANEL. SEE FLOOR PLAN FOR SIZE.
  - 19. GARAGE DOOR  
SECTIONAL ROLL UP GARAGE DOOR. SEE FLOOR PLAN FOR SIZES.
  - 20. WATER HEATER DOOR  
REFER TO GENERAL NOTES AND KEY NOTES AT FLOOR PLAN.
  - 21. WINDOW  
TYP. WINDOW. FOR SIZES & SPECS. SEE FLOOR PLAN FOR PENETRATION. SEE ENERGY COMPLIANCE FORMS.
  - 22. WINDOW TRIM  
PROVIDE FOAM FURRING AS SHOWN W/ STUCCO O/ PAPER BACKED WIRE.
  - 23. PORCH/PATIO  
3-1/2" THICK (MIN.) CONC. SLAB. REFER TO FOUNDATION PLAN FOR DETAILS & SPECIFICATIONS.
  - 24. CONCRETE STOOP  
3-1/2" THICK (MIN.) CONCRETE STOOP W/ SLOPED FIN. @ PERIMETER. REFER TO FOUNDATION PLAN FOR DETAILS & SPECIFICATIONS.
  - 25. TYP. RAILING  
IRON RAILINGS W/ A SPHERE 4" DIAMETER CANNOT PASS THROUGH ANY OPENING PER DET. 2/A10.
  - 26. ROCK VENEER  
STUCCO ROCK BY CORONADO K200 FIBRE OR EQUAL. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
  - 27. PRE-CAST MOULDINGS  
TYP. PRE-CAST MOULDINGS & SILL DESIGNS BY CORONADO OR EQUAL.
  - 28. DECK  
USE DEX-D-TEX FLOORING WEATHERWEAR L.C.B.O. ES #3309.
  - 29. CORBELS  
DECORATIVE PRE-CAST CONC. CORBELS 00-033 BY CORONADO PRODUCTS OR EQUAL.



**1 WEEP SCREED DETAIL**  
N.T.S.

**City of Clovis Planning and Development**  
07SP  
Date: APR 10 2003  
Shaw / Stanford Place, Clovis, CA 93612

**REGISTERED PROFESSIONAL ENGINEER**  
No. 30228  
Exp. 3/31/10  
CIVIL  
STATE OF CALIFORNIA

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APPROVED

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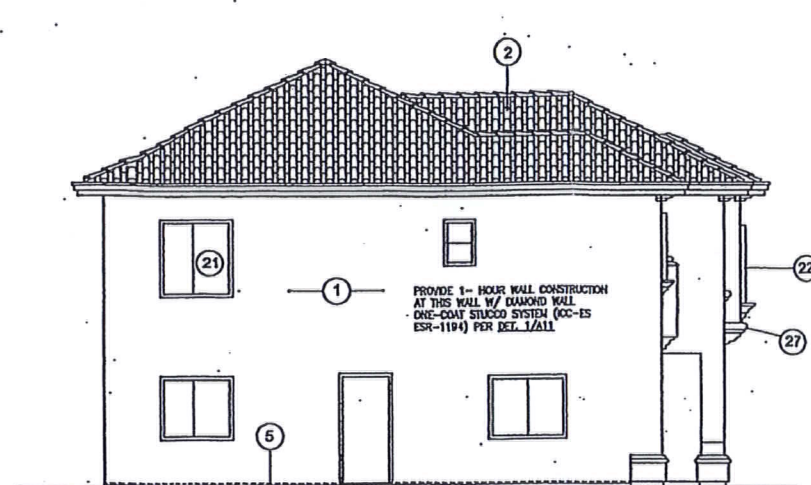
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PROJECT: 0848  
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FRESNO CA 93710 PH: (559) 435-5445

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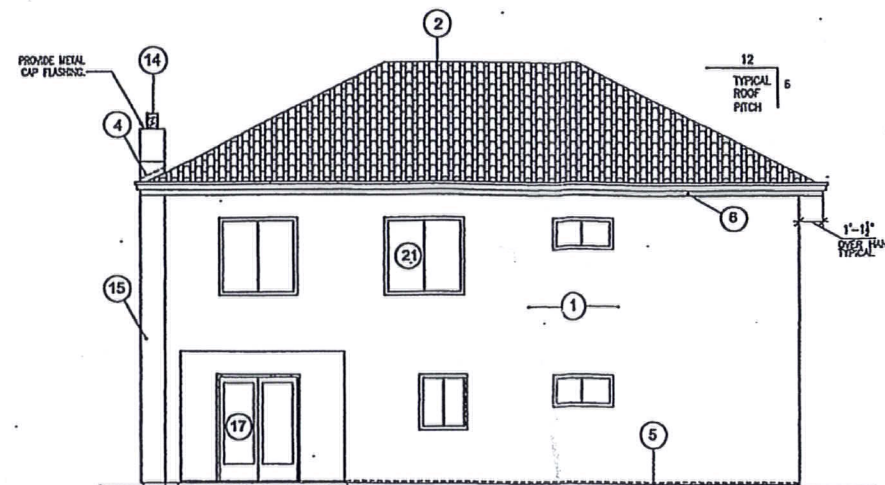
**STANFORD PLACE**  
SHAW / STANFORD, CLOVIS, CALIFORNIA

SHEET NO. **A-2**  
OF 19 SHEETS

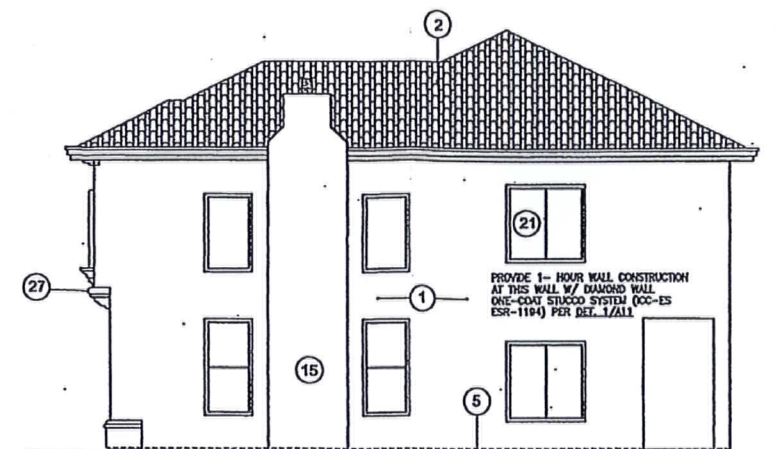




**LEFT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

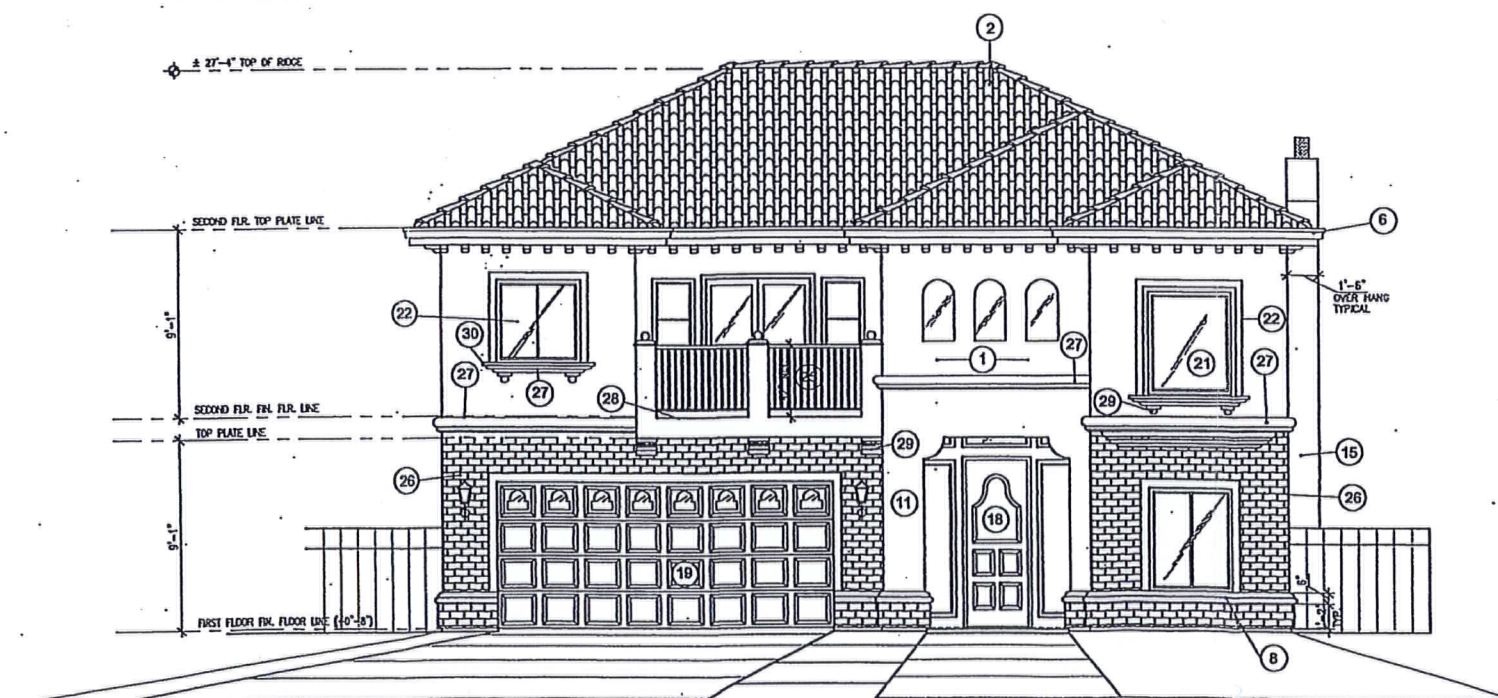


**RIGHT SIDE ELEVATION**  
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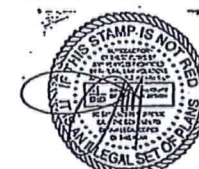
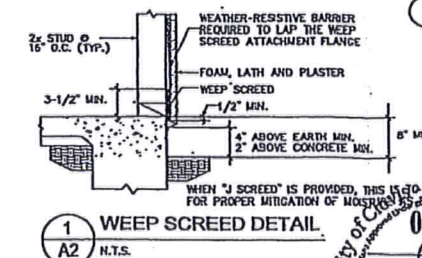
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**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

### KEY NOTES

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1-COAT OMEGA DIAMOND WALL STUCCO SYSTEM (CC-ES ESR-1194) O/F FALCON FOAM (ESR-1962) OR EQUAL O/F BUILDING PAPER W/ WEEP SCREED.
- 2 ROOF COVERING  
USE CONCRETE MONIER TILE 30 # ROOFING FELT PAPER OVER ROOF SHEATHING ISO # - ER-2656
- 3 ROOF SADDLE  
PROVIDE 26 GAUGE SHIT. METAL O/F 1/2" EXT. GRADE PLYWD. TO SUIT SLOPE. PROVIDE FLASHING AS REQ'D SEE ROOF FRAMING PLAN.
- 4 METAL FLASHING  
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- 6 GUTTER/DOWNSPOUT  
PROVIDE CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT WHERE SHOWN.
- 7 FASCIA  
2X CONTINUOUS WOOD FASCIA AS SHOWN.
- 8 ARCH. SHAPES  
EXT. DESIGN SHAPES APPLIED ON BROWN COAT W/ FINISH COAT. STUCCO OVER (FOAM MASTERS, HAYWARD, CA. 1-800-743-3626) EQUAL MAY BE USED.
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PROVIDE FURRING TO DEPTH SHOWN (POLYSTYRENE O/F BROWN COAT, STUCCO OVER. (FOAM MASTERS OR EQUAL)
- 10 ARCH. COLUMN  
FOR SPECIFICATIONS REFER TO STANDARD DETAILS. FOR FOAM COLUMNS REFER TO FOAM MASTERS.
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TYP. COLUMN/ POST FURRED AS SHOWN W/ 2X4 AT 16" O.C. W/ STUCCO O/F PAPER BACKED WIRE.
- 12 FURRED WALL  
PROVIDE FOAM FURRING AS SHOWN W/ 2X4 AT 16" O.C. W/ STUCCO O/F PAPER BACKED WIRE.
- 13 COLUMN BASE  
FOAM FURRING (BOX FR.) W/ PAPER BACKED WIRE, W/ STUCCO FINISH.
- 14 FLUE VENT  
USE TYPE "V" VENT. INSTALL PER MANUFACTURER INSTRUCTION.
- 15 FLUE CHASE  
2X CONTINUOUS STUDS @ 16" O.C. 1-1/2" X 16 GAUGE @ THE PLATE HEIGHT. SEE STANDARD DETAILS.
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- 26 ROCK VENEER  
STUCCO ROCK BY CORONADO IC80 #1842 OR EQUAL. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
- 27 PRE CAST MOULDINGS  
TYP. PRE CAST MOULDINGS, & STL. DESIGNS BY CORONADO OR EQUAL.
- 28 DECK  
USE DEK-0-TEX FLOORING WEATHERWEAR I.C.D.O. ES #3369
- 29 CORBELS  
DECORATIVE PRE-CAST CONC. CORBELS 00-033 BY CORONADO PRODUCTS OR EQUAL.



INITIALING THE BLOCKS BELOW YOU ARE CONFIRMING THAT THE INFORMATION CONTAINED ON THIS PAGE HAS BEEN REVIEWED AND APPROVED.

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

## EXTERIOR ELEVATIONS B

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DATE 01-05-09  
PROJECT 0848

DRAFTED BY:  
**RLC DESIGN PROGRESSIONS**  
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FRESNO CA 93710 PH: (559) 435-5445

**BEAL DEVELOPMENTS, L.L.C.**  
1175 SHAW AVE. #104 PMB 372, CLOVIS, CA 93612  
PHONE: (559) 322-5998 FAX: (559) 322-0163

**STANFORD PLACE**  
SHAW / STANFORD, CLOVIS, CALIFORNIA

SHEET NO.  
**A-3**  
OF 19 SHEETS





AGENDA ITEM NO: **3-A**  
City Manager: *ms*

## **- CITY OF CLOVIS - REPORT TO THE CITY COUNCIL**

TO: Mayor and City Council  
FROM: Administration  
DATE: February 1, 2016  
SUBJECT: Consider Approval – Change of Council Meeting Schedule

### **CONFLICT OF INTEREST**

None

### **RECOMMENDATION**

For the City Council to approve the cancellation of the regular meeting scheduled for Monday, February 8 at the Council Chamber at 6:00 p.m.

### **EXECUTIVE SUMMARY**

There is a need to change the schedule of meetings for the City Council in February. Staff is recommending that City Council cancel the meeting of February 8, 2016.

### **BACKGROUND**

Staff is able to consolidate the agenda items to the first and third meetings in February. Staff is recommending City Council consider canceling the meeting of February 8, 2016. Given adequate notice, staff will be able to amend the timing of actions coming forward so that operations will not be affected by the cancellation.

### **FISCAL IMPACT**

None.

## **REASON FOR RECOMMENDATION**

Pursuant to the Clovis Municipal Code, the City Council meets in regular session on the first, second, and third Monday of each month, except when those Mondays occur on a recognized City holiday. The City Council needs to confirm any change to the schedule of meetings in order to properly notice the public of the City Council's schedule of meetings.

## **ACTIONS FOLLOWING APPROVAL**

A revised schedule of meetings will be published in conformance with law.

Submitted by: Rob Woolley, City Manager 